

APPLICATION FOR SITE PLAN APPROVAL

Owner of record: Nathaniel + Laura Kirk

Address of owner: 50W 67TH ST APT 2G NEW YORK NY 10023  
85 Preston Lane

Property Location: Tax Map 609 Lot 29 Land Records: Vol. 268 Page 291

Acreage: 0.477 AC Zone: R20

Site Plan Requirements:

Soil Erosion and Sediment Control Measures: \_\_\_\_\_

Conservation Commission Approval, if applicable: N/A

Historic District Commission Approval, if applicable: N/A

Approval From TAHD: \_\_\_\_\_ WPCA: N/A BHC: N/A

If applicable, boundaries of flood plain, aquifer protection zone, Housatonic River District, or Historic District should be on Site Plan.

Additional Remarks: CONSTRUCTION SCREEN PORCH

X Owner's Signature: Nathaniel Kirk Date: 6/10/2024

Applicant's Signature and Title: Nathaniel Kirk / Owner

X Applicant's address and phone number: 85 Preston Lane  
Sausbury / 1-646-603-3601

Filed at Planning and Zoning Commission Office: 6/10/2024 ~~2001~~

Date of next regular Commission meeting: \_\_\_\_\_

Date of approval or denial of plan: \_\_\_\_\_

A decision on a site plan submitted as part of a zoning permit application shall be rendered within 65 days after receipt of the plan at a regular meeting of the Commission. The applicant may request extensions of the decision period, not to exceed two further 65-day periods.

**CONSTRUCTION SPECIFICATIONS**

**STAKEOUT:** STAKEOUT SHALL BE PERFORMED BY A LICENSED SURVEYOR. STAKING AND LAYOUT ESTABLISH ALL LINES, GRADES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS AND NOTIFY ARCHITECT IN CASE OF DISCREPANCY. ELEVATE AND BACKFILL AS REQUIRED FOR WORK SHOWN ON DRAWINGS. RESPECTIVE TOLERANCE AND OTHER EXHAUSTIVE MATERIAL SEPARATELY.

**PROTECT ALL LANDSCAPING NOT SCHEDULED FOR REMOVAL:** REMOVE AND RELOCATE ALL MATURE PLANTINGS IN AREA OF WORK-LOCATIONS T.B.D. PROVIDE CONNECTIONS FROM NEW RAINWATER TO EXISTING SEWER SYSTEM. INSTALL AS REQUIRED BY DEPARTMENT OF HEALTH. RECEIVE APPROVAL FROM HEALTH DEPARTMENT PRIOR TO COVERING UP ANY WORK.

**NOTE: SEE STRUCTURAL DRAWINGS FOR COMPLETE NOTES**

**CONCRETE:** ALL CONCRETE TO BE A MINIMUM OF 2500 P.S.I. @ 28 DAYS. PROVIDE ALL REINFORCING AND VENTS NECESSARY.

**SEE STRUCTURAL DRAWINGS FOR PILES & FOUNDATION WORK**

**ALL 4" CONCRETE SLABS TO HAVE 6 X 6 - #10/#10 WELDED WIRE REINFORCING.**

**ANCHOR BOLTS IN CONCRETE SHALL BE 3/4" DIAMETER @ 3' O.C. X 1' LONG, HOOKED.**

**WHERE INTERIOR SLABS ARE SHOWN ON DRAWINGS, PROVIDE A BITUMEN JOINT BETWEEN SLAB AND FOUNDATION WALL.**

**PROVIDE WATERPROOF MEMBRANE AT ALL EXTERIOR FOUNDATION WALLS.**

**FRAMING AND ROUGH CARPENTRY:**

**JOIST KNUCKLES AND STUDS SHALL BE 2X6 CONSTRUCTION GRADE DOUGLAS FIR, 2X6 COMMON DOUGLAS FIR, BEAMS AND HEADERS TO BE CONSTRUCTION GRADE DOUGLAS FIR.**

**ALL ROOF SILLS AND VESSELS IN CONTACT WITH MASONRY SHALL BE COATED OR CONSTRUCTION GRADE REDWOOD.**

**EXTERIOR FINISHING SHALL BE DOUGLAS FIR EXT-DPPA EXTERIOR GRADE PLYWOOD - 3/4" THICK AT EDGES, 5/8" O.C. AT INTERMEDIATE JOCKING POINTS.**

**SUBFLOORS - 5/8" DOUGLAS FIR DPPA PLYWOOD NAILED @ 6" O.C.**

**EXTERIOR SHEATHING COVERED WITH #15 BUILDING PAPER.**

**ALL MAILING TO BE IN ACCORDANCE WITH COLUMBIA COUNTY WIND CODE, PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH GOOD BUILDING PRACTICE.**

**ALL NAILS, BOLTS, STRAPS, ROSS JOIST HANGERS AND OTHER FRAMING CONNECTORS TO BE NOT DIPPED GALVANIZED. PROVIDE HARRISMAN STRAPS THROUGH WHERE NOTED BY CODE.**

**DOUBLE-UP JOISTS AROUND ALL OPENINGS AND UNDER PARTITIONS; BLOCK BETWEEN JOISTS UNDER PARTITIONS.**

**BLOCK STUD WALLS AT 1/2 STORY HEIGHT AND AT ALL UNSUPPORTED EDGES OF PLYWOOD.**

**ALLOW BLOCK JOISTS AND RAFTERS AT MAX. 8'-0" O.C. FOR SPANS GREATER THAN 14'-0".**

**REMOVE ONE ROW 1/4 BRIDGING FOR SPANS 8'-0" TO 14'-0". REMOVE TWO ROWS 1/4 BRIDGING FOR SPANS 14'-0" TO 18'-0". REMOVE ALL 1/4 BRIDGING FOR SPANS GREATER THAN 18'-0".**

**USE-NAIL JOIST TO CAP OR BEAM WITH (2) 16# WHERE FLUSH FRAMING OCCURS. USE MINIMUM 16 GAUGE SHEET METAL JOIST HANGERS.**

