

TOWN OF SALISBURY, CONNECTICUT
HISTORIC DISTRICT COMMISSION

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Appl. No. 2024-010 Name of property OLD STONE HOUSE
Ctf. Issued _____ Ctf. No. _____ Property No. _____
Date 6-25-2024

Application is hereby made for the issuance of a Certificate of Appropriateness under an "Ordinance Establishing Historic Districts within the Town of Salisbury", duly adopted on February 9, 1970 and enacted pursuant to the enabling authority contained in Sections 7-147(a) through 7-147(k) of the General Statutes of Connecticut, for the proposed work described below and as shown on the photographs, plans, or drawings (where applicable or appropriate), accompanying this application:

Address of proposed work 264 Taconic Road Salisbury, CT

Owner Arek Feredjian/Elina Tunyan Owner's address 264 Taconic Road Salisbury, CT

Applicant, if not owner _____

Agent or contractor _____

Address _____

Proposed work is in connection with: a dwelling; _____ an accessory building;
_____ a commercial building; _____ an industrial building; other (specify)

Nature and description of proposed work (attach extra sheets as necessary);

The work will include a driveway, addition onto the existing dwelling and refurbishment of the existing (historic) windows.

Signature of Applicant Arek Feredjian / Elina Tunyan

Print Name of Applicant Arek Feredjian / Elina Tunyan

Action taken:
Historic District Commission _____ Date _____

Planning and Zoning Commission _____ Date _____

Building Inspector _____ Date _____

Title	TownSalisburyHistorictDistrictofAppropriateness09012022
File name	TownSalisburyHist...eness09012022.pdf
Document ID	5a52f322f3b4082ede9fcaefbc54a2bb818f87ba
Audit trail date format	MM / DD / YYYY
Status	● Signed

Document History



SENT

05 / 16 / 2024
19:57:25 UTC-4

Sent for signature to Arek Feredjian (arekbf@gmail.com) from hello@playpop.co
IP: 162.125.31.45



VIEWED

05 / 16 / 2024
19:57:34 UTC-4

Viewed by Arek Feredjian (arekbf@gmail.com)
IP: 73.142.73.15



SIGNED

05 / 16 / 2024
19:58:42 UTC-4

Signed by Arek Feredjian (arekbf@gmail.com)
IP: 73.142.73.15



COMPLETED

05 / 16 / 2024
19:58:42 UTC-4

The document has been completed.

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA
 Bowerbird Architects, PLLC
 124 9th St. Suite 250
 Brooklyn NY 11215
 Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

Code Consultant Name
 and Address

Structural Engineer

Structural Engineer Name
 and Address

PROGRESS SET
 05/14/2024

DOB EXAMINER - SEAL & SIGNATURE



NOT FOR CONSTRUCTION - FOR ILLUSTRATION PURPOSES ONLY

DATE	REVISION

PROJECT

264 TACONIC RD.
 SALISBURY, CT 06068

TITLE

TITLE SHEET

264 TACONIC RD.

264 TACONIC RD., SALISBURY, CT 06068

JOB DESCRIPTION:

PROPOSED NEW ADDITION CONNECTED WITH BREEZEWAY TO EXISTING ONE-FAMILY HOUSE.
 ALL RELATED APPLICATIONS WILL BE FILED SEPARATELY. THIS BUILDING WILL BE REVIEWED
 UNDER 2022 CONNECTICUT STATE BUILDING CODE.

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	
		DRAWING NO.:	
			T001.00

GENERAL NOTES

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT DOCUMENTS. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

- 1. THE GENERAL CONTRACTOR (GC) SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND/OR BUILDING. REPORT ANY DIMENSIONS THAT DEVIATE OR ARE MISSING FROM THE CONTRACT DOCUMENTS TO ARCHITECT TO DETERMINE IF DIFFERENCES WILL AFFECT DESIGN. DO NOT SCALE THESE DRAWINGS.
2. THE ARCHITECT IS NOT RETAINED TO SUPERVISE THE WORK, GC IS TO REPORT DISCREPANCIES TO ARCHITECT.
3. THE GC SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
4. COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED BY GC TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT. GC SHALL EXAMINE PREMISES BEFORE SUBMITTING A PROPOSAL. NO ALLOWANCE WILL BE MADE FOR LACK OF FULL KNOWLEDGE OF CONDITION OF PREMISES.
5. THE GC SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OF ALL TRADES, OR TO MAKE PARTS FIT TOGETHER WITHOUT COMPROMISING THE QUALITY OF THE WORK.
6. WOOD FRAMING TO BE HEMLOCK, CONSTRUCTION GRADE, 1450 PSF, OR APPROVED EQUAL. FRAMING TO COMPLY WITH SPECIFICATIONS STRUCTURAL ENGINEER.
7. OFFICIAL GRADE MARKS MUST BE AFFIXED ON LUMBER BEFORE DELIVERY TO SITE.
8. METAL FRAMING TO MEET STANDARDS BY THE LOCAL BUILDING CODE, ASTM AND AISI. GALVANIZED STEEL STUDS TO BE 16 GA. @ 16" O.C. WITH DEPTHS AS INDICATED ON PLANS
9. THE GC SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND MIS-ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
10. DRYWALL IN BATHROOM TO BE 5/8" MOISTURE RESISTANT GYPSUM BOARD AS PER 486-39SM. USE CEMENTITIOUS 1/2" BACKER BOARD WHEN TILE SURFACES ARE IN CONTACT WITH WATER. U.O.N.
11. FIRE-RETARD ALL COMBUSTIBLE MATERIAL WITHIN ONE FOOT OF COOKING APPARATUS; MAINTAIN TWO FOOT CLEARANCE ABOVE COOKING APPARATUS.
12. BATHROOMS TO HAVE TILE FLOORS WITH 6" SANITARY BASE MINIMUM. SEE ELEVATIONS FOR HEIGHTS OF TILE ON WALLS.
15. THE GC SHALL NOT INSTALL SUSPENDED OR FURRED CEILINGS IN AREAS WHERE PIPES ARE TO BE CONCEALED (HEATING, PLUMBING) UNTIL THE PIPING HAS BEEN TESTED.
16. THE GC SHALL COORDINATE THE INSTALLATION OF PLUMBING FIXTURES PRIOR TO THE CONSTRUCTION OF PARTITIONS BEHIND SUCH FIXTURES USING SPEC SHEETS AND INSTALLATION INSTRUCTIONS FROM MANUFACTURER.
17. THE GC SHALL EXTEND FLOORING MATERIAL INTO ALL WARDROBES AND CLOSETS. CONSULT ARCHITECT ABOUT AREAS IN QUESTION.
18. ALL ELECTRICAL INDICATIONS ON ARCHITECTURAL DRAWINGS ARE FOR CODE COMPLIANCE BUT ARE GENERALLY PLACED FOR LOCATION PURPOSES ONLY. CONSULT ARCHITECT FOR LOCATION OF FIXTURES, DEVICES, SECURITY ITEMS, ETC. IN QUESTION.

DEMOLITION NOTES

- 1. CONTRACTOR SHALL PERFORM ALL DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER, OVERSEEN BY GC.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
4. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN DURING AND AT THE COMPLETION OF DEMOLITION.
5. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRE TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
6. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF BUILDING CODE.

BUILDING DEPARTMENT NOTES

- 1. GENERAL CONSTRUCTION TO COMPLY WITH STATE OF CT BUILDING CODE.
2. WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY PORTIONS OF THE WORK, IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
3. ALL MATERIALS, ASSEMBLIES, FORMS METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
3.a. THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
3.b. THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE RESCRIBED TEST METHODS BY THE COMMISSIONER (OR) APPROVED BY THE OFFICE OF TECHNICAL CERTIFICATION AND RESEARCH (OTCR)ARCHITECT FOR LOCATION OF FIXTURES, DEVICES, SECURITY ITEMS, ETC. IN QUESTION.
4. MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
4.a. THEY SHALL CONFORM WITH A.I.S.G. "FIRE RESISTANCE RATING", DATED 1985 (OR)
4.b. THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119, STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE COMMISSIONER (OR)
4.c. THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE
4.d. APPROVED BY OTCR

- 19. THE GC SHALL COORDINATE OPENINGS IN THE FOUNDATION AND EXTERIOR WALLS FOR THE INSTALLATION OF CONDUITS AND BOXES FOR ELECTRICAL EQUIPMENT.
21. WHERE MANUFACTURERS' NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. SUBSTITUTIONS OF OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
22. FIRESTOPPING SHALL BE INSTALLED AT ALL PENETRATIONS OF FIRE RATED CONSTRUCTION AS PER SPECIFICATIONS. MATERIAL IS TO BE APPROPRIATE FOR THE ASSEMBLY AND SHALL HAVE AN MEA NUMBER.
23. SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.
24. THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF HIS WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED, THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED, AND AFTER SUCH INSPECTION, HE SHALL PROPERLY REPAIR AND REPLACE ALL SUCH WORK. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT.
25. THE CONTRACTOR SHALL GUARANTEE THE WORK AGAINST DEFECTS IN MATERIALS OF WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT OF COMPLETED WORK BY OWNER, AND HE SHALL AT HIS OWN EXPENSE, AND WITHOUT COST TO THE OWNER, CORRECT ANY DEFECTS WHICH MAY DEVELOP DURING SUCH ONE YEAR PERIOD AND CORRECT ANY DAMAGE TO OTHER WORK CAUSED BY SUCH DEFECTS.
26. ALL DIMENSIONS ARE TAKEN FROM FINISH TO FINISH, OTHER THAN ROUGH OPENINGS FOR WINDOWS. DOOR DIMENSIONS ARE SHOWN TO INSIDE OF JAMB
27. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD. REPORT ANY DIMENSIONS THAT DEVIATE FROM CONTRACT DOCUMENTS TO ARCHITECT.
28. METHODS, MEANS AND MATERIALS SUBMISSIONS: THE GC SHALL BE RESPONSIBLE FOR SUBMITTING HIS AND HIS SUBCONTRACTOR'S SPECS, LITERATURE, MANUFACTURER'S CUTSHEETS OF EQUIPMENT, SHOP DRAWINGS WHERE APPLICABLE, AND SAMPLES OF MATERIALS THAT ARE SHOWN ON THE DRAWINGS OR OF AN EQUAL SUBSTITUTION IF REQUESTED. HE SHALL FIRST REVIEW THE SUBMISSION FOR COMPLETENESS AND COMPLIANCE BEFORE PASSING IT ON TO THE ARCHITECT FOR THEIR APPROVAL. THIS WOULD ALSO HOLD FOR ADDITIONAL CHANGES TO THE WORK THAT ARE MADE DURING THE PROGRESS OF THE JOB. THE OWNER, ARCHITECT AND GC SHALL DISCUSS THIS PARAGRAPH FOR COMPLIANCE WITH REGARD TO ANY SUBCONTRACTOR HIRED DIRECTLY BY THE OWNER TO DETERMINE PROCEDURES TYPICAL FOR THE PROJECT.
29. FOR ANY ITEMS PURCHASED BY OWNER OR GC, THE GC SHALL OBTAIN AND SUBMIT FOR THE ARCHITECT'S REVIEW AND APPROVAL, ANY SHOP DRAWINGS OR PRODUCT CUTSHEETS, ALONG WITH MANUFACTURER'S NAMES, CATALOG NUMBERS, INSTALLATION INSTRUCTIONS, AND WARRANTIES, SPECIFIED IN THE CONTRACT DOCUMENTS, OR AS THE GC REQUESTS. THE GC SHALL ALSO RETAIN ALL INVOICES FOR ALL PURCHASES RELATED TO CONSTRUCTION, AND THE GC SHALL BE RESPONSIBLE FOR RECEIVERSHIP AND SAFEKEEPING OF ALL ITEMS THEREAFTER. SUBSTITUTIONS SHALL ALSO FOLLOW THE ABOVE PROCEDURES.
30. THE CONSTRUCTION DOCUMENTS, THAT THE OWNER APPROVES, AND G.C. BUILDS FROM, SHALL SHOW THE DESIGN CONCEPT. THE GC IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THE GC SHALL SUBMIT FOR THE ARCHITECT'S REVIEW AND APPROVAL, SHOP DRAWINGS AND PRODUCT CUTSHEETS, WITH MANUFACTURER'S NAMES, CATALOG NUMBERS, INSTALLATION INSTRUCTIONS AND WARRANTIES, EITHER SPECIFIED IN THE CONTRACT DOCUMENTS, OR AS REQUIRED BY THE GC OR OWNER. THE GC SHALL ALSO PRODUCE FOR THE ARCHITECT'S APPROVAL, GRAPHIC DETAILS SHOWING ANYTHING HE PLANS TO CONSTRUCT, WHICH DEVIATES FROM THE SIGNED SET OF CONSTRUCTION DOCUMENTS. SUBSTITUTIONS SHALL ALSO FOLLOW THE ABOVE PROCEDURES.