**ALL CORNERS TO BE MINIMUM (2) 2X6 STUDS NAILED 16# 800# O.C. ALONG 3 FACES.**

**MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL BE 3'-0" LONG.**

**USE DOUBLE JACK STUDS FOR ALL HEADERS OVER 5'-0" LONG.**

**SHOP DRAWINGS AND SUBMITTALS**

**DOORS - FRAMES, DOOR TYPES, SPECIFICATIONS AND INSTALLATIONS**

**HARDWARE SCHEDULE**

**WINDOWS AND GLAZING - DETAILS AND SAMPLES**

**EXTERIOR MATERIALS AND INSTALLATION**

**MATERIALS AND FIXTURES**

**MECHANICAL, A/C, HEATING AND VENTILATION**

**MATERIALS AND FIXTURES**

**FINISHES - AS CALLED ON DRAWINGS**

**SUBMIT 6 SET MINIMUM (FOR ARCHITECT APPROVAL)**

**ALLOW SCHEDULE TIME FOR PROCESSING (TWO WEEKS)**

**SHOP DRAWINGS SHALL BE RETURNED BY CONTRACTOR AND ARCHITECT**

**SHOP DRAWINGS SUBMITTAL REJECTED SHALL BE RESUBMITTED SHOWING**

**SUBMIT SAMPLES AND COLOR CHARTS FOR FINISHES**

**SUBMIT ROOFING BOND "10-YEARS" (MATERIALS AND INSTALLATION)**

**CONCRETE TEST AND DESIGN MIX**

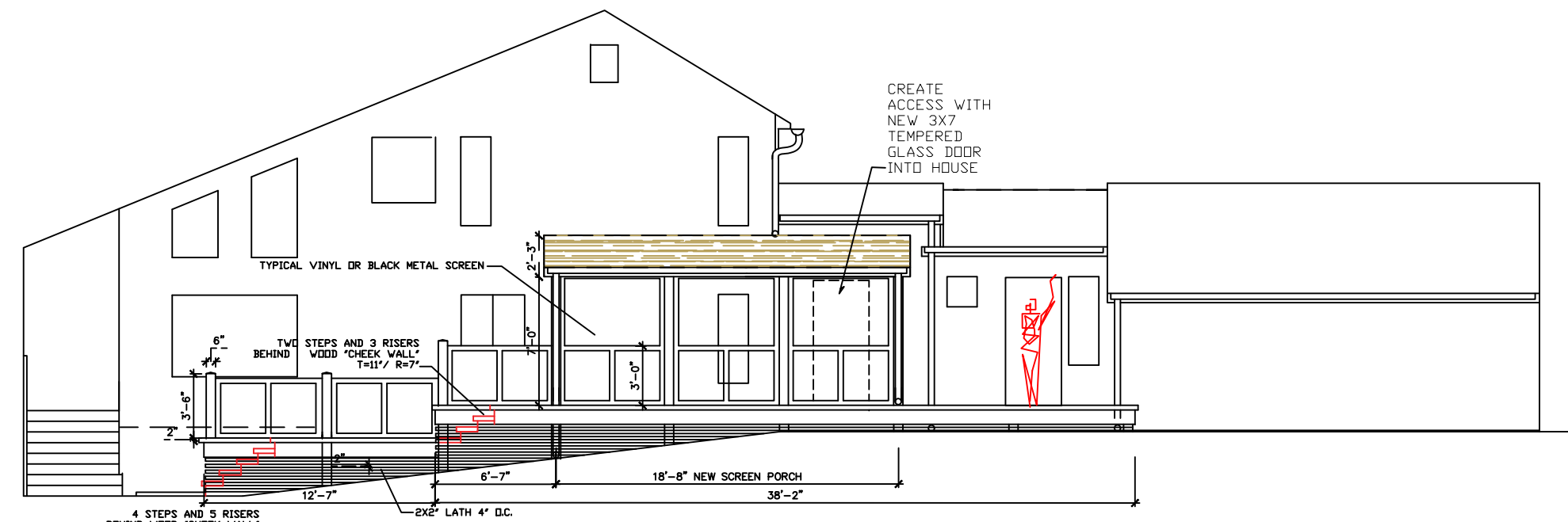
**MORTAR MIX AND DESIGN**

**ALL SUBCONTRACTORS SHALL GUARANTEE THEIR WORK (MATERIAL AND LABOR)**

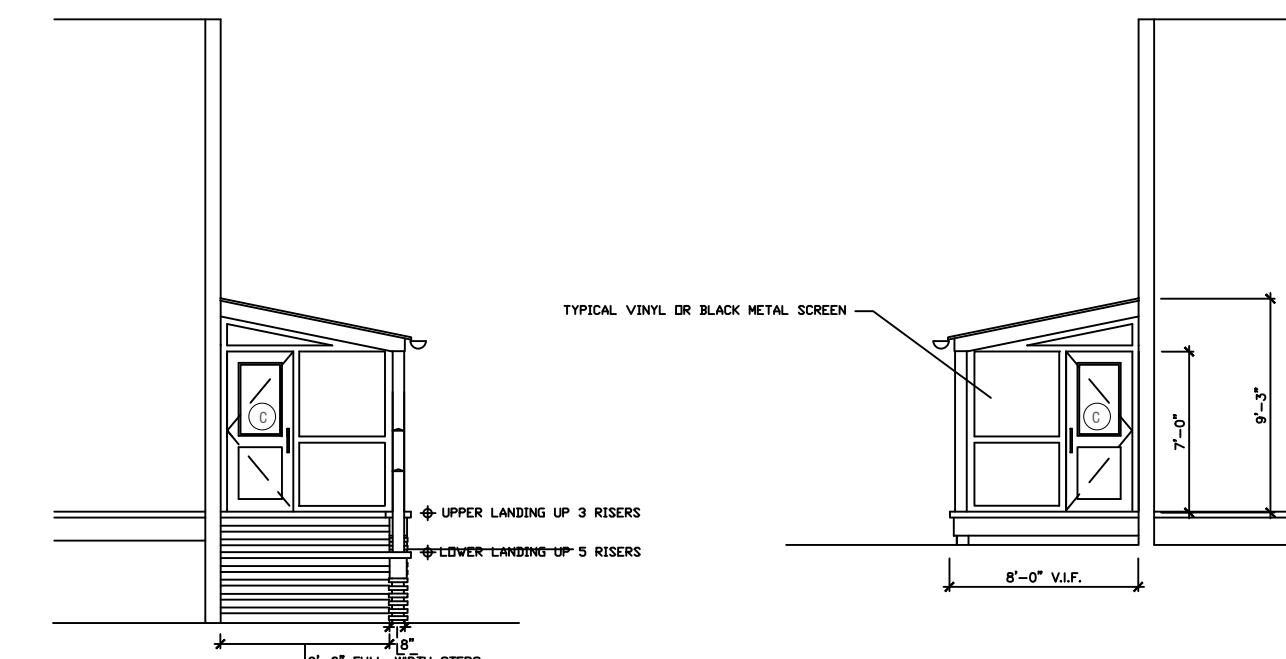
**FOR A MINIMUM PERIOD OF ONE YEAR UNLESS OTHERWISE NOTED OR REQUIRED**

**GENERAL NOTES**

1. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR NOR HAVE CONTROL OR CHARGE OF THE CONSTRUCTION MEANS, METHODS, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS.
2. CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME.
3. ALL WORK MATERIAL SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE APPLICABLE CODES AND ORDINANCES.
4. ALL WOOD IN CONTACT WITH MASONRY SHALL BE PRESURE-TREATED WOOD. CASING JAMBS AND TRIM SHALL BE STAIN GRADE OR CLEAR GRADE SPECIFIED OTHERWISE.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CUSTOM FABRICATED WORK. CONTRACTOR SHALL REVIEW/APPROVE ALL SUBMITTALS/SHOP DRAWING PRIOR TO SUBMITTING FOR ARCHITECTS REVIEW.
6. DO NOT SCALE DRAWING. USE DIMENSION INDICATED ON DRAWINGS. DIMENSIONS OF LARGER SCALE DRAWING AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND VERIFY SAME IN FIELD.
7. IN THE EVENT THERE ARE FOUND DISCREPANCIES OR AMBIGUITIES IN OR OMISSION FROM THE SPECIFICATIONS OR DRAWINGS OR SHOULD THERE BE DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT SHALL BE NOTIFIED IN ORDER TO PROVIDE CLARIFICATION.
8. INSULATE MASONRY WALLS, EXTERIOR STUDS WALLS, AND ATTIC SPACE IN ACCORDANCE WITH THE ENERGY CODE CALCULATIONS.
9. ALL WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS.
10. ALL REQUIRED TESTS SHALL BE PERFORMED BY OWNER.
11. ALL DRYWALL, PLASTER AND STUCCO SHALL RECEIVE TWO COATS OF PREMIUM QUALITY PAINT. WOOD SHALL BE PAINTED OR STAINED. COLOR TO BE SELECTED BY OWNER.
12. ALL PERIMETER THRESHOLDS SHALL BE 1/2" MAX.
13. THE CONTRACTOR SHALL OBTAIN FROM ALL SUB CONTRACTORS THE SIZE AND LOCATION OF ALL OPENING TO BE PROVIDED BY THEIR RESPECTIVE TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION, LOCATION, SIZE AND DETAIL.
14. THE CONTRACTOR SHALL PROVIDE ALL SUPPLEMENTAL MATERIAL REQUIRED TO PROPERLY INSTALL, SUPPORT AND BRACE ALL ITEMS AND COMPONENTS WITHIN THE WORK.
15. THE GENERAL CONTRACTOR GUARANTEES AND WARRANTS THAT ALL WORK PERFORMED SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE ISSUANCE OF THE CERTIFICATE OF FINAL COMPLETION. ANY DEFECTS OR DAMAGE DISCOVERED DURING SAID PERIOD SHALL BE REPAIRED OR REPLACED, AS DIRECTED IN WRITING BY THE ARCHITECT, AT NO ADDITIONAL COSTS.
16. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH CHAPTER VI OF THE STANDARD BUILDING CODE.
17. FIXED GLASS AND/OR OPERABLE WINDOW WITHIN 24" OF THE FINISH FLOOR SHALL BE SAFETY GLASS.
18. COMPLETION CONTRACTOR TO NOTIFY OWNER AND/OR ARCHITECT IN WRITING OF ANY DEFECTS OR DAMAGE TO FINAL PROJECT. OWNER'S RESPONSIBILITY TO CONTRACTOR SHALL NOT BE MADE UNLESS OWNER PUNCH LIST HAS BEEN SATISFIED. CONTRACTOR TO PROVIDE OWNER WITH WRITTEN GUARANTEE OR WARRANTY. CONTRACTOR AT COMPLETION OF WORK SHALL REMOVE FROM THE PREMISES ALL RUBBER, SUPPLEMENTAL EQUIPMENT AND SURPLUS MATERIALS. LEAVE THE PROJECT "BROOM CLEAN".
19. PROVIDE EROSION TREATMENT AND PROTECTION AS REQUIRED BY CODE. EROSION TREATMENT CERTIFICATE FOR REQUIRED TREATMENT SHALL BE POSTED.

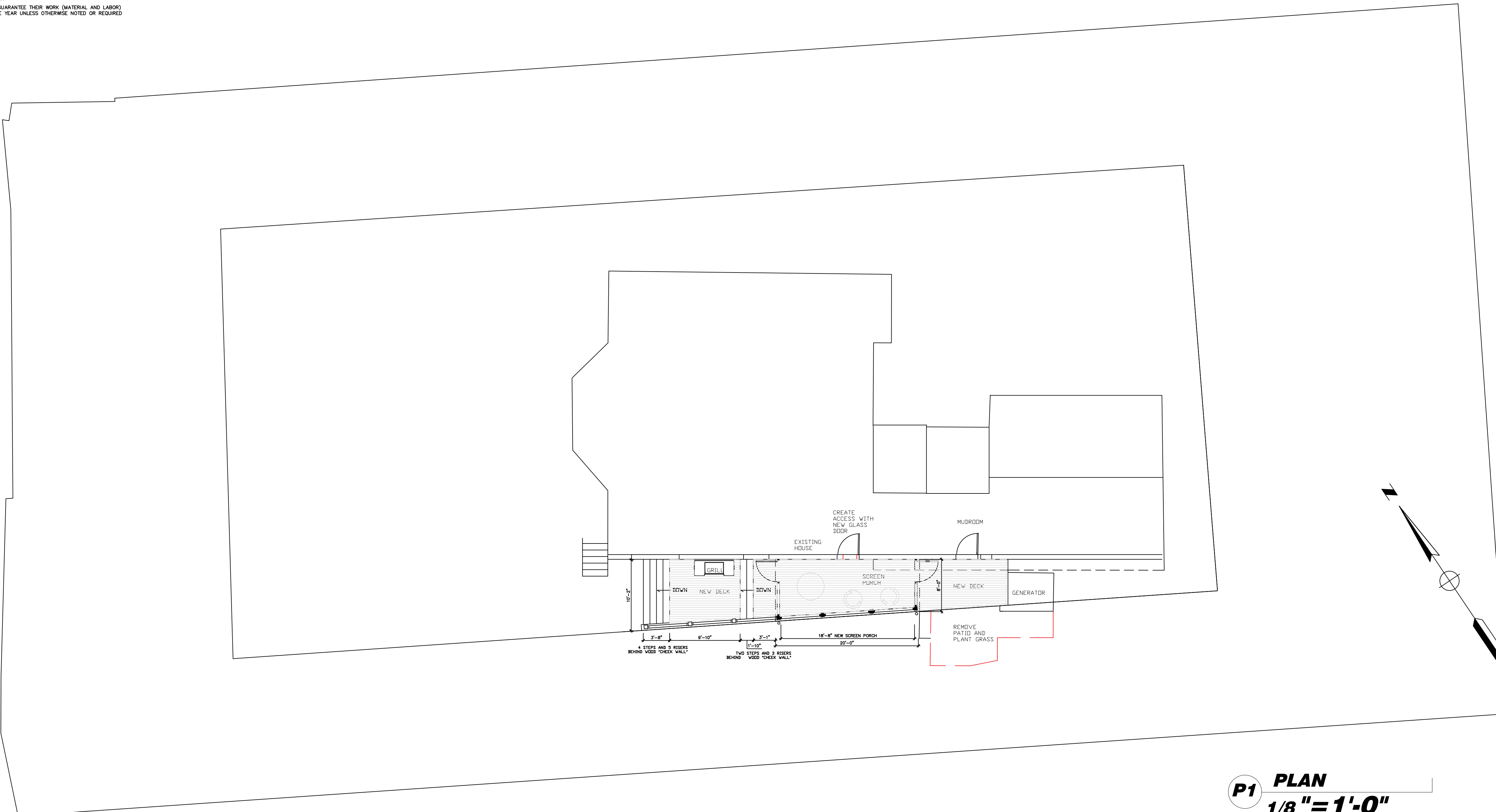


**E2 PROPOSED SOUTH ELEVATION**  
1/8" = 1'-0"



**E2 PROPOSED WEST ELEVATION**  
1/8" = 1'-0"

**E2 PROPOSED EAST ELEVATION**  
1/8" = 1'-0"



**P1 PLAN**  
1/8" = 1'-0"

SCHEDULE OF DRAWINGS:	
<b>A-001</b>	<b>TITLE SHEET AND PROJECT OVERVIEW</b>
<b>SUR-1</b>	<b>EXISTING SURVEY</b>
<b>A-002</b>	<b>EXISTING PLAN AND PROPOSED ROOF PLAN</b>
<b>A-101</b>	<b>PROPOSED FIRST FLOOR PLAN</b>
<b>A-102</b>	<b>PROPOSED ROOF PLAN</b>
<b>A-103</b>	<b>PROPOSED SOUTH ELEVATION</b>
<b>A-104</b>	<b>PROPOSED EAST &amp; WEST ELEVATIONS</b>

PERMIT SET JUNE 4, 2024

WALTER CHATHAM ARCHITECT  
2 HUDSON AVENUE  
HUDSON, NY 12534  
(212) 925 2202 walter@wchatham.com

PROJECT: SCREEN PORCH  
85 PRESTON LANE  
SALISBURY, CT.