- 31. RESPONSIBILITIES FOR MEANS AND METHODS: THE ARCHITECT SHALL MAKE PROJECT VISITS AS APPROPRIATE TO JOB PROGRESS, TO GENERALLY DETERMINE THAT THE WORK IS IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS AND RELATED DOCUMENTS THAT MAKE UP THE GENERAL CONTRACTOR'S AGREEMENT WITH THE OWNER. THE ARCHITECT SHALL NOT, IN ANY WAY, DIRECT THE CONSTRUCTION MEANS, METHODS, PROCEDURES, SCHEDULING OR SAFETY PROGRAM, NOR SHALL THE ARCHITECT BE RESPONSIBLE FOR ANY OMISSION OR JOB CONDUCT BY ANYONE UNDER CONTRACT TO THE GENERAL CONTRACTOR, HIS AGENTS OR EMPLOYEES INCLUDING THOSE OF HIS SUBCONTRACTORS.
32. GC RESPONSIBLE TO THE OWNER FOR COORDINATING INSTRUCTIONS ON RUNNING THE SYSTEMS THAT ARE INSTALLED (AS THE OWNER MUST TAKE OVER THE BUILDING AFTER CONSTRUCTION IS COMPLETED.) UPON PROJECT COMPLETION, THE GC SHALL SCHEDULE SEPARATE MEETINGS BETWEEN THE OWNER AND EACH OF HIS MECHANICAL AND ELECTRICAL CONTRACTORS (HVA/CP+E) INCLUDING THE GC, TO FULLY EXPLAIN THE RUNNING OF THEIR RESPECTIVE INSTALLATIONS (IE, HEATING, PLUMBING, AIR-CONDITIONING, ELECTRICAL, MEDIA, SECURITY, COMMUNICATIONS, ETC.)
AT THOSE SEPARATE MEETINGS WITH EACH OF THE GC'S SUBCONTRACTORS, TRANSMIT TO THE OWNER, ALL MANUFACTURER'S PRODUCT CUTS, INSTRUCTION MANUALS, MANUFACTURER'S USE AND CARE GUIDELINES AND WARRANTIES FOR ALL PRODUCTS AND EQUIPMENT THE GC AND THE SUBCONTRACTORS HAVE INSTALLED. THEREFORE THE GC MUST INFORM ALL PARTIES UNDER ITS CONTRACT FOR CONSTRUCTION TO COLLECT AND SAVE THIS INFORMATION AT THE START OF CONSTRUCTION. THE GC SHALL DISCUSS WITH THE OWNER, HOW TO COORDINATE OTHER CONTRACTOR'S DIRECTLY HIRED BY THE OWNER AND WHO SHALL ALSO COLLECT THE DATA INDICATED ABOVE.
THE GC SHALL BE RESPONSIBLE TO HAVE
a. HIS PLUMBER TAG ALL SHUT OFF VALVES
b. ANY CELLAR VALVES IN THE HEATING SYSTEM NEEDING TAGGING
c. HAVE THE ELECTRICIAN IDENTIFY, BY MECHANICAL PRINT, ALL CIRCUITRY IN ALL ELECTRICAL PANELS AND SUB-PANELS. (HAND PRINTING IS NOT PERMITTED)
d. TAG ANY VALVES FOR THE AIR-CONDITIONING SYSTEM
e. TAG ANY OUTLETS OR JACKS INSTALLED BY ANY OTHER TRADE
f. TAG ANY CABLES GOING INTO ANY CELLAR BOARD (IE SECURITY, MEDIA, COMMUNICATIONS, ETC.)
36. THE GC SHALL SUBMIT TO THE OWNER AND ARCHITECT A CALENDAR WORK SCHEDULE PRIOR TO THE START OF CONSTRUCTION. THE WORK SCHEDULE SHALL SHOW THE PHASING IN OF ALL TRADES FROM THE DATE OF THE START OF CONSTRUCTION TO THE DATE OF SUBSTANTIAL COMPLETION. IT SHALL BE UPDATED PERIODICALLY BUT NOT LESS THAN MONTHLY, UNLESS OTHERWISE AGREED TO BY MUTUAL CONSENT OF THE PARTIES UNDER CONTRACT. THIS SCHEDULE SHALL INCLUDE MAJOR MATERIAL DELIVERIES AND GOVERNMENTAL INSPECTIONS, DATE OF COMMENCEMENT, SUBSTANTIAL COMPLETION.
37. GC SHALL ENSURE ELECTRICIAN INSTALLS RECEPTACLES, PER CODE, IN ALL ROOMS WHERE WORK OCCURS.
38. MECHANICAL VENTILATION NOTES: INTERIOR BATHROOMS TO HAVE FOUR AIR CHANGES PER HOUR. DUCTWORK TO BE 24 GA. STEEL.
39. SMOKE/CARBON DIOXIDE DETECTORS: DWELLING SHALL BE EQUIPPED WITH APPROVED TYPE SMOKE DETECTOR DEVICE RECEIVING PRIMARY POWER FROM BUILDING WIRING AND NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT. SUCH SMOKE DETECTORS MUST BE EITHER IONIZATION CHAMBER TYPE OR PHOTOELECTRIC. SMOKE DETECTORS SHALL BE INSTALLED WITHIN 15 FEET OF THE ENTRANCE TO ANY SLEEPING ROOM. THE DEVICE MUST BE WALL OR CEILING MOUNTED AS INDICATED ON THE DRAWINGS. ALL CARBON DIOXIDE DETECTORS MUST BE INSTALLED WITHIN 15 FEET OF THE ENTRANCE TO ANY SLEEPING ROOM.

Table with 2 columns: Item number and description. Contains notes 19 through 30 and 36 through 39.

DRAWING LIST

Table with 2 columns: Sheet Number and Sheet Name. Lists sheets T001.00 through M101.00 including titles like TITLE SHEET, GENERAL, DOB & DEMOLITION NOTES, SURVEY, ZONING ANALYSIS, etc.

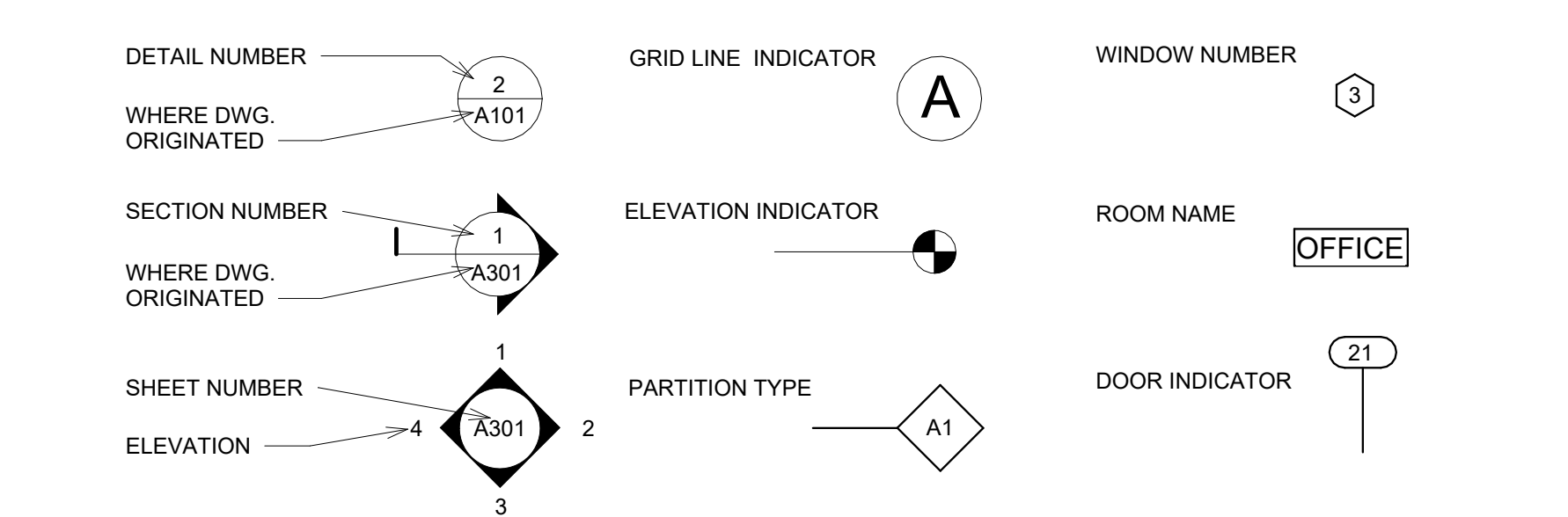
SCOPE OF WORK

PROPOSED NEW ADDITION CONNECTED WITH BREEZEWAY TO EXISTING ONE-FAMILY HOUSE. ALL RELATED APPLICATIONS WILL BE FILED SEPARATELY. THIS BUILDING WILL BE REVIEWED UNDER 2022 CONNECTICUT STATE BUILDING CODE.

ABBREVIATIONS

Table of abbreviations and their meanings, such as ADJ - ADJACENT, GA - GAUGE, RAD - RADIUS, etc.

DRAWING CONVENTIONS



264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th St. Suite 250
Brooklyn NY 11215
Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

Code Consultant Name and Address

Structural Engineer

Structural Engineer Name and Address

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

Table with 2 columns: DATE and REVISION. Includes a grid for tracking changes.

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

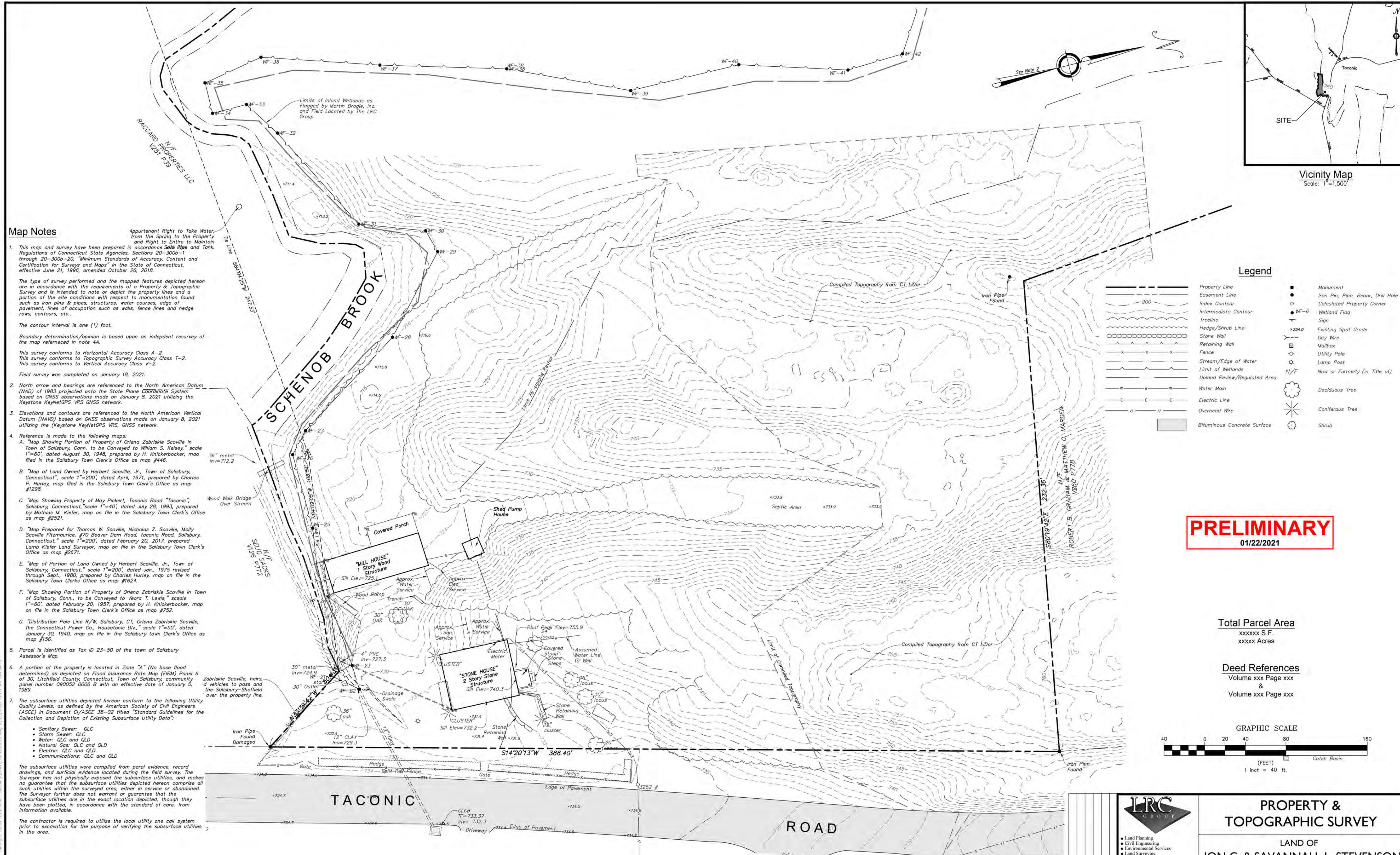
TITLE

GENERAL, DOB & DEMOLITION NOTES

ZONING DISTRICT, BLOCK, ZONING MAP, LOT, SEAL & SIGNATURE, DATE, JOB NO., SCALE, DRAWING NO., and large drawing number G001.00.

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE



Map Notes

1. This map and survey have been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300a-1 through 20-300b-20, "Minimum Standards of Accuracy, Content and Certification for Surveys and Maps" in the State of Connecticut, effective June 21, 1996, amended October 26, 2018.

The type of survey performed and the mapped features depicted hereon are in accordance with the requirements of a Property & Topographic Survey and is intended to note or depict the property lines and a portion of the site conditions with respect to monumentation found such as iron pins & pipes, structures, water courses, edge of pavement, lines of occupation such as walls, fence lines and hedge rows, contours, etc.

The contour interval is one (1) foot.

Boundary determination/opinion is based upon an independent resurvey of the map referenced in note 4A.

This survey conforms to Horizontal Accuracy Class A-2. This survey conforms to Topographic Survey Accuracy Class T-2. This survey conforms to Vertical Accuracy Class V-2.

Field survey was completed on January 18, 2021.

2. North arrow and bearings are referenced to the North American Datum (NAD) of 1983 projected onto the State Plane Coordinate System based on GNSS observations made on January 8, 2021 utilizing the KeyStone KeyNetGPS VRS GNSS network.

3. Elevations and contours are referenced to the North American Vertical Datum (NAVD) based on GNSS observations made on January 8, 2021 utilizing the (KeyStone KeyNetGPS VRS, GNSS network.

4. Reference is made to the following maps:

A. "Map Showing Portion of Property of Orlena Zabriskie Scoville in Town of Salisbury, Conn., to be Conveyed to William S. Kelsey," scale 1"=60', dated August 30, 1948, prepared by H. Knickerbocker, map filed in the Salisbury Town Clerk's Office as map #446.

B. "Map of Land Owned by Herbert Scoville, Jr., Town of Salisbury, Connecticut," scale 1"=200', dated April, 1974, prepared by Charles P. Hurley, map filed in the Salisbury Town Clerk's Office as map #1298.

C. "Map Showing Property of May Pickler, Taconic Road 'Taconic,' Salisbury, Connecticut, scale 1"=40', dated July 28, 1993, prepared by Matthias M. Krieger, map on file in the Salisbury Town Clerk's Office as map #2521.

D. "Map Prepared for Thomas W. Scoville, Nicholas Z. Scoville, Molly Scoville Fitzmaurice, #70 Beaver Dam Road, Taconic Road, Salisbury, Connecticut," scale 1"=200', dated February 20, 2017, prepared by Lamb Krieger Land Surveyor, map on file in the Salisbury Town Clerk's Office as map #2671.

E. "Map of Portion of Land Owned by Herbert Scoville, Jr., Town of Salisbury, Connecticut," scale 1"=200', dated Jan., 1975 revised through Sept., 1980, prepared by Charles Hurley, map on file in the Salisbury Town Clerk's Office as map #1624.

F. "Map Showing Portion of Property of Orlena Zabriskie Scoville in Town of Salisbury, Conn., to be Conveyed to Veora T. Lewis," scale 1"=60', dated February 20, 1957, prepared by H. Knickerbocker, map on file in the Salisbury Town Clerk's Office as map #156.

G. "Distribution Pole Line R/W, Salisbury, CT, Orlena Zabriskie Scoville, The Connecticut Power Co., Housatonic Div.," scale 1"=50', dated January 30, 1940, map on file in the Salisbury Town Clerk's Office as map #156.

5. Parcel is identified as Tax ID 23-50 of the town of Salisbury Assessor's Map.

6. A portion of the property is located in Zone "A" (No base flood determined) as depicted on Flood Insurance Rate Map (FIRM) Panel 6 of 30, Litchfield County, Connecticut, Town of Salisbury, community panel number 090052 0006 B with an effective date of January 5, 1989.

7. The subsurface utilities depicted hereon conform to the following Utility Quality Levels, as defined by the American Society of Civil Engineers (ASCE) in Document CI/ASCE 38-02 titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data":

- Sanitary Sewer: QLC
- Storm Sewer: QLC
- Water: QLC and QLD
- Natural Gas: QLC and QLD
- Electric: QLC and QLD
- Communications: QLC and QLD

The subsurface utilities were compiled from parcel evidence, record drawings, and surficial evidence located during the field survey. The Surveyor has not physically exposed the subsurface utilities, and makes no guarantee that the subsurface utilities depicted hereon comprise all such utilities within the surveyed area, either in service or abandoned. The Surveyor further does not warrant or guarantee that the subsurface utilities are in the exact location depicted, though they have been plotted, in accordance with the standard of care, from information available.