**SCREENED PORCH DETAILS**

SEAL & SIGNATURE	DATE: 2.15.24
	PROJECT NO.: PL-01
	DWG. BY: WC
	DWG. NO.:
	<b>A-001.00</b>
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ZONING TABLE		
ZONE - RR1	Existing	Proposed
Lot Area	20,774±S.F.	-
Lot Width	100.00'	-
Front Setback	45.3'	-
Side Setback	24.9'/29.3'	-
Rear Setback	78.8'±	-
Watercourse Setback	78.8'±	-
Impervious surface area (currently)	5,872±S.F.	-
Impervious surface area (% currently)	28.3±%	-
Impervious Surface Area (previously)	7,072±S.F.	-
Impervious Surface Area (% previously)	34.0±%	-
Building Coverage	2,461 S.F.	-
Building Coverage (%)	11.8±%	-
Existing Building Height	20.8'±	-

\* Zoning setback dimensions shown taken from principal or accessory buildings closest to adjacent property line.

**LEGEND**

PROPERTY LINE	—
WATERBODY	— · · ·
STONE WALL	— ○ — ○ —
FENCE	— ○ — ○ —
CONTOUR LINE	- - - - 100 - - - -
SPOT ELEVATION	+100.0
IRON PIN OR PIPE	○
UTILITY POLE	⊕
LAMP	⊙
WELL	⊗

**MAP REFERENCES**

1. Refer to map entitled "PROPERTY OF, FREDERICK L. PRESTON, TOWN OF SALISBURY, LITCHFIELD CO., CONN.", scale: 1"=100', dated Apr. 25, 1962, prepared by S.V.N. Rockefeller. C.E. Map #908 Salisbury Land Records.
2. Refer to map entitled "LANDS OF FREDERICK L. PRESTON, TOWN OF SALISBURY, LITCHFIELD CO., CONN." scale: 1"=100', dated Feb. 22, 1957, prepared by S.V.N. Rockefeller C.E. Map #824 Salisbury Land Records.
3. Refer to map entitled "PLAN SHOWING LAND, SURVEYED FOR, 'PRESTON ROAD ASSOCIATION', THOMAS P. STACK, KYLIE F. PERD, ALVIN L. CHUMSKY, PRESTON LANE 'TWIN LAKES', SALISBURY, CONNECTICUT", scale: 1"=60', dated August 1986, prepared by Robert Macy and Associates. Map #1859 Salisbury Land Records.

**NOTES**

1. This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a **PROPERTY SURVEY** based on a **RESURVEY** and conforms to a Horizontal Accuracy Class A-2 and a Vertical Accuracy Class T-2.
2. OWNER OF RECORD - NATHANIEL & LAURA KIRK (Vol.268-Pg.291)
3. AREA - 20,774± S.F. or 0.477± Acres
4. ZONE - R-20
5. Elevations based on 'NAVD 1988' datum.
6. Refer to Vol.77-Pg.160 for easement over a 50' roadway.
7. Refer to Vol.141-Pg.7 for Sewer Easement.
8. Refer to Vol.77-Pg.128 for Restrictive Covenants.
9. Former paver walkway shown taken from parol evidence of owner and field locations of previously disturbed lawn. This area should be considered approximate. Total area of removed pervious surface is approximately 1,200± S.F.

**IMPROVEMENT LOCATION SURVEY**

PROPERTY OF  
**NATHANIEL & LAURA KIRK**  
#85 PRESTON LANE - LAKE WASHINEE  
SALISBURY, CONNECTICUT

SCALE: 1"=20'    DATE: APRIL, 2024    SHEET NO. 1 OF 1    JOB NO. 0291-104

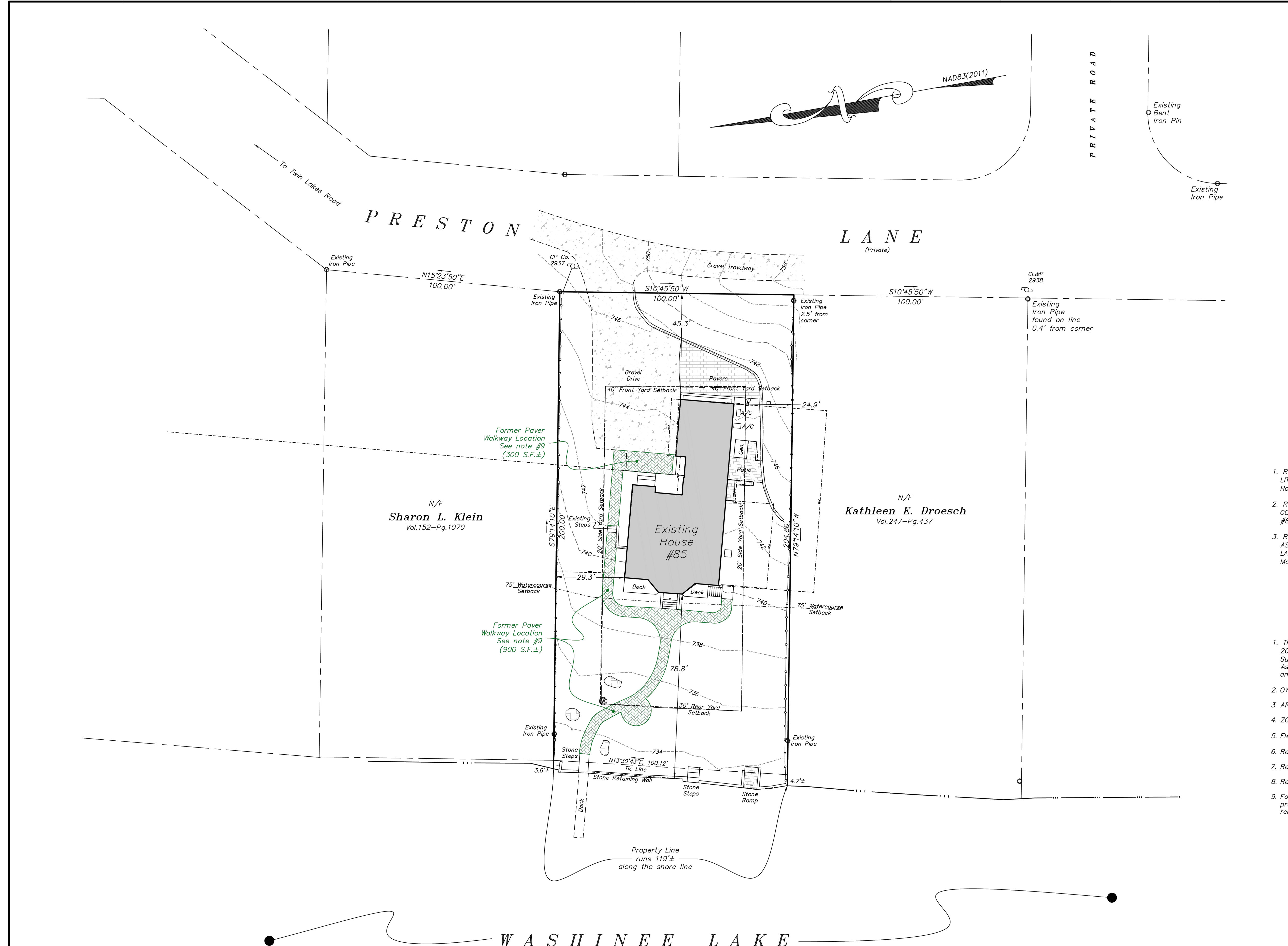
**Timothy G. Wyllie Jr., Land Surveyor**  
Barkhamsted, Connecticut  
Phone: 860.605.9075    email: tgwsurveying@gmail.com