The contractor is required to utilize the local utility one call system prior to excavation for the purpose of verifying the subsurface utilities in the area.

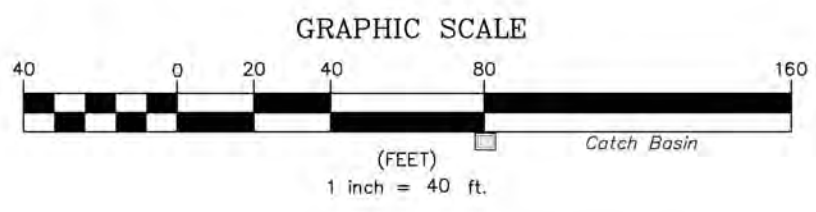
Legend

Property Line	Monument
Easement Line	Iron Pin, Pipe, Rebar, Drill Hole
Index Contour	Calculated Property Corner
Intermediate Contour	Wetland Flag
Trellise	Sign
Hedge/Shrub Line	Existing Spot Grade
Stone Wall	Guy Wire
Retaining Wall	Mast
Fence	Utility Pole
Stream/Edge of Water	Lamp Post
Limit of Wetlands	N/F
Upland Review/Regulated Area	Now or Formerly (in title of)
Water Main	Deciduous Tree
Electric Line	Coniferous Tree
Overhead Wire	Shrub
Bituminous Concrete Surface	

PRELIMINARY
01/22/2021

Total Parcel Area
xxxxxx S.F.
xxxxxx Acres

Deed References
Volume xxx Page xxx
&
Volume xxx Page xxx



Certification
To my knowledge and belief this map is substantially correct as noted hereon.

JOHN F. WAGENBLATT L.S. No. 17,791



• Land Planning
• Civil Engineering
• Environmental Services
• Land Surveying
• Landscape Architecture
160 West Street, Suite E
Cromwell, CT 06416
Tel: 860.635.2877
81 Civic Center Plaza, Suite 103
Poughkeepsie, NY 12601
Tel: 845.243.2889
1 International Blvd., Suite 800
Middletown, NJ 07947
Tel: 908.663.5750
www.lrcgroup.com
LRC Engineering & Surveying, DPC
LRC Engineering & Surveying, LLC
LRC Environmental Services, Inc.

PROPERTY & TOPOGRAPHIC SURVEY

LAND OF
JON C. & SAVANNAH L. STEVENSON
264 TACONIC ROAD
TOWN OF SALISBURY
LITCHFIELD COUNTY, CONNECTICUT

Design/Calc	XXX	CAD File	EX2028001.dwg	Sheet No.
Drawn	XXX	Project No.	20-2680	EX-1
Checked	XXX	Date	01/15/2021	
Approved	XXX	Scale	1"=20'	

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	
		DRAWING NO.:	

G004.00

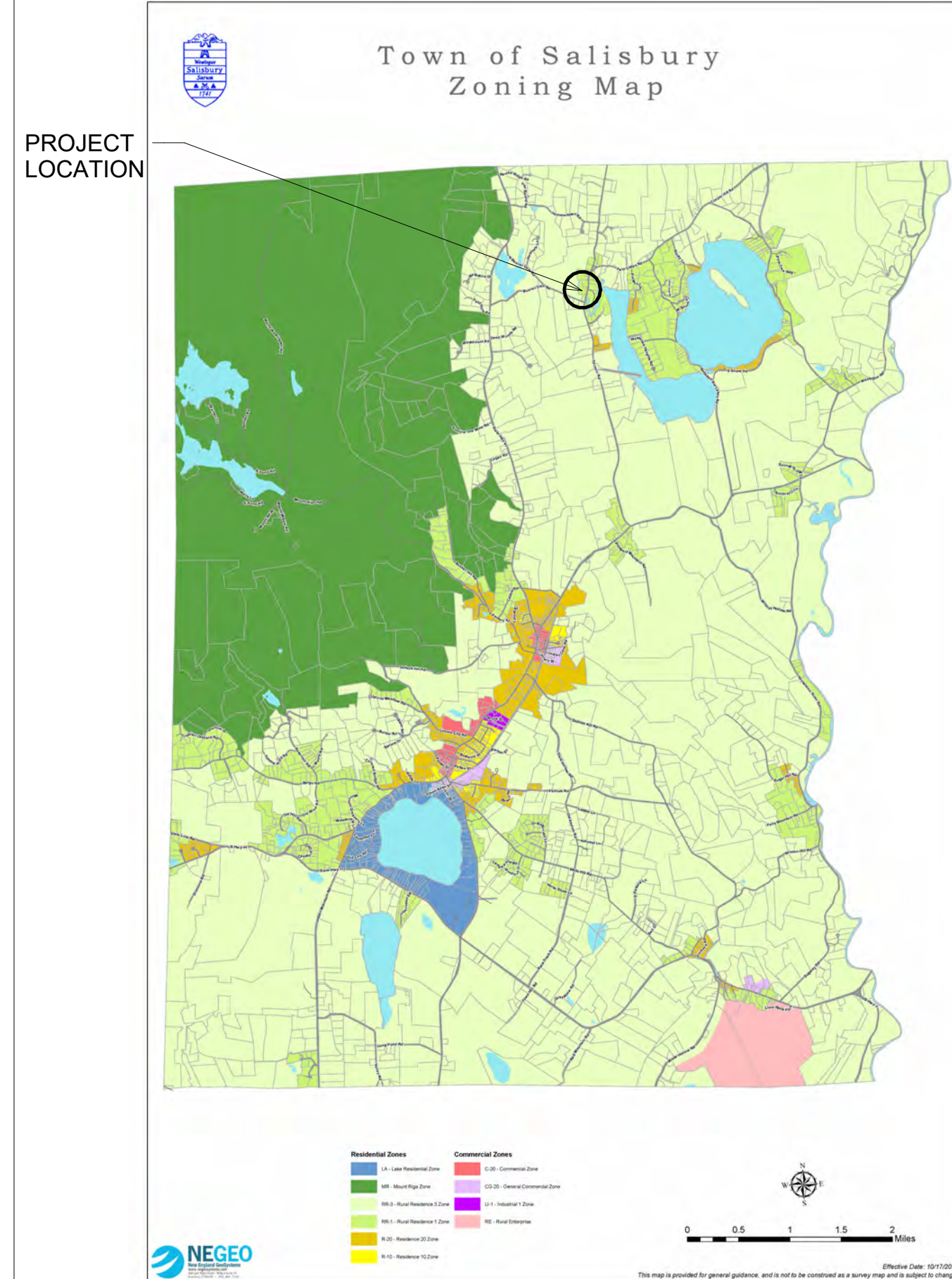
ZONING NOTES

ZONING DATA
 STREET ADDRESS: 264 TACONIC RD., SALISBURY, CT 06068
 MAP BLOCK LOT: 23-50
 LAND USE: 1-1, RES LAND MDL-01
 LAND CLASS: R
 ZONING DISTRICT: RR-1
 LOT AREA: 5AC (321,729 SF)
 ZONING OVERLAY DISTRICTS: N/A
 AREAS REGULATED BY OTHER AGENCIES: N/A
 SALISBURY HISTORIC DISTRICT COMMISSION (SHDC): YES, OLD STONE HOUSE

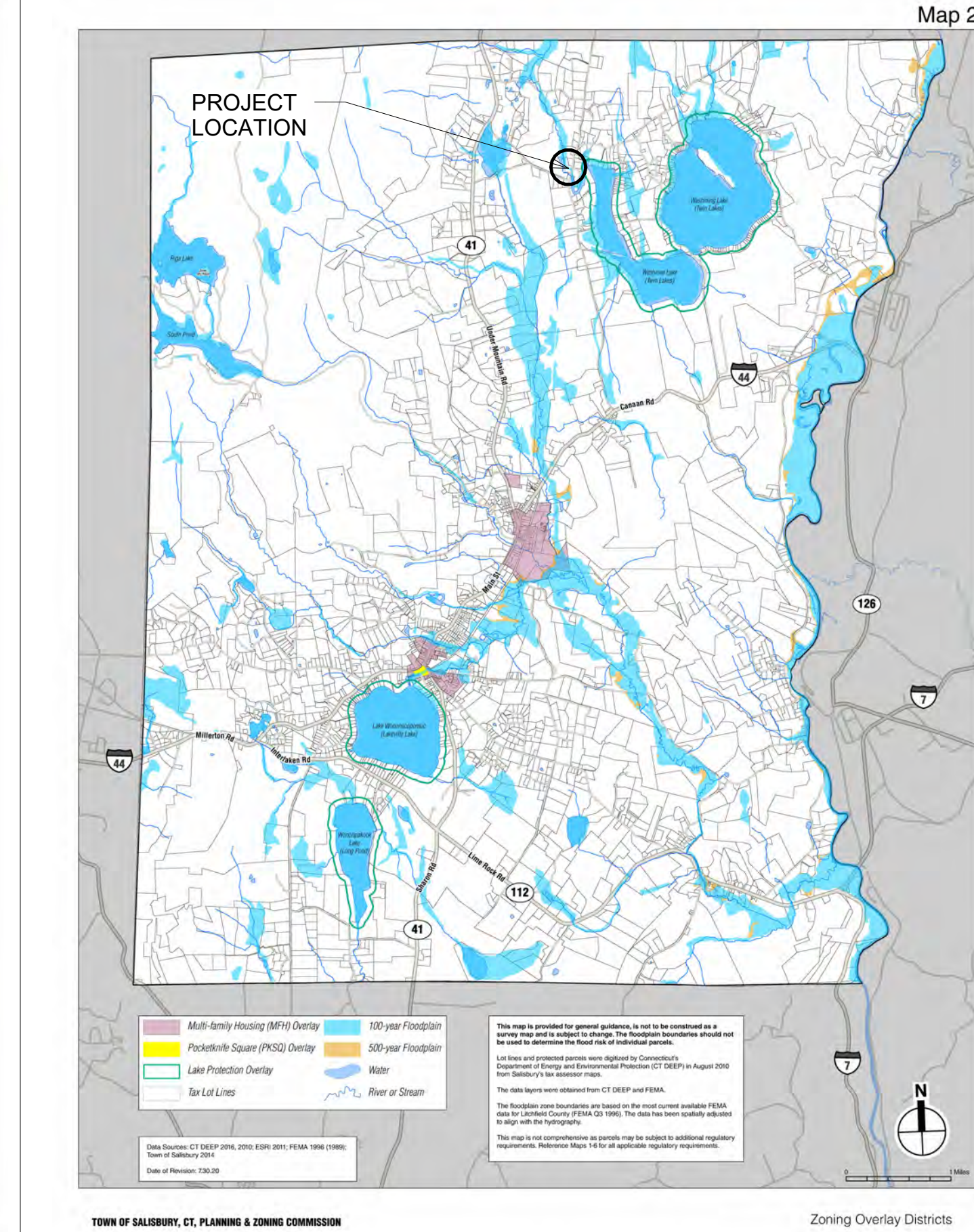
SALISBURY ZONING REGULATIONS

	REQUIRED	PROPOSED	COMPLIES
MIN. LOT AREA	8,000 SF	5 ACRE (EX'G)	YES
MIN. FRONT YARD SETBACK	40 FEET	71 FEET	YES
MIN. SIDE YARD SETBACK 1	30 FEET	617 FEET	YES
MIN. SIDE YARD SETBACK 2	30 FEET	75 FEET	YES
MIN. REAR YARD SETBACK	30 FEET	309 FEET	YES
MAX. BUILDING COVERAGE	10%	0.96% (3,088 / 321,729)	YES
MAX. BUILDING HEIGHT	30/35 FEET	10.5 FEET	YES
MIN. SETBACK FROM WATERCOURSE -PRINCIPAL BUILDING	75 FEET	75 FEET	YES
MIN. SETBACK FROM WATERCOURSE -ACCESSORY BUILDING	50 FEET	N/A	N/A

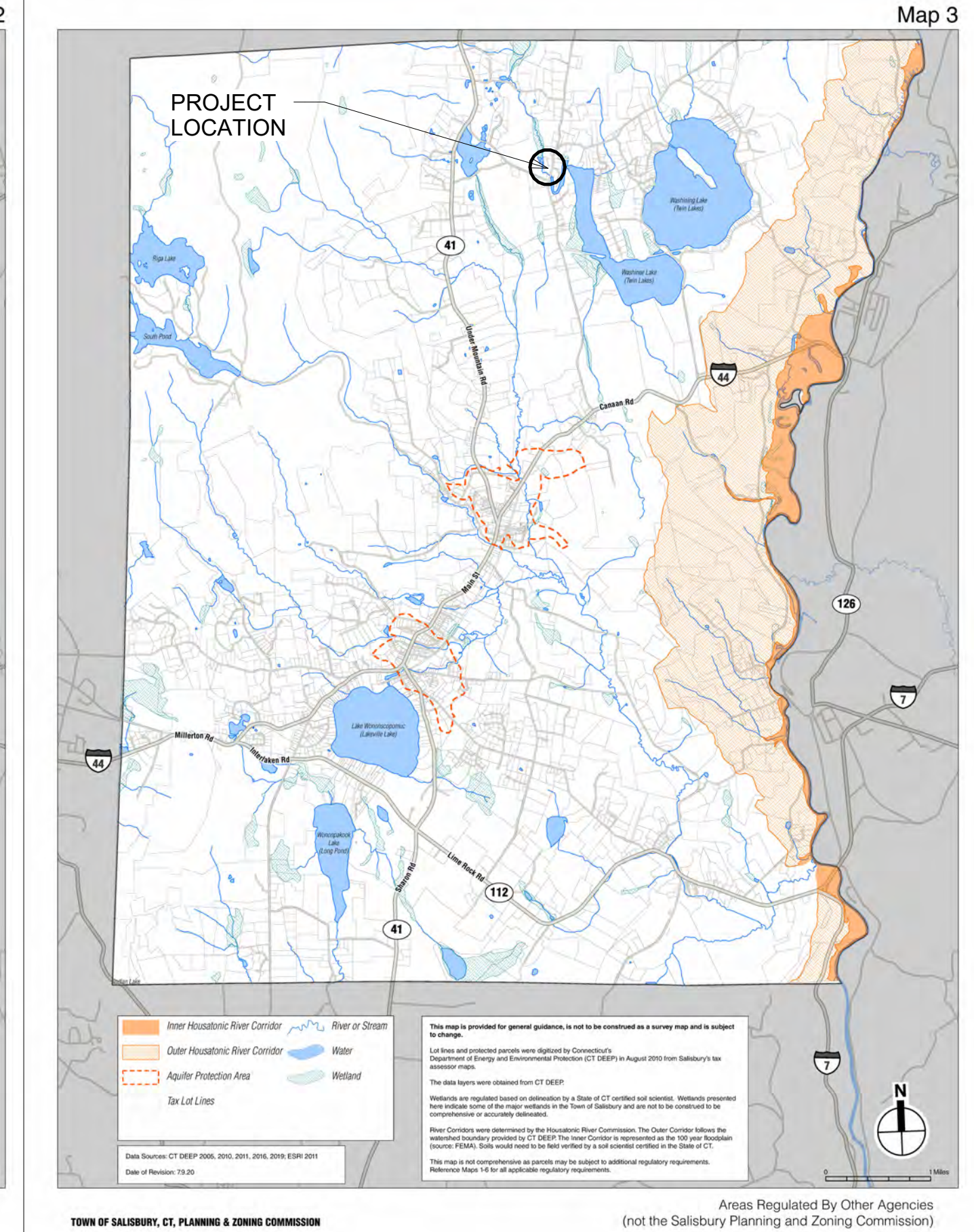
ZONING MAP



ZONING OVERLAY DISTRICTS



AREAS REGULATED BY OTHER AGENCIES



264 TACONIC RD.

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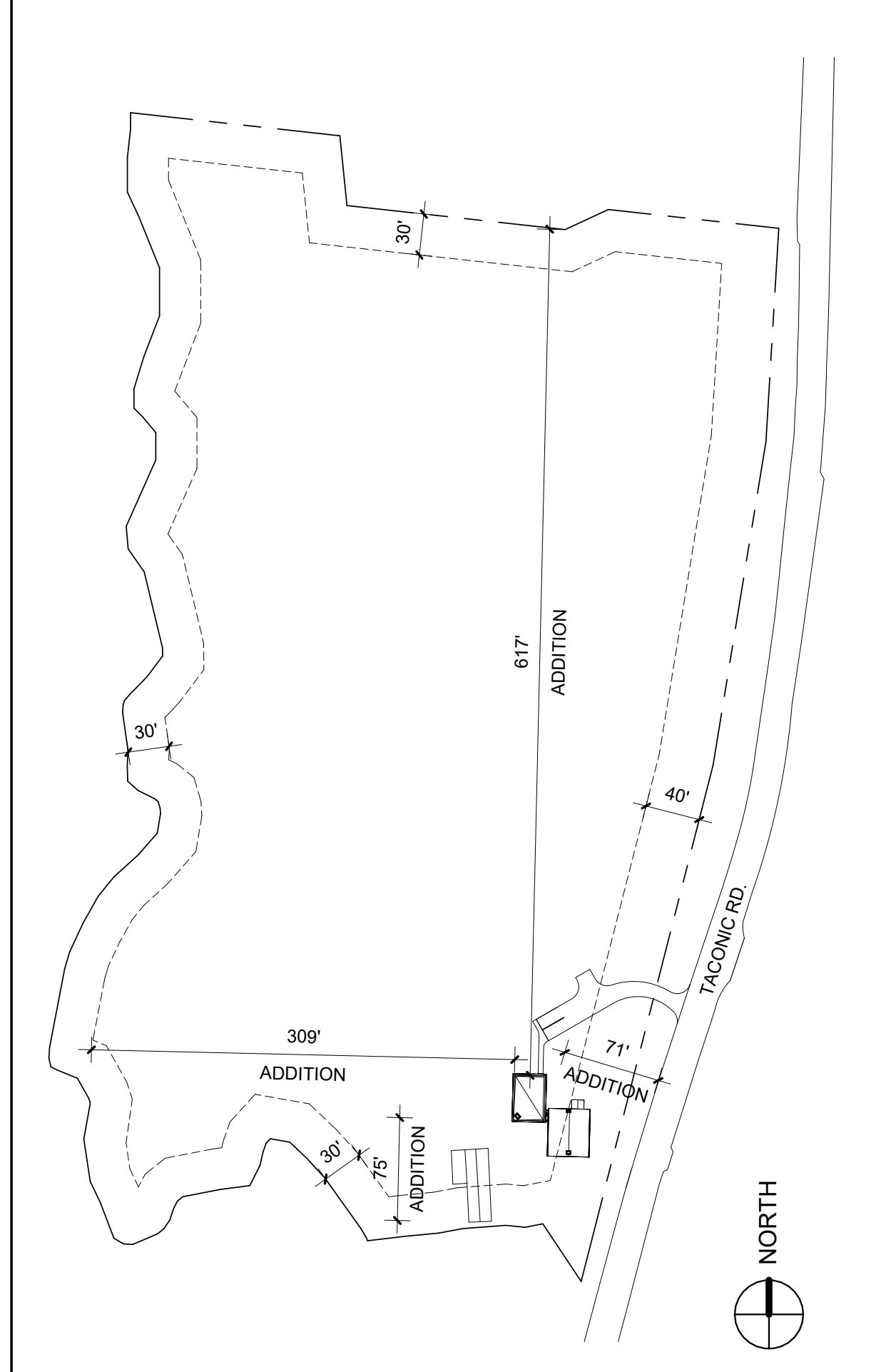
Code Consultant
 Code Consultant Name and Address

Structural Engineer
 Structural Engineer Name and Address

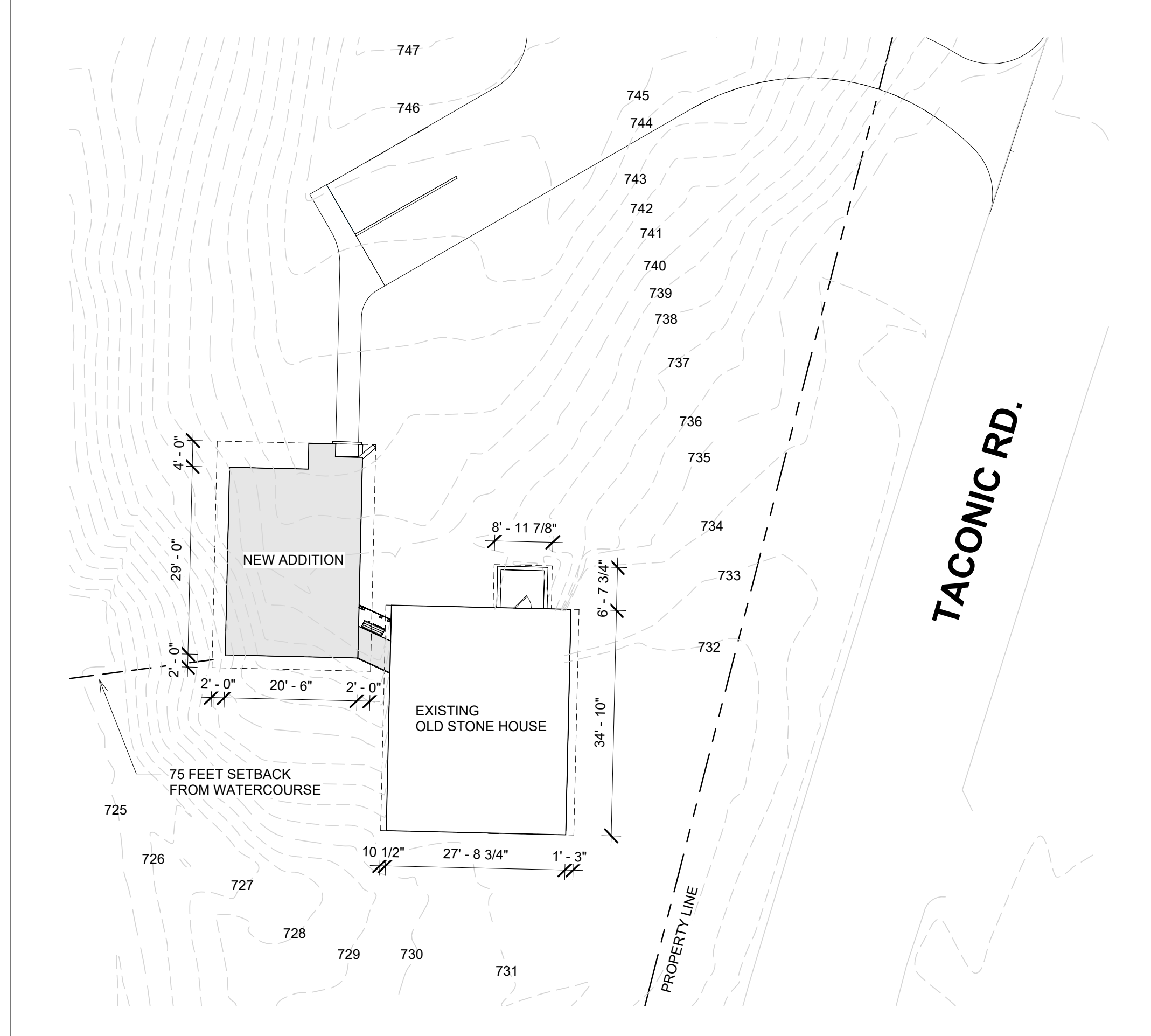
PROGRESS SET
 05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

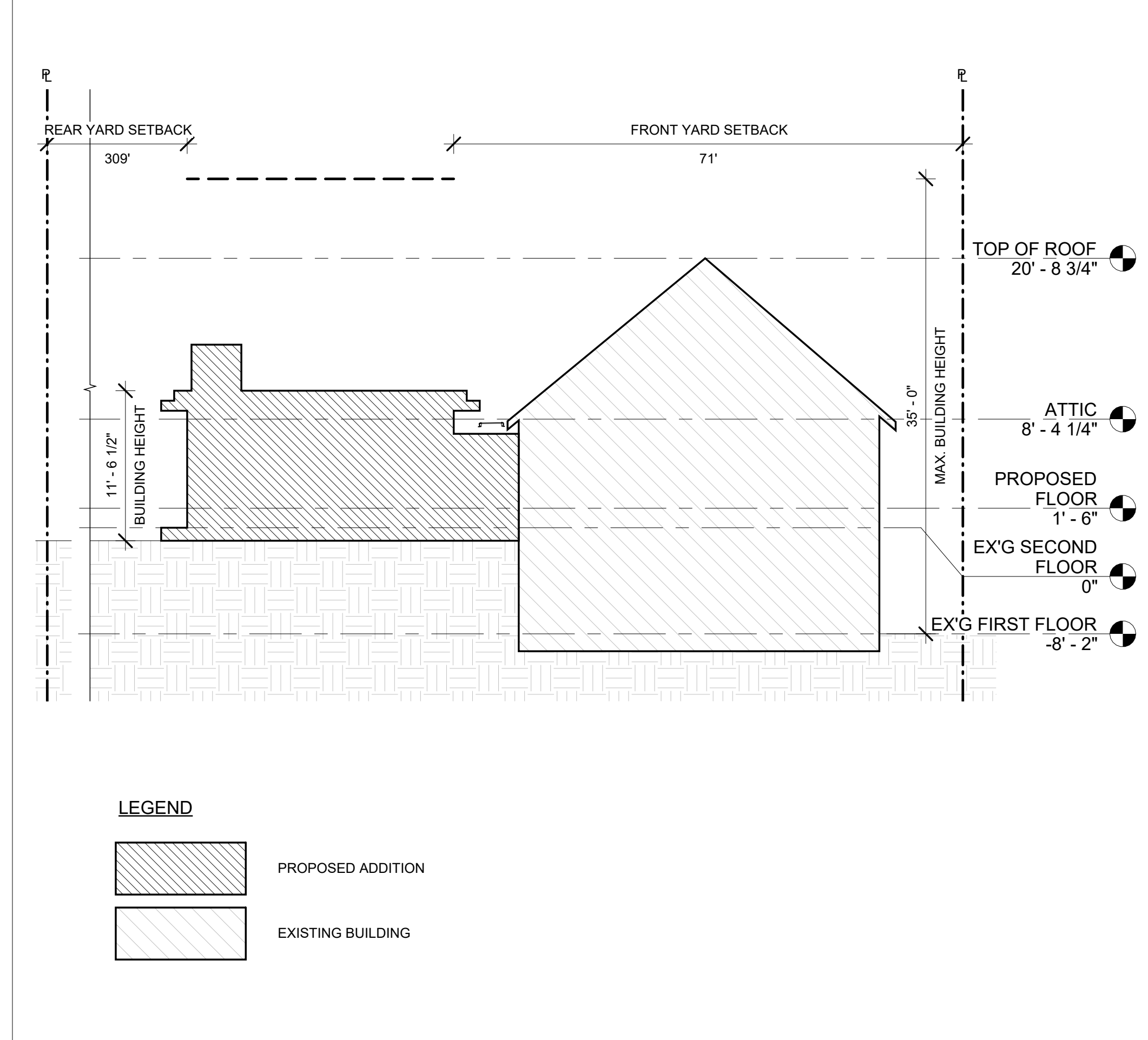
PLOT PLAN SCALE: 1" = 100'



SITE PLAN SCALE 1/16" = 1' - 0"



ZONING DIAGRAM



DATE	REVISION

PROJECT
 264 TACONIC RD.
 SALISBURY, CT 06068
 TITLE
 ZONING ANALYSIS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	As indicated
		DRAWING NO.:	
Z100.00			

TABLE R-VALUES

ITEM	R-VALUE
CONCRETE 60 POUNDS PER CUBIC FOOT AT 1" THICKNESS	0.52 PER INCH
CONTINUOUS RIGID POLYSTYRENE (EXTRUDED)	5 PER INCH
CONTINUOUS SEMI-RIGID STONE WOOL	4.3 PER INCH
OPEN CELL SPRAY FOAM INSULATION	3.5 PER INCH
CLOSED CELL SPRAY FOAM INSULATION	6.5 PER INCH
5/8" SHEETROCK FIRECODE C CORE POIL BACKED GYP. BD.	0.45
STUCCO	0.2 PER INCH
5/8" DENSEGLASS SHEATING	0.67
AIR GAP	1