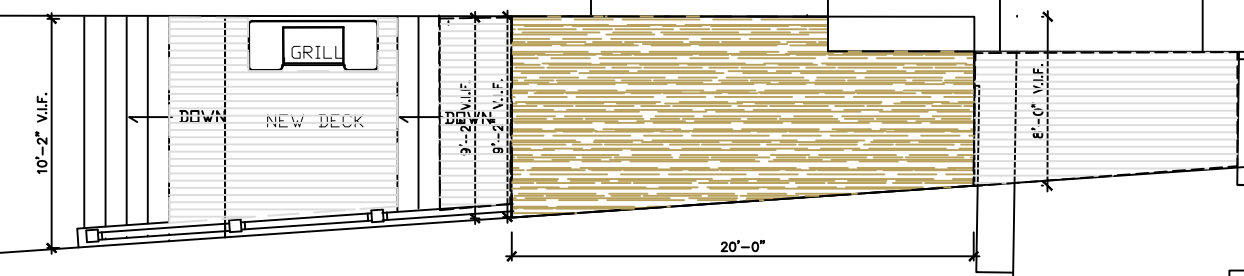
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

TIMOTHY G. WYLLIE, JR. LICENSE # 70421 L.S.  
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED

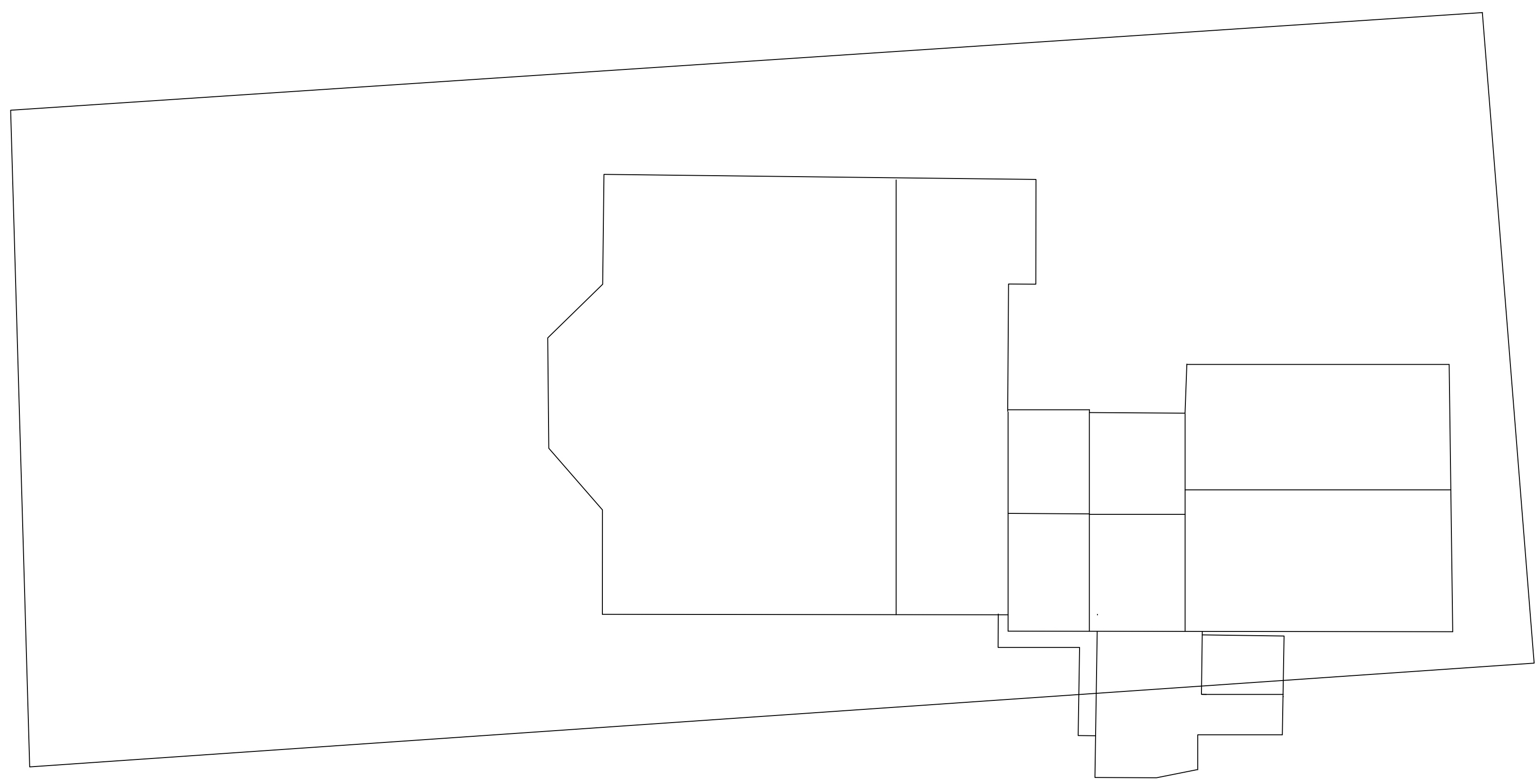
4/22/24 Note #9 added  
4/12/24 Setbacks Added  
REVISIONS