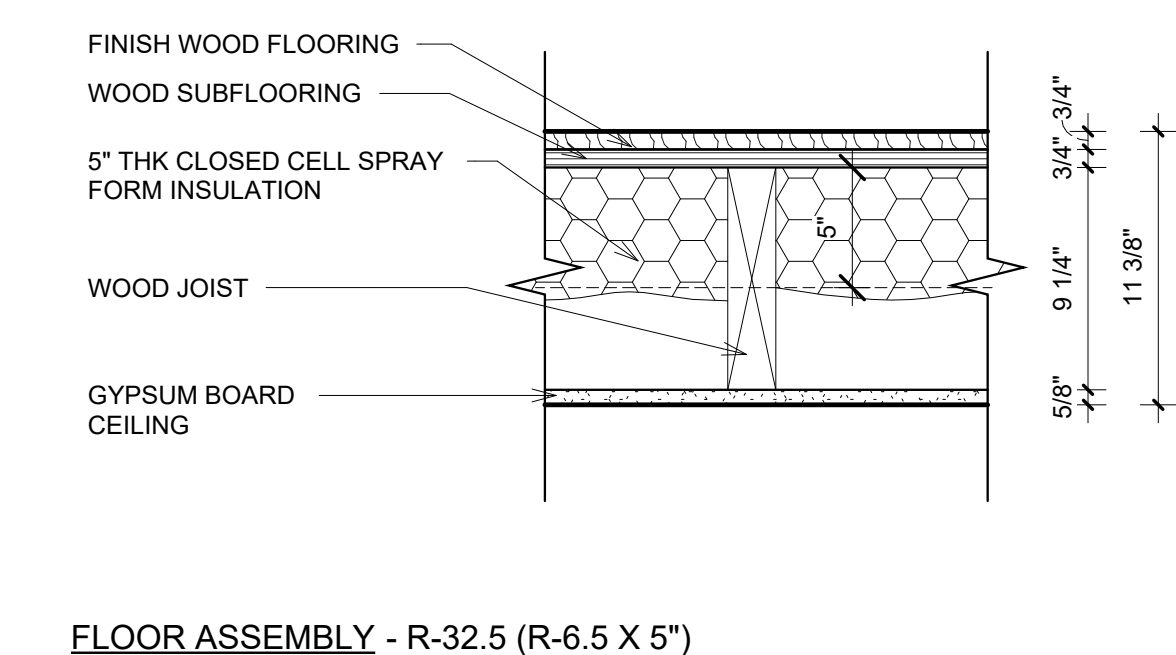
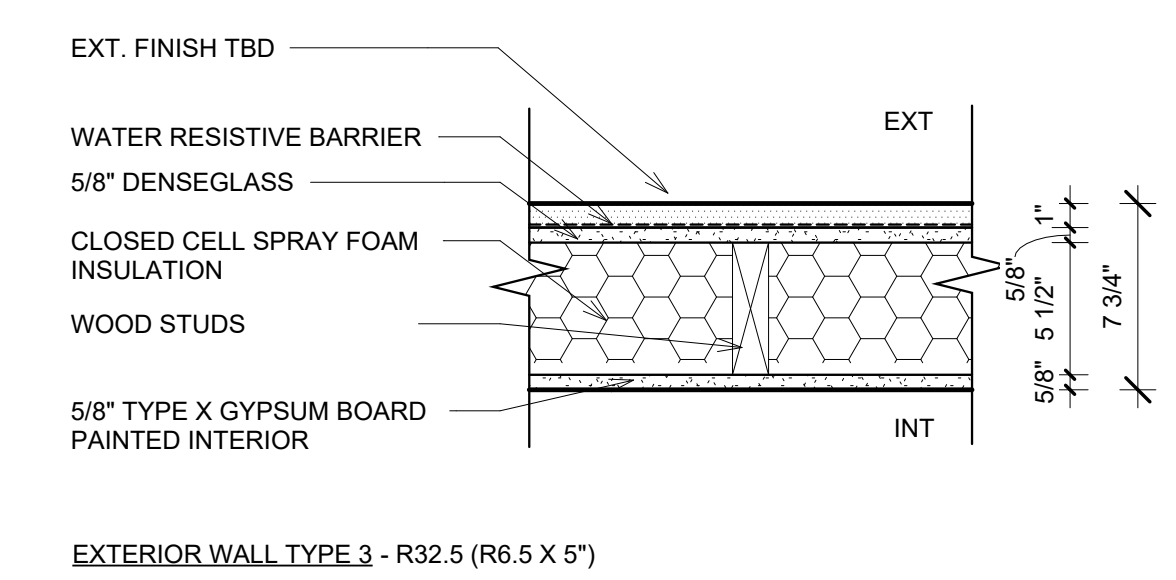
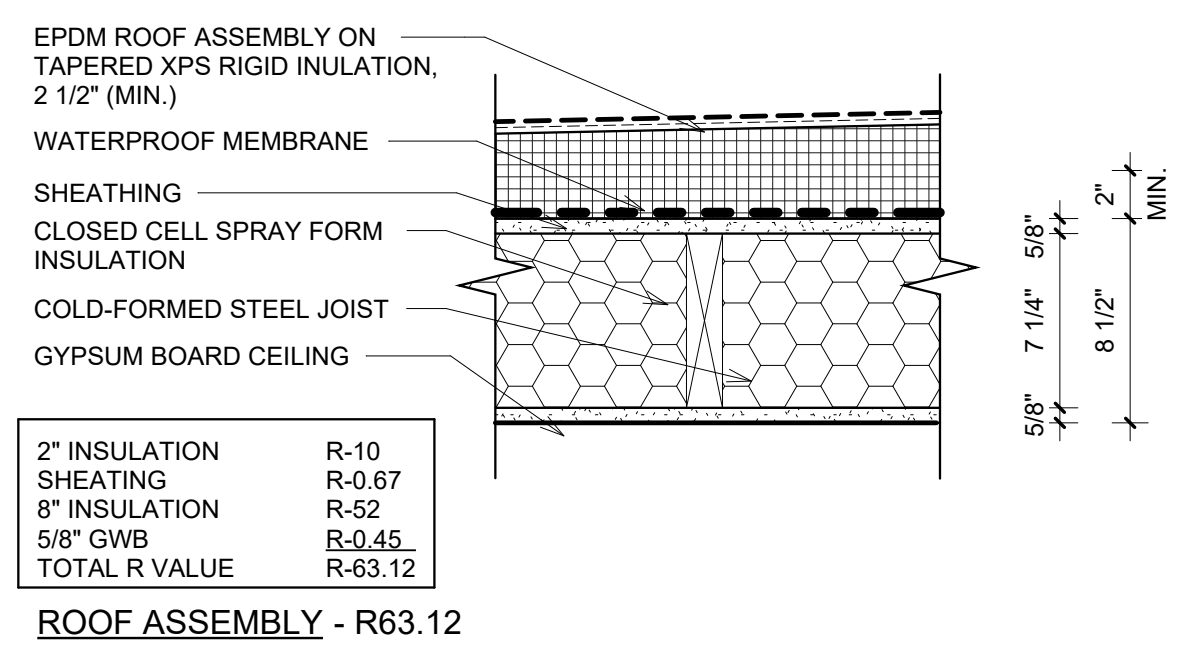
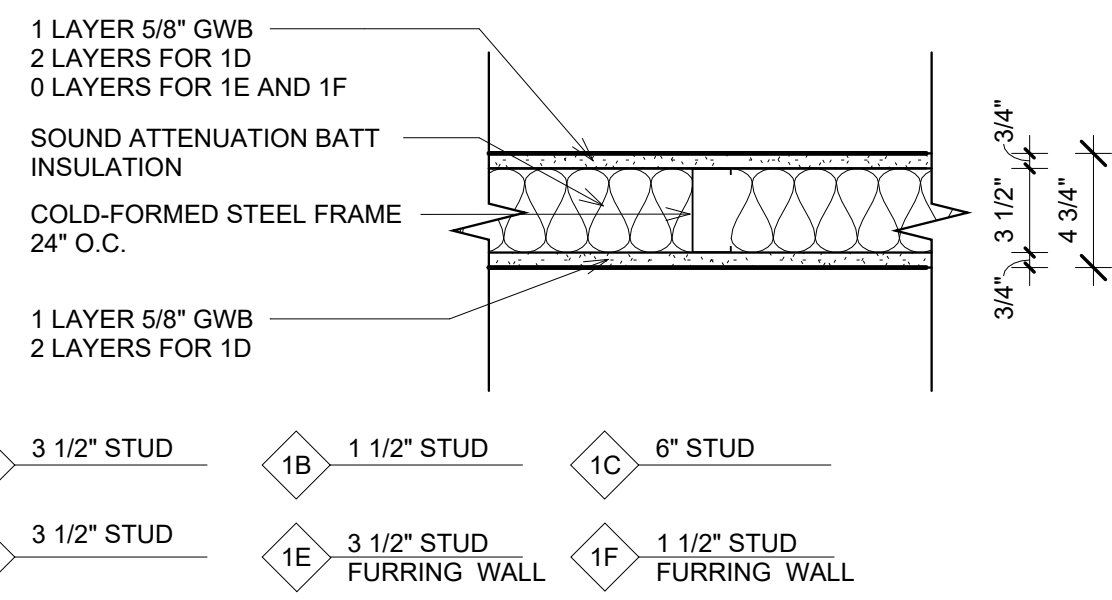
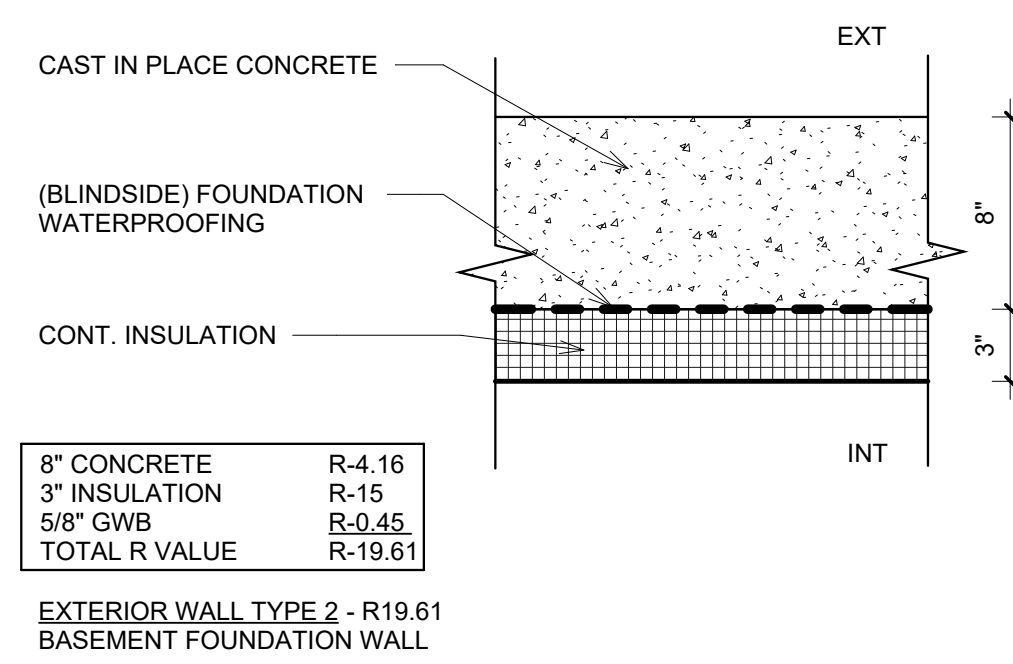
TABLE 2021 IECC

CHAPTER R4 RESIDENTIAL ENERGY EFFICIENCY - CLIMATE ZONE 5			
TABLE R402.1.3 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT			
DETAILS SEE SHEET EN002.00 FOR TYPICAL FLOOR, FOUNDATION AND WALL DETAILS, SEE SHEET A601.00 FOR TYPICAL WINDOW DETAILS			
ITEM	ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE VALUE AND CITATION (ZONE)
1	FENESTRATION U-FACTOR	U-0.30	U-0.30 (Zone 5)
2	SKYLIGHT U-FACTOR	U-0.55	U-0.55 (Zone 5)
3	GLAZED FENESTRATION SHGC	0.40	0.40 (Zone 5)
4	CEILING R-VALUE	R-60	R-60 (Zone 5)
5	WOOD FRAME WALL R-VALUE	R-32.5	R-30 OR R-13 + 10ci (Zone 5)
6	MASS WALL R-VALUE	N/A	R-13 / 17 (Zone 5)
7	FLOOR R-VALUE	N/A	R-30 (Zone 5)
8	BASEMENT WALL R-VALUE	N/A	R-15ci (Zone 5)
9	SLAB R-VALUE & DEPTH	R-10ci	R-10ci, 4 FEET (Zone 5)
10	CRAWL SPACE WALL R-VALUE	N/A	R-15ci (Zone 5)
11	PIPE	R-3	R-3 (R403.4)
12	LIGHTING	100% OF LIGHTING FIXTURES TO BE HIGH EFFICIENCY	100% HIGH EFFICIENCY (R404.1)

IECC COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE COMPLIANCE WITH 2021 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE, USING CHAPTER 4 [RE].

WALL, FLOOR AND ROOF TYPES



ENERGY PERFORMANCE NOTES

CODE CITATION	AS SHOWN ON PLAN SET	CODE CITATION	AS SHOWN ON PLAN SET
R401.2 Application Residential Buildings Shall comply with R402.1.5 and R401.2.1		R403.6 Mechanical ventilation The buildings complying with section R402.4.1 shall be provided with ventilation that complies with the requirements of section M1505 of the International Residential Code or International Mechanical Code, as applicable or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating	See proposed ERV on Mechanical plans M101.00-M102.00
R401.2.1 Prescriptive Compliance Option The prescriptive compliance option requires compliance with R401 through R404	See this schedule	R403.7 Equipment sizing and efficiency rating Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.	See HVAC notes on Mechanical Plans M101.00 and M102.00
R401.3 Certificate A permanent certificate shall be completed by the builder and installed at the location indicated on Floor Plan A101.00	See note A101.00	R403.10 Energy consumption of pools and spas The energy consumption of pools and permanent spas shall be controlled by the requirements in section R403.10.1 through R403.10.3	See note on A102.00
R402.1.1 Vapor Retarder Wall assemblies in the building thermal envelope shall comply with the vapor retarder requirements of R702.7 of the international residential code per wall assembly details on EN001.00	See Wall, floor and roof types on sheet EN001.00	R403.5 Lighting Equipment All permanent installed lighting fixtures shall contain only high efficacy lighting sources	Electrical Legend note 4 on E101.00 and E102.00
R402.1.3 R-Value Alternative R-Values and fenestration shall meet the requirements in Table R402.1.3 as specified on this sheet.	See Wall, floor and roof types and table R402.1.3 on sheet EN001.00		
R402.1.5 Additional Energy Efficiency According to section R408.2.2 <i>More efficient HVAC equipment performance option 2a</i> greater or equal to 10HSPF/16SEER air source heat pump is installed	See Mechanical Equipment schedule on M101.00		
R402.2 Specific Insulation Requirements Insulation shall meet specific requirements of Section R402.2.1 through R402.2.12	See construction details on A501.00 - A503.00		
R402.4 Air Leakage The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.4.1 through R402.4.5.	See construction details on A501.00 - A503.00		
R402.4.1.2 Testing The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding three air changes per hour. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals).	THE HOUSE WILL REQUIRE A BLOWN DOOR TEST AT COMPLETION OF WORK		
R402.4.3 Fenestration Air Leakage Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m ²), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m ²), when tested according to NFRC 400 or AAMA/WDMA/CSA 1011.S.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.	See note on A601.00		
R403.1 Controls At least one thermostat shall be provided for each separate heating and cooling system.	See mechanical plans on M101.00 and M101.00		
R403.1.1 Programmable Thermostat The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day and different days of the week. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).	See notes about smart thermostat on mechanical plans on M101.00 and M102.00		
R403.1.2 Heat Pump Supplementary Heat Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.	No electric resistance heat proposed. See note 7 on Mechanical Plans M101.00 and M102.00		
R403.2 Hot water boiler temperature reset The manufacturer shall equip each gas, oil and electric boiler (other than a boiler equipped with a tankless domestic water heating coil) with automatic means of adjusting the water temperature supplied by the boiler to ensure incremental change of the inferred heat load will cause an incremental change in temperature of the water supplied by the boiler. This can be accomplished with outdoor reset, indoor reset or water temperature sensing.	See note on P101.00		
R403.3 Ducts Ducts and air handlers shall be installed in accordance with sections R402.3.1 through R403.3.7	See HVAC notes on Mechanical Plans M101.00 and M102.00		
R403.4 Mechanical System Piping Insulation Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.	See HVAC notes on Mechanical Plans M101.00 and M102.00		
R403.5 Service Hot Water Systems Energy conservation measures for service hot water systems shall be in accordance with Sections R403.5.1. through R403.5.3	See water riser diagram on P101.00 and plumbing notes on P102.00		