GRAPHIC SCALE (INCHES)  
0 1 2 3 4



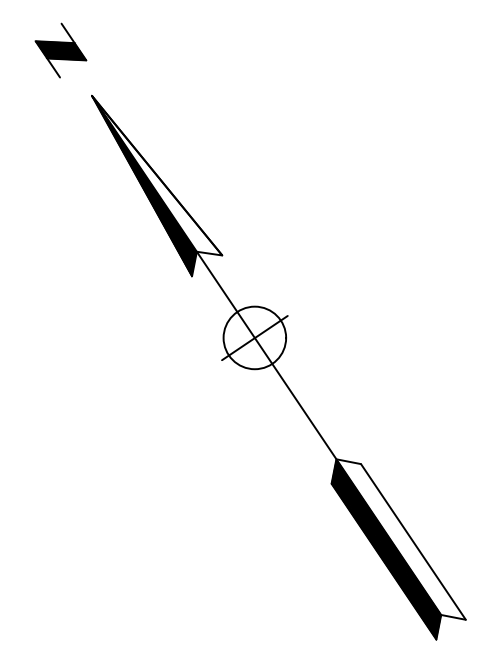


**P2 ROOF PLAN**  
1/8" = 1'-0"



**P0 EXISTING PLAN**  
1/4" = 1'-0"

**P0 EXISTING PLAN**  
1/8" = 1'-0"



PERMIT SET JUNE 4, 2024

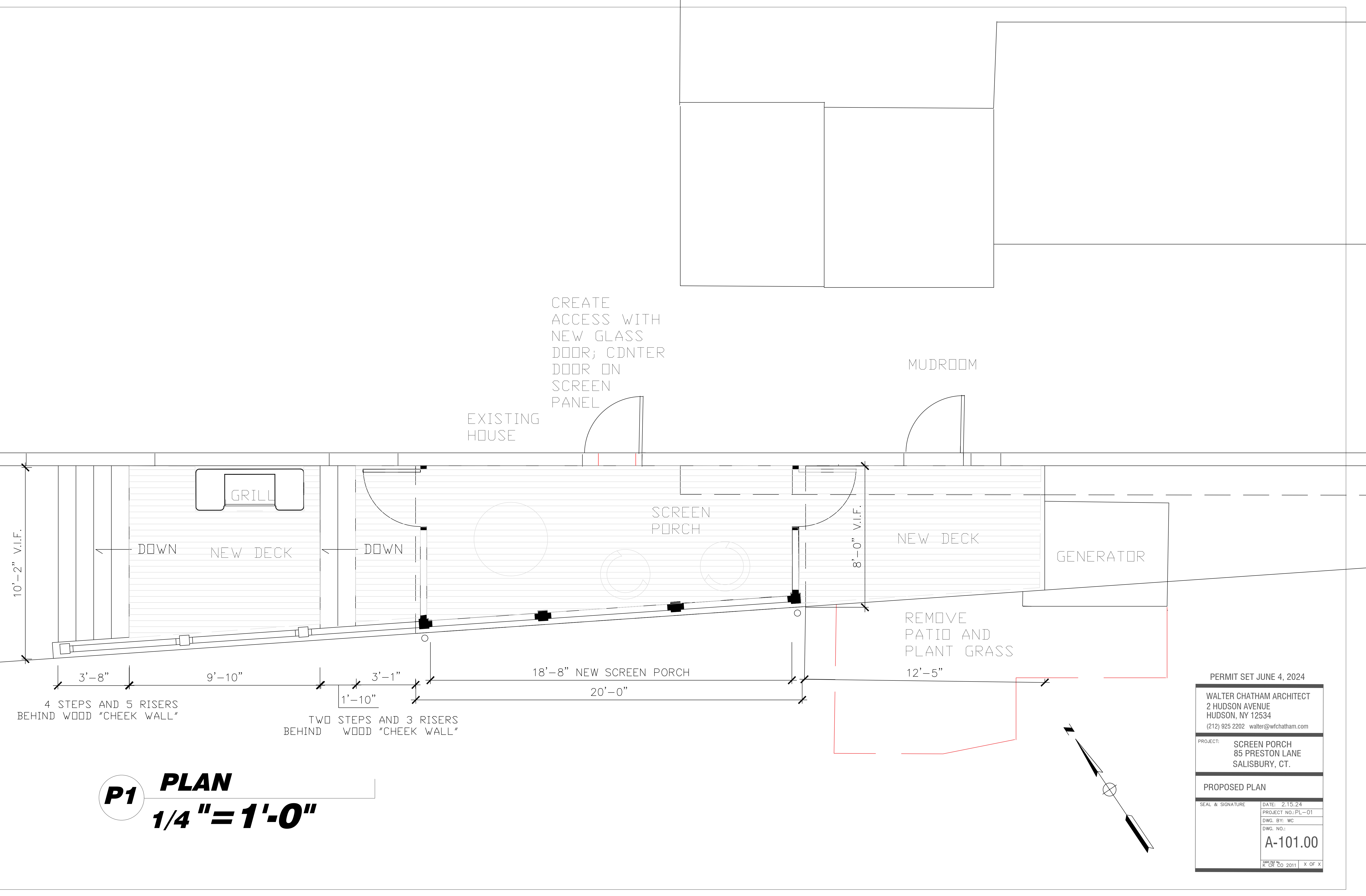
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PROJECT: SCREEN PORCH  
 85 PRESTON LANE  
 SALISBURY, CT.

SCREENED PORCH DETAILS

SEAL & SIGNATURE	DATE: 2.15.24
	PROJECT NO.: PL-01
	DWG. BY: WC
	DWG. NO.: <b>A-002.00</b>
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CREATE  
ACCESS WITH  
NEW GLASS  
DOOR; CENTER  
DOOR ON  
SCREEN  
PANEL

EXISTING  
HOUSE

MUDROOM

GRILL

DOWN

NEW DECK

DOWN

SCREEN  
PORCH

NEW DECK

GENERATOR

REMOVE  
PATIO AND  
PLANT GRASS  
12'-5"

10'-2" V.I.F.

8'-0" V.I.F.

3'-8"

9'-10"

3'-1"

18'-8" NEW SCREEN PORCH

20'-0"

12'-5"

4 STEPS AND 5 RISERS  
BEHIND WOOD "CHEEK WALL"

TWO STEPS AND 3 RISERS  
BEHIND WOOD "CHEEK WALL"

**P1 PLAN**  
**1/4" = 1'-0"**

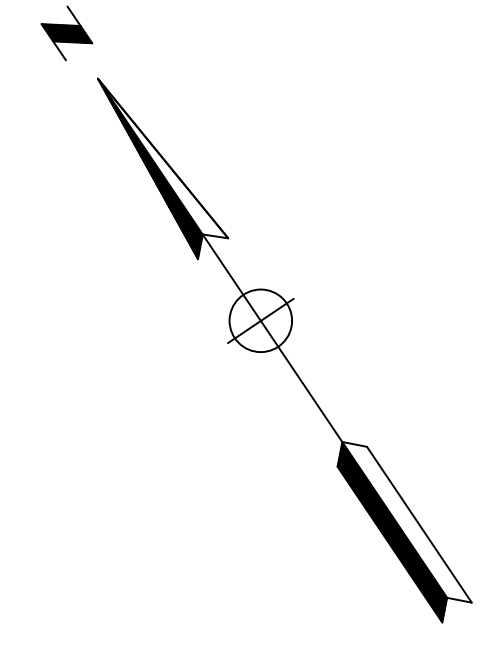
PERMIT SET JUNE 4, 2024

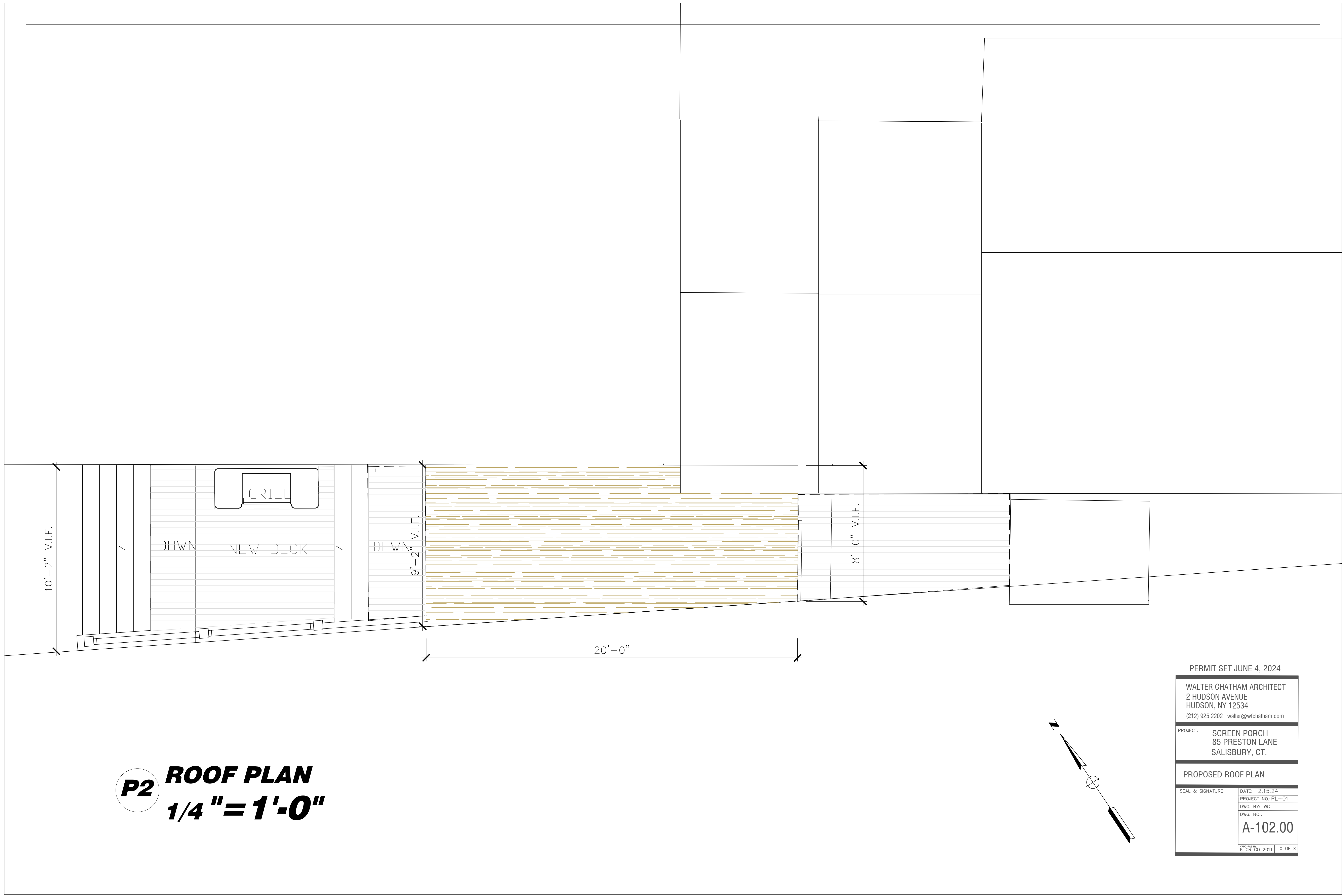
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PROPOSED PLAN