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Code Consultant

Code Consultant Name and Address

Structural Engineer

Structural Engineer Name and Address

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
ENERGY CODE
REQUIREMENTS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	As indicated
		DRAWING NO.:	

EN001.00

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

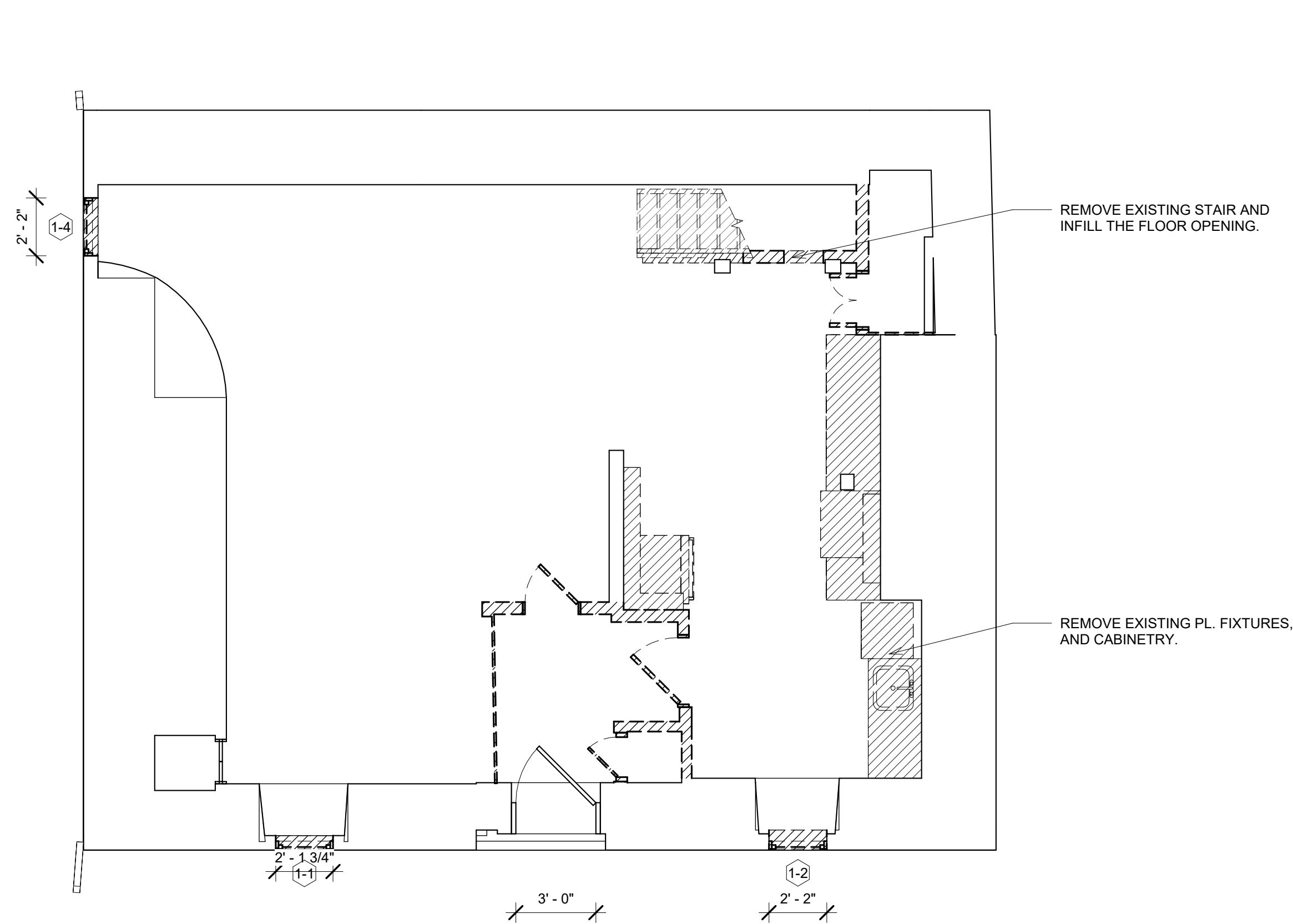
264 TACONIC RD.
SALISBURY, CT 06068

TITLE

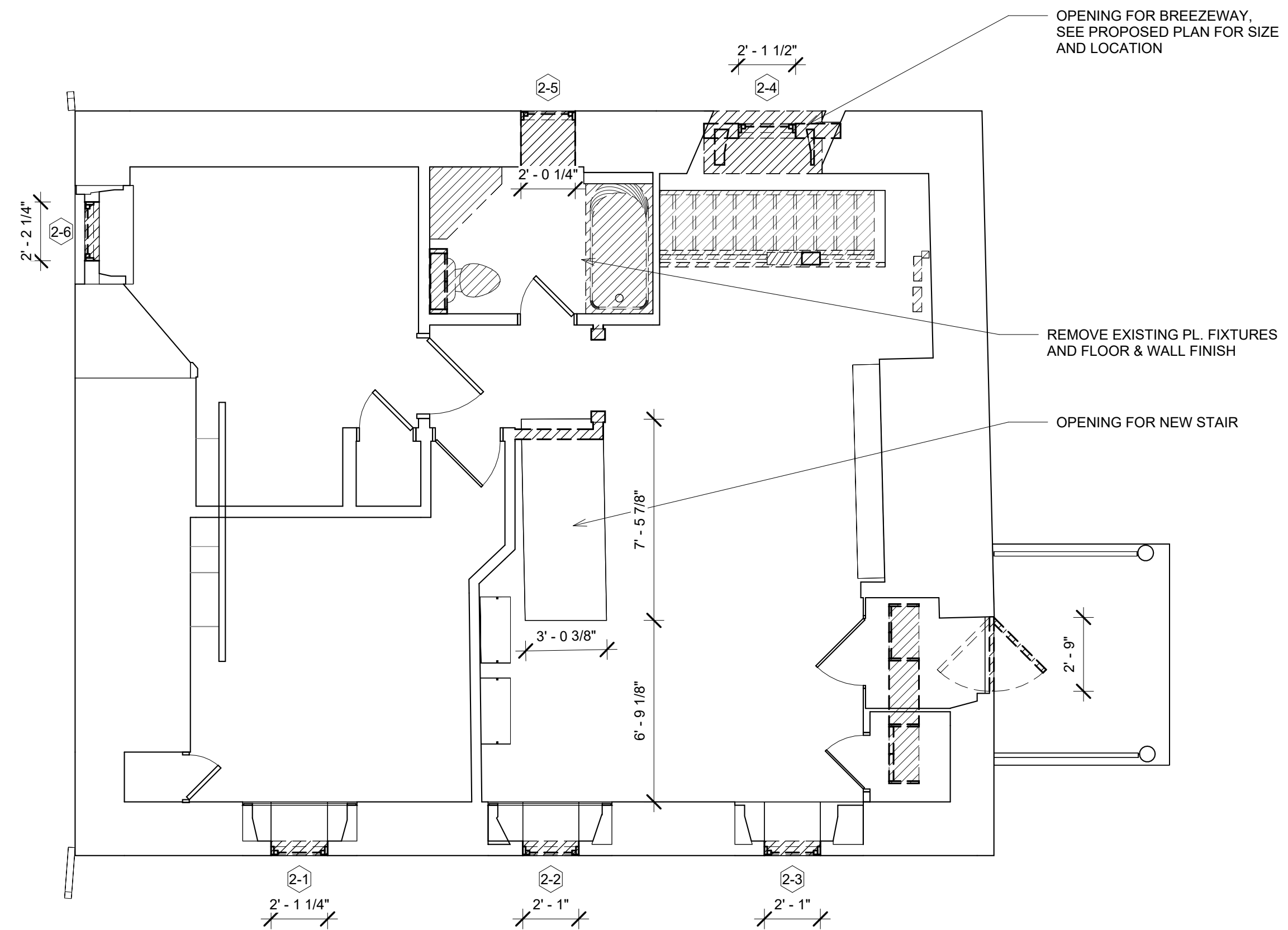
DEMO PLANS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

DM101.00



NORTH ① DEMO PLAN - FIRST FLOOR
1/4" = 1'-0"



NORTH ② DEMO PLAN - SECOND FLOOR
1/4" = 1'-0"

NOTE:

- REMOVE EXISTING PARTITIONS, DOORS, FLOORING, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENTS, CASEMENT, STAIRS AND ETC., AS INDICATED.
- ALL WINDOWS TO BE REPLACED
- ALL EXISTING FLOOR JOIST FRAMING WILL BE REMAIN UNLESS MINOR PLACEMENT IF REQUIRED DURING CONSTRUCTION

LEGEND:

- ▭ EXISTING TO REMAIN
- ▨ TO BE DEMOLISHED

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Structural Engineer

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PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE



NORTH
① SITE PLAN
1/16" = 1'-0"

700.3 STANDARDS FOR DRIVEWAY DESIGN AND CONSTRUCTION.

- A. DRIVEWAY CORRIDORS SHALL BE LOCATED TO FOLLOW THE EXISTING CONTOURS TO THE MAXIMUM EXTENT POSSIBLE, IN ORDER TO MINIMIZE DISTURBANCE AND EROSION AND TO AVOID WETLANDS AND WATERCOURSES.
- B. DRIVEWAY INTERSECTIONS WITH A TOWN STREET OR STATE HIGHWAY SHALL BE PLANNED FOR SAFETY AND TO MINIMIZE CONFLICT WITH VEHICULAR TRAVEL ON THE PUBLIC ROADWAY.
- C. THE DRIVEWAY DRAINAGE PLAN SHALL BE DESIGNED TO SHED WATER ALONG THE LENGTH OF THE DRIVEWAY SIDE SLOPES AND TO AVOID CONCENTRATION OF WATER RUNOFF ONTO EXISTING OR PROPOSED STREETS, STREET RIGHTS OF WAY AND ADJOINING PROPERTY.
- D. CROWNED DRIVEWAYS ARE ENCOURAGED AND DRIVEWAY CURBING IS DISCOURAGED.
- E. DRIVEWAY GRADING SHALL BE AS FOLLOWS:
 - THE MAXIMUM DRIVEWAY GRADE FOR THE FIRST 100 FEET BEYOND THE TOWN OR STATE RIGHT OF WAY SHALL BE 12%.
 - THE MAXIMUM DRIVEWAY GRADE SHALL BE 18%.
 - ANY SEGMENT WITH A GRADE OVER 15%, OR ALL SEGMENTS OF A DRIVEWAY ADDED TOGETHER WITH A GRADE OVER 15%, SHALL NOT EXCEED 10% OF THE TOTAL DRIVEWAY LENGTH.
 - A PROPOSED DRIVEWAY WITH A GRADE OVER 15% SHALL REQUIRE THE SUBMISSION OF A SITE PLAN, MEETING THE REQUIREMENTS OF THESE REGULATIONS.
- F. DRIVEWAY LENGTH SHALL BE MEASURED FROM THE INTERSECTION OF THE DRIVEWAY AT THE STREET RIGHT OF WAY LINE TO THE DRIVEWAY TERMINUS.
- G. THE LENGTH OF ANY GRADE OVER 15% SHALL BE PAVED. HOWEVER, A COMPARABLE SURFACING MAY BE APPROVED SUBJECT TO REVIEW AND RECOMMENDATION OF THE COMMISSION'S DESIGNATED ENGINEER.
- H. THE COMMISSION MAY REQUIRE SUBMISSION OF AN AS BUILT SURVEY WHERE IT DETERMINES SUCH IS NEEDED TO DOCUMENT THE FINAL GRADE, LOCATIONS OF DRAINAGE IMPROVEMENTS OR OTHER ELEMENTS OF THE APPROVED DRIVEWAY PLAN.

DATE	REVISION

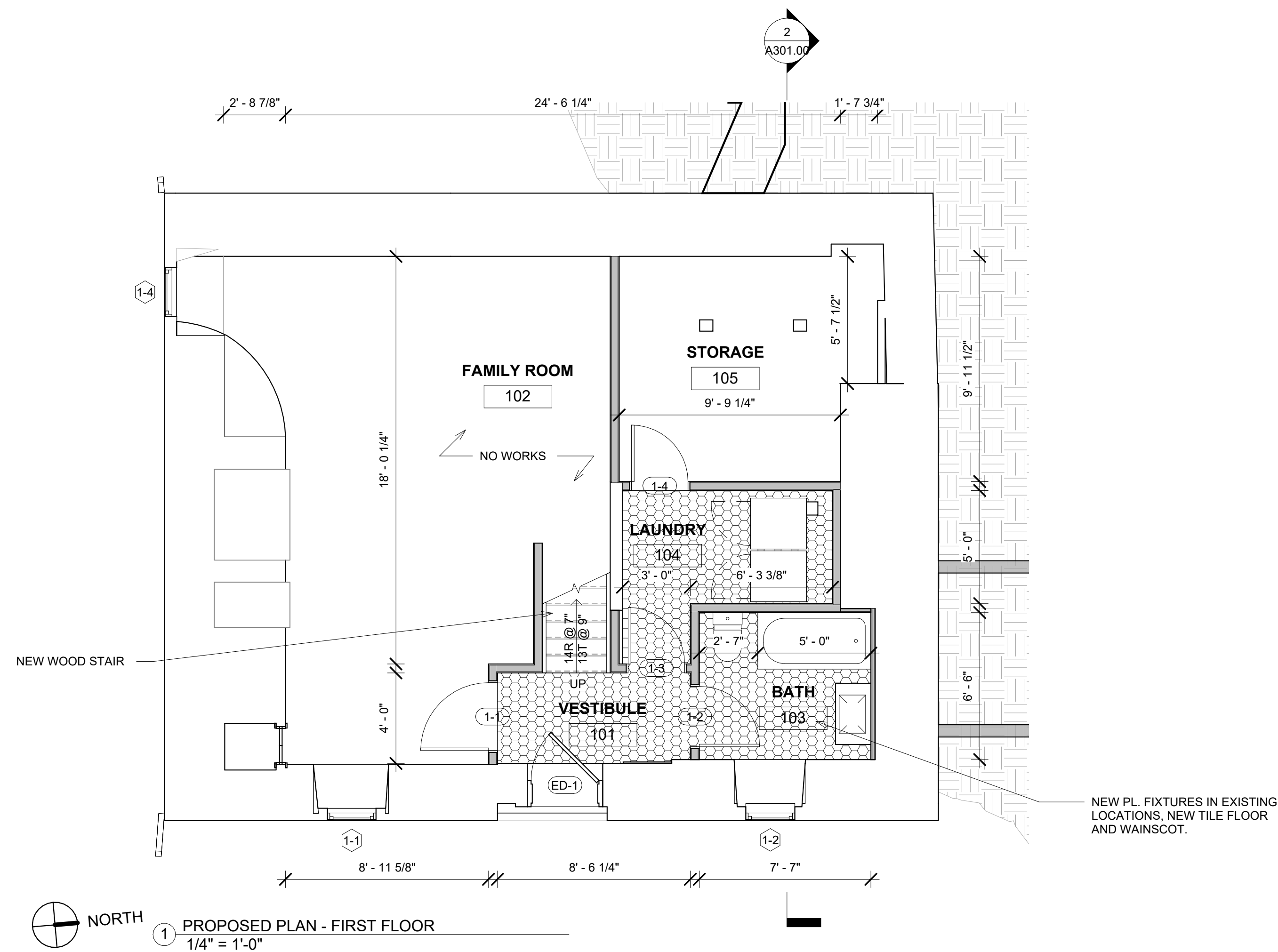
PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
SITE PLAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/16" = 1'-0"
		DRAWING NO.:	A100.00

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE



DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
FLOOR PLANS - FIRST FLOOR

ROOM LIGHT AND AIR SCHEDULE_ FIRST FLOOR									
ROOM NUMBER	ROOM	Area	REQ. LIGHT	PROVIDED LIGHT	LIGHT COMPLIANCE	REQ. AIR	PROVIDED AIR	AIR COMPLIANCE	APP. WINDOWS AND DOOR
EX'G FIRST FLOOR									
102	FAMILY ROOM	324 SF	32 SF	18 SF	No	16 SF	8 SF	No	

LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW TILE FLOOR
- NEW WOOD FLOOR
- NEW CONCRETE FLOOR
- MILLWORK
- STONE COUNTER
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	
A101.00			

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

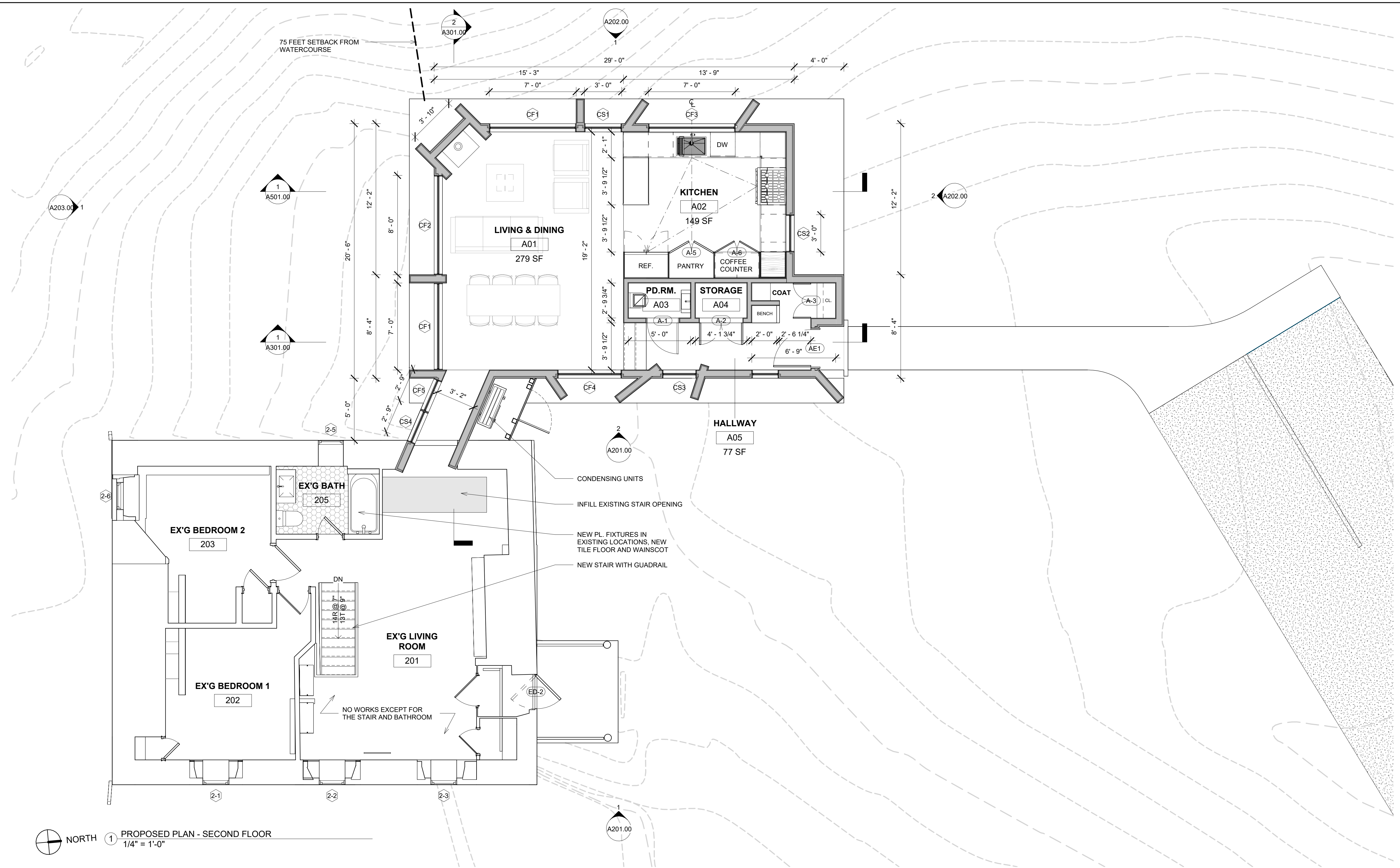
264 TACONIC RD.
SALISBURY, CT 06068

TITLE

FLOOR- AND ROOFPLANS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

A102.00



NORTH 1 PROPOSED PLAN - SECOND FLOOR
1/4" = 1'-0"

ROOM LIGHT AND AIR SCHEDULE, SECOND FLOOR

ROOM NUMBER	ROOM	Area	REQ. LIGHT	PROVIDED LIGHT	LIGHT COMPLIANCE	REQ. AIR	PROVIDED AIR	AIR COMPLIANCE	APP. WINDOWS AND DOOR
EX'G SECOND FLOOR									
201	EX'G LIVING ROOM	357 SF	36 SF			18 SF			
202	EX'G BEDROOM 1	129 SF	13 SF			6 SF			
203	EX'G BEDROOM 2	115 SF	12 SF			6 SF			
A01	LIVING & DINING	279 SF	28 SF			14 SF			
A02	KITCHEN	149 SF	15 SF			7 SF			

LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW TILE FLOOR
- NEW WOOD FLOOR
- NEW CONCRETE FLOOR
- MILLWORK
- STONE COUNTER
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

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PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

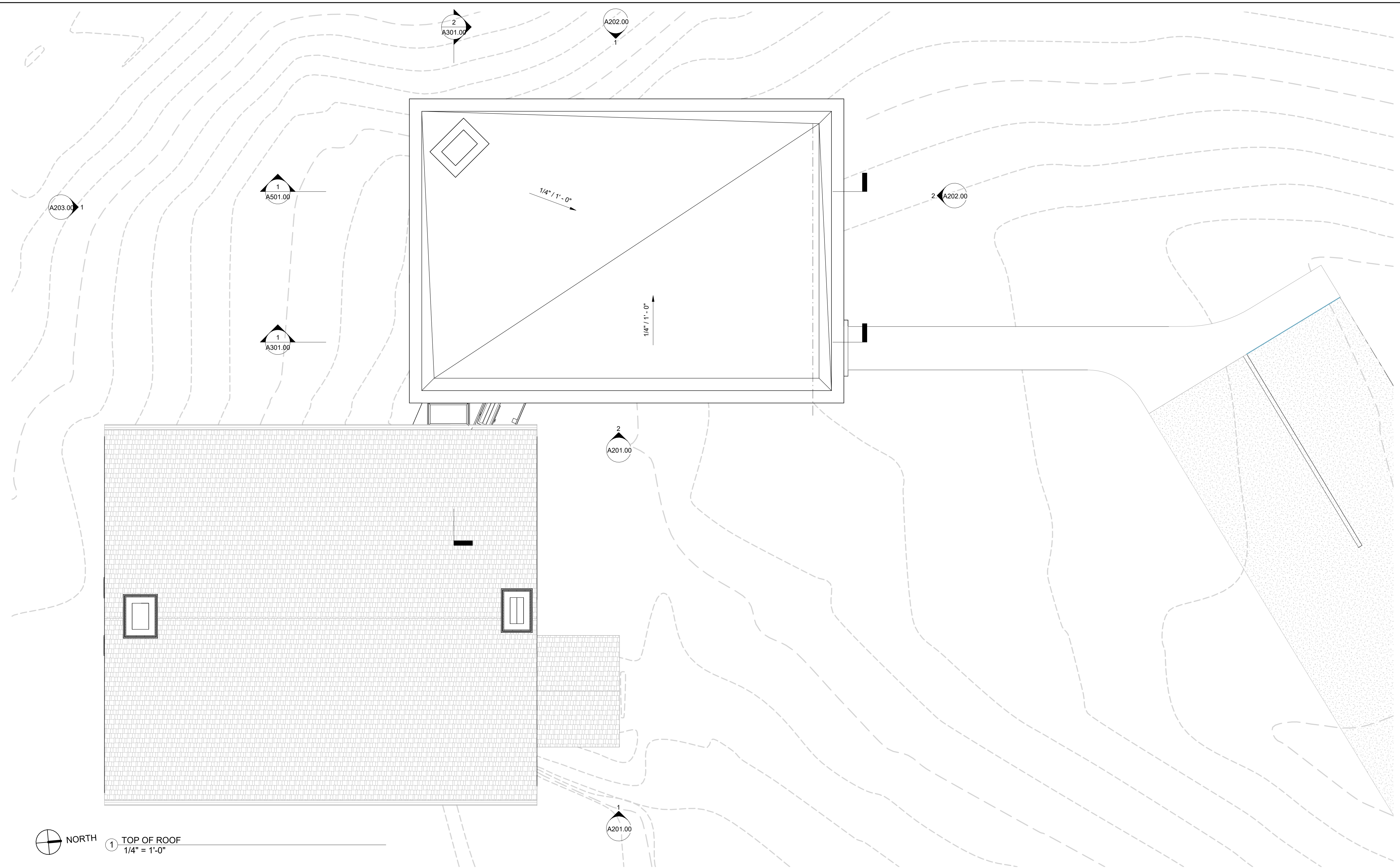
264 TACONIC RD.
SALISBURY, CT 06068

TITLE

FLOOR- AND ROOFPLANS
Copy 1


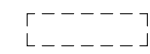
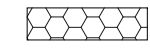

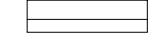
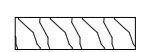



ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

A103.00



NORTH
1 TOP OF ROOF
1/4" = 1'-0"

LEGEND:

-  NEW WALL
-  CONDITION ABOVE AS NOTED
-  NEW TILE FLOOR
-  NEW WOOD FLOOR
-  NEW CONCRETE FLOOR
-  MILLWORK
-  STONE COUNTER
-  COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
-  BATHROOM EXHAUST FAN