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	DWG. NO.: A-101.00
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10'-2" V.I.F.

DOWN

NEW DECK

DOWN

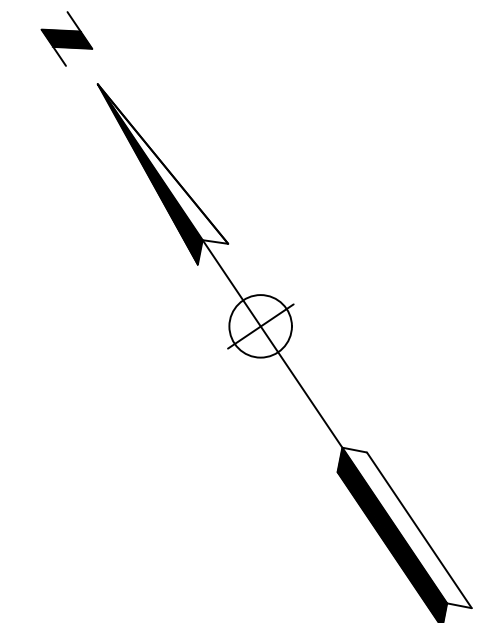
GRILL

9'-2" V.I.F.

20'-0"

8'-0" V.I.F.

**P2** **ROOF PLAN**  
**1/4" = 1'-0"**



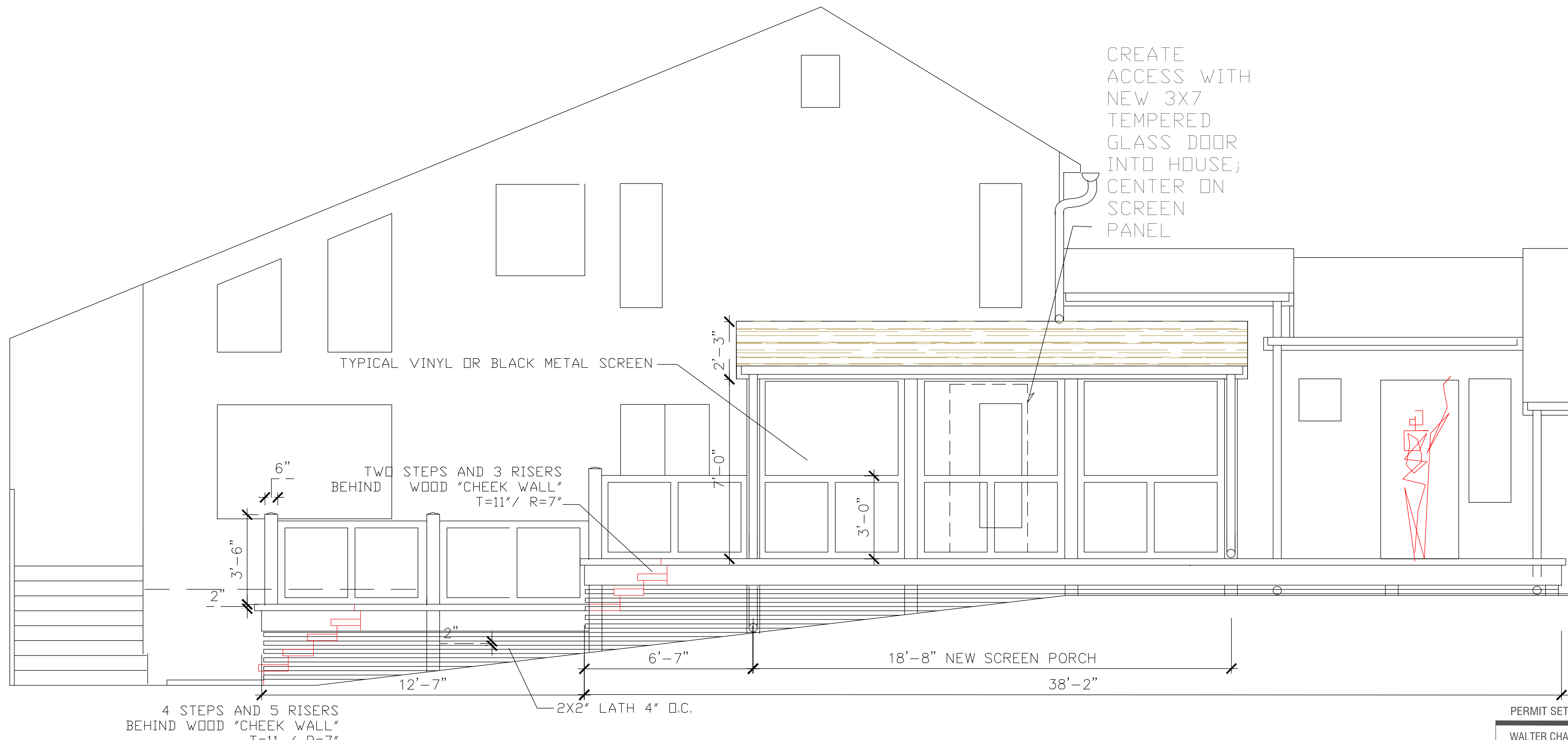
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PROPOSED ROOF PLAN

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	DWG. NO.: A-102.00
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**E1** **PROPOSED SOUTH ELEVATION**  
**1/4" = 1'-0"**

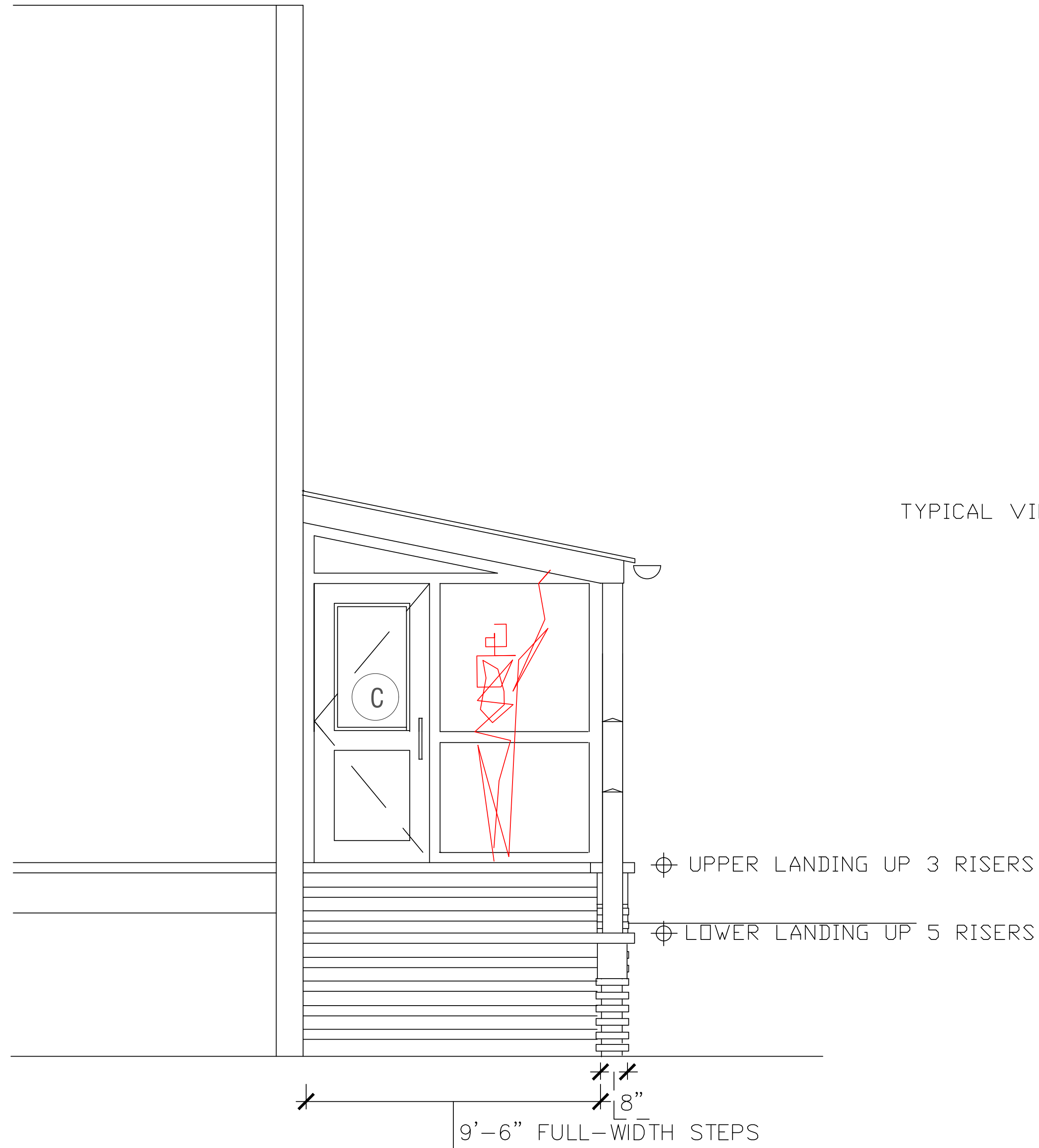
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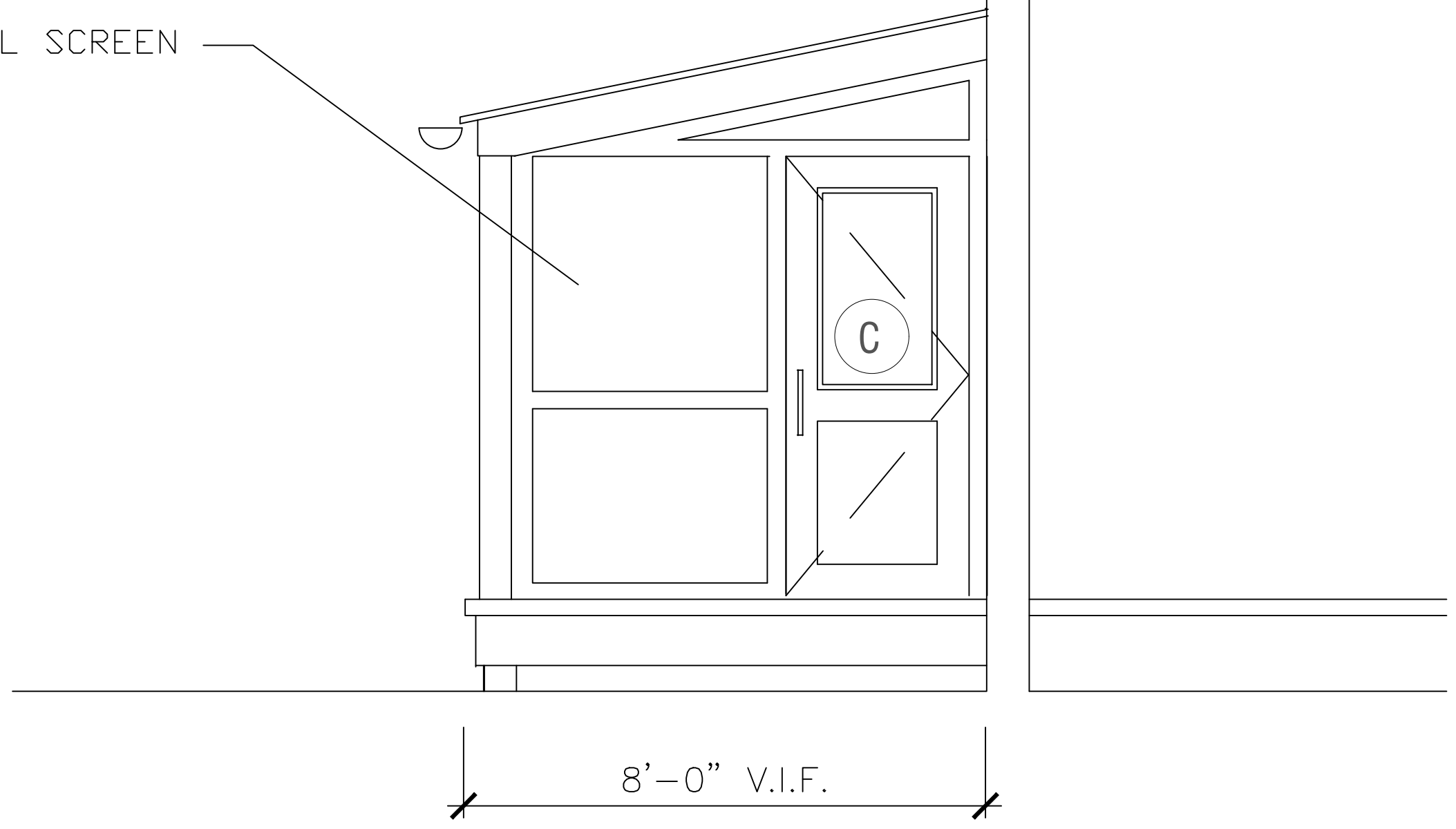
PROPOSED SOUTH ELEVATION

SEAL & SIGNATURE	DATE: 2.15.24
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	DWG. NO.:
	<b>A-103.00</b>
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**E2** **PROPOSED WEST ELEVATION**  
**1/4" = 1'-0"**

TYPICAL VINYL OR BLACK METAL SCREEN



**E3** **PROPOSED EAST ELEVATION**  
**1/4" = 1'-0"**

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PROPOSED EAST & WEST  
 ELEVATIONS

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