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

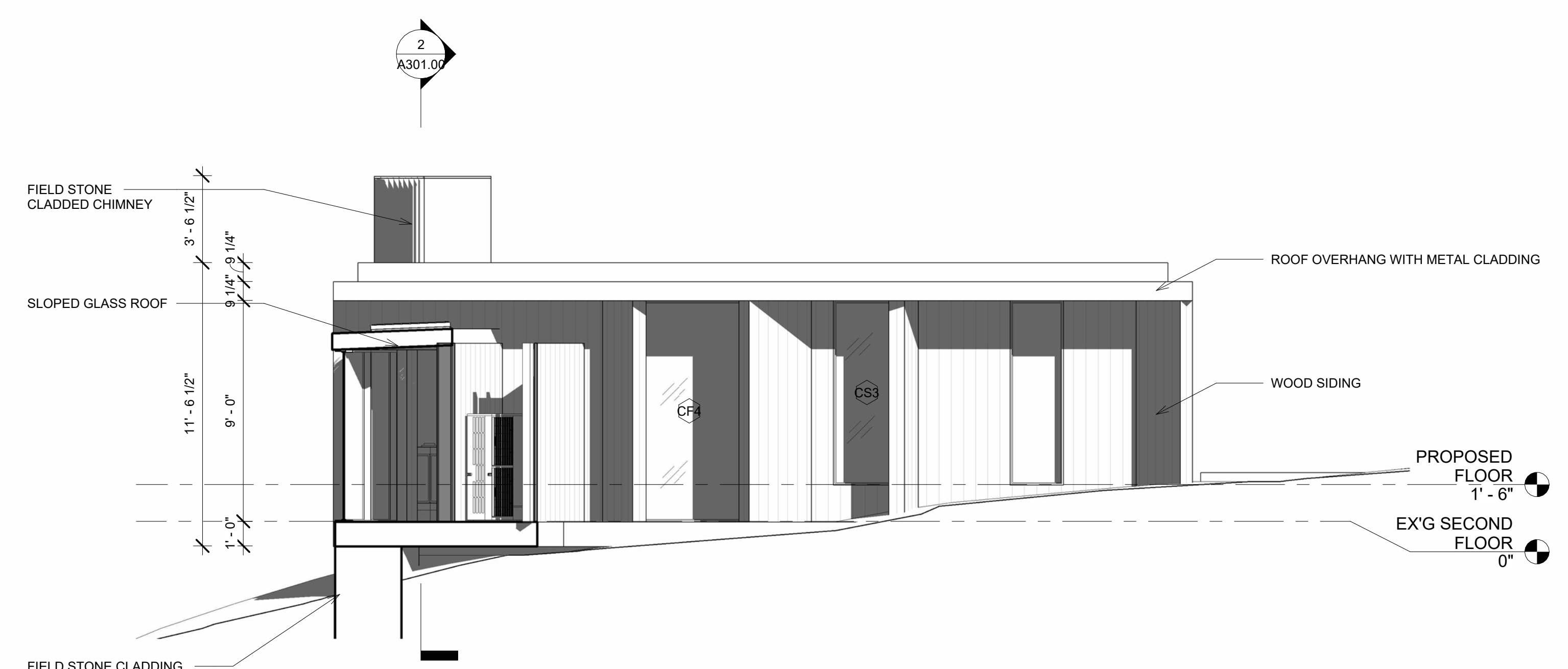
BUILDING ELEVATIONS -
FRONT & REAR

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

A201.00



1 EAST ELEVATION 2 - SCHEME 4
1/4" = 1'-0"



2 EAST ELEVATION - SCHEME 4
1/4" = 1'-0"

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

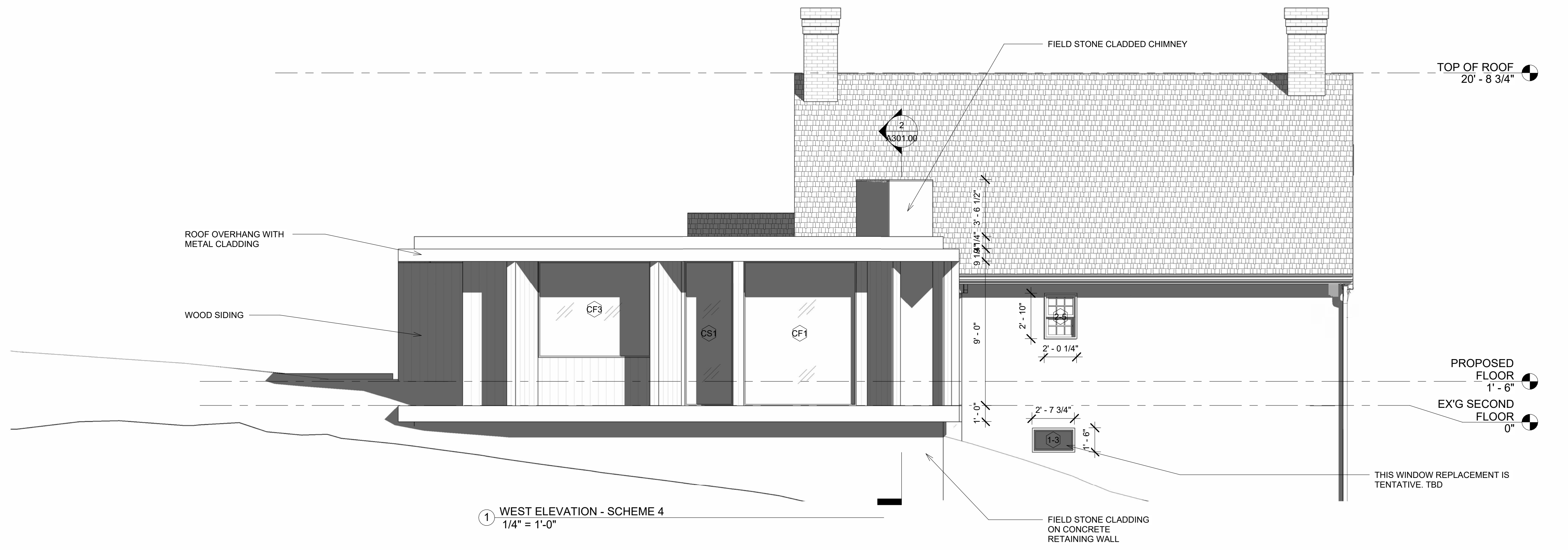
DATE	REVISION

PROJECT
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SALISBURY, CT 06068

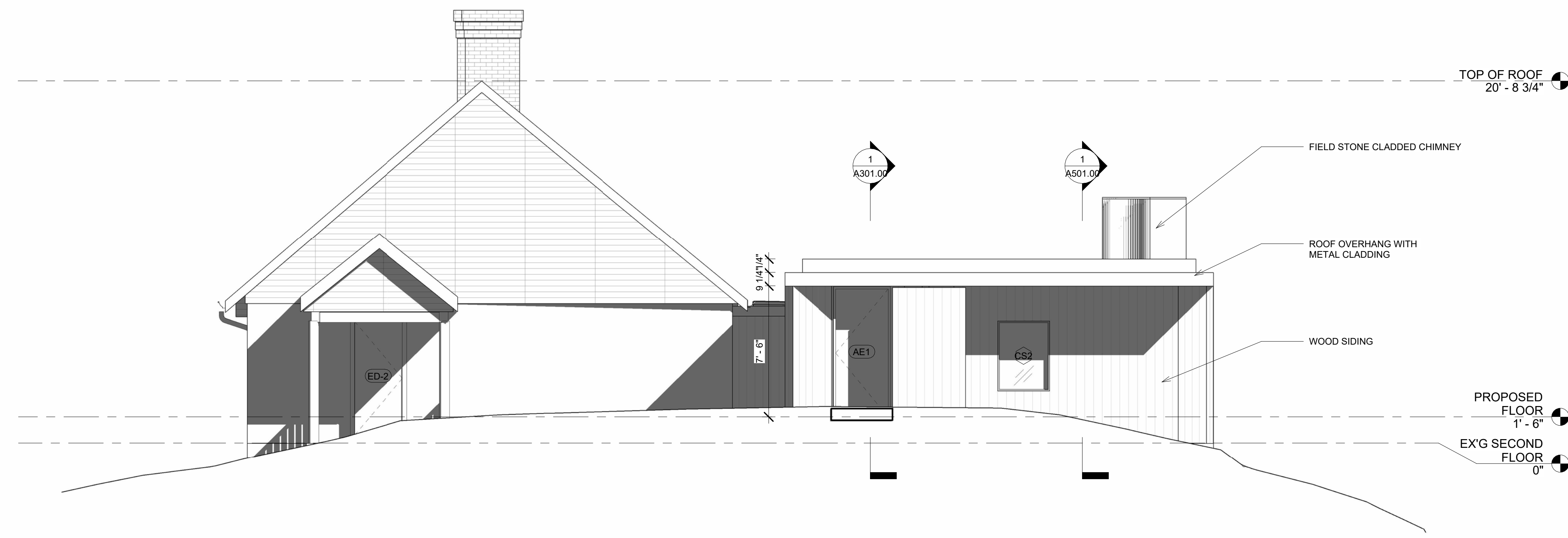
TITLE
BUILDING ELEVATIONS -
SIDES

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

A202.00



① WEST ELEVATION - SCHEME 4
1/4" = 1'-0"



② NORTH ELEVATION - SCHEME 4
1/4" = 1'-0"

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DATE	REVISION

PROJECT

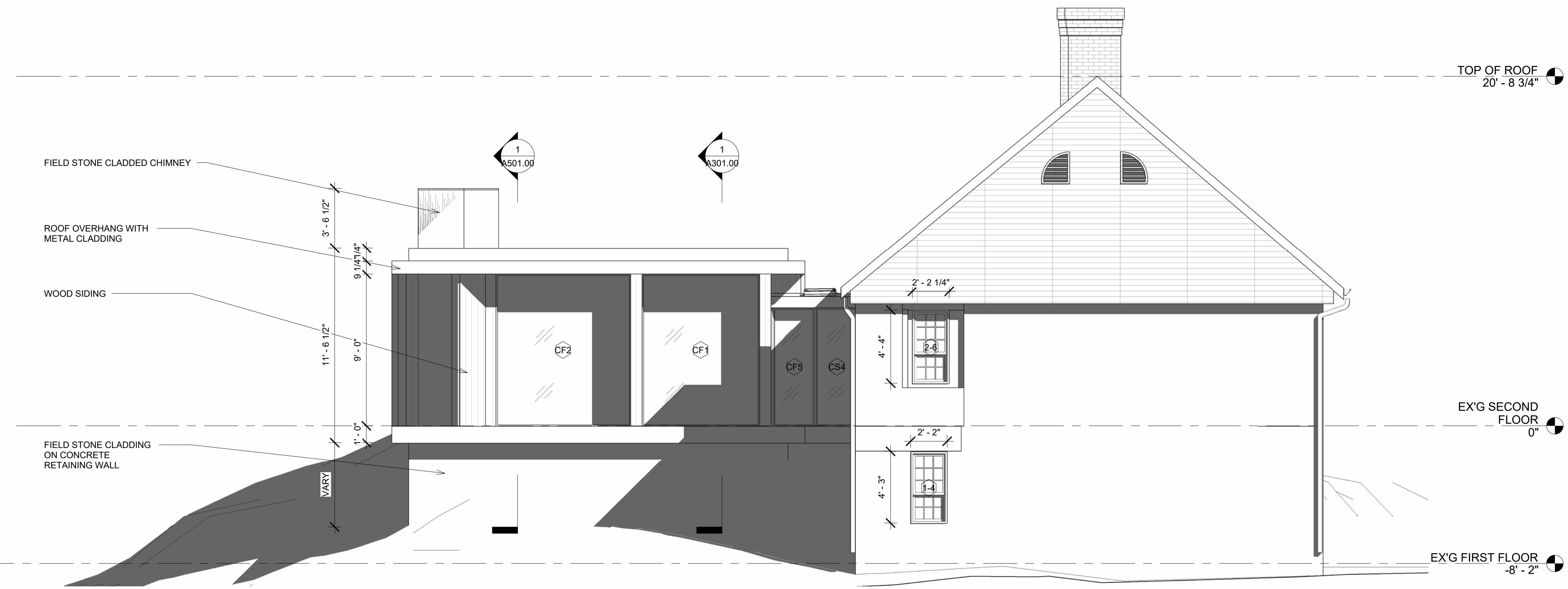
264 TACONIC RD.
SALISBURY, CT 06068

TITLE

BUILDING ELEVATIONS -
SIDES

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

A203.00



① SOUTH ELEVATION - SCHEME 4
1/4" = 1'-0"

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

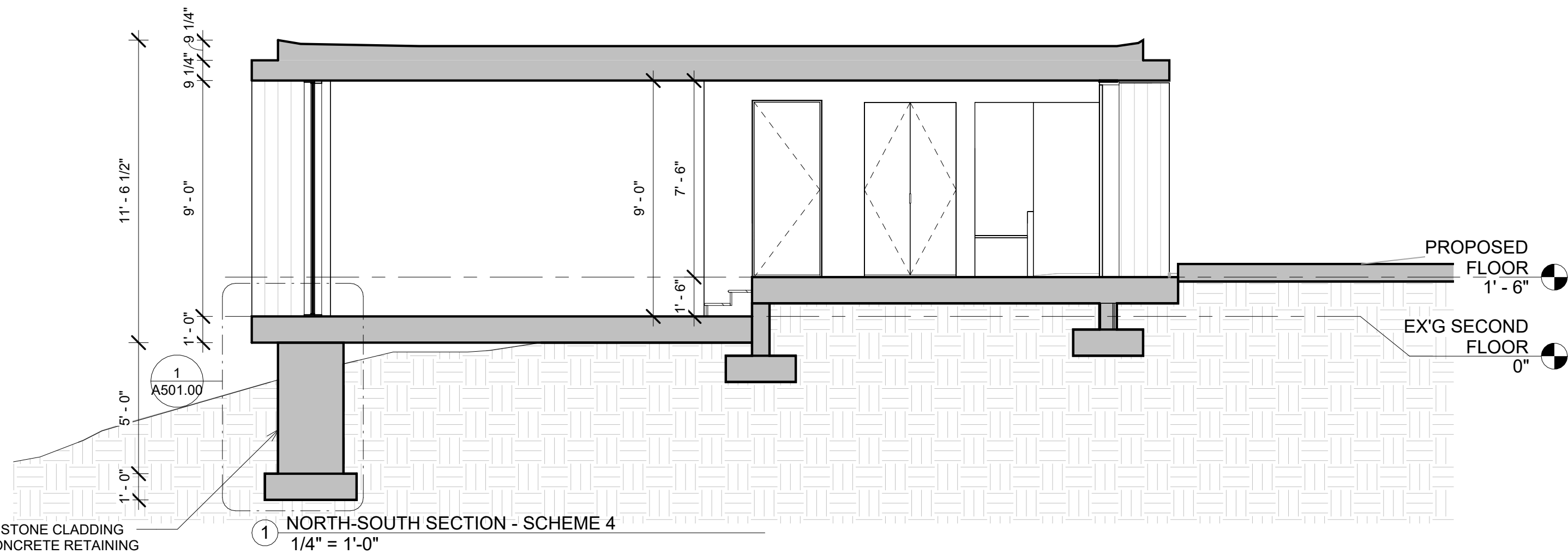
DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
BUILDING SECTIONS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

A301.00



① NORTH-SOUTH SECTION - SCHEME 4
1/4" = 1'-0"

FIELD STONE CLADDING
ON CONCRETE RETAINING
WALL

RAMMED EARTH OR
LIMESTONE
CLADDING CHIMNEY

RAMMED EARTH OR
LIMESTONE CLADDING ON
CMU RETAINING WALL



② WEST-EAST SECTION - SCHEME 4
1/4" = 1'-0"

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA
 Bowerbird Architects, PLLC
 124 9th St. Suite 250
 Brooklyn NY 11215
 Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

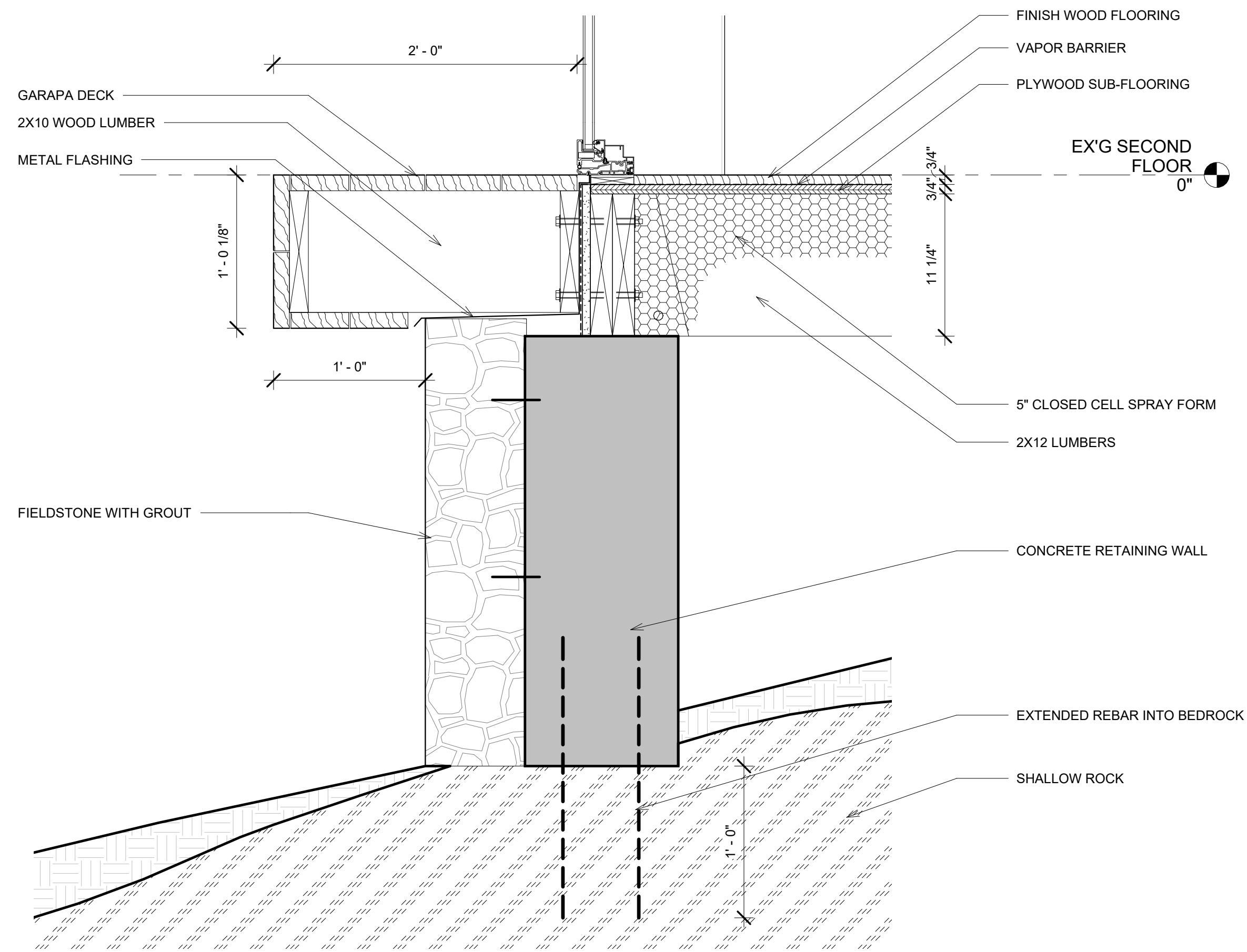
Code Consultant Name
 and Address

Structural Engineer

Structural Engineer Name
 and Address

PROGRESS SET
 05/14/2024

DOB EXAMINER - SEAL & SIGNATURE



1 SECTION DETAIL - PLINTH
 1 1/2" = 1'-0"

DATE	REVISION

PROJECT

264 TACONIC RD.
 SALISBURY, CT 06068

TITLE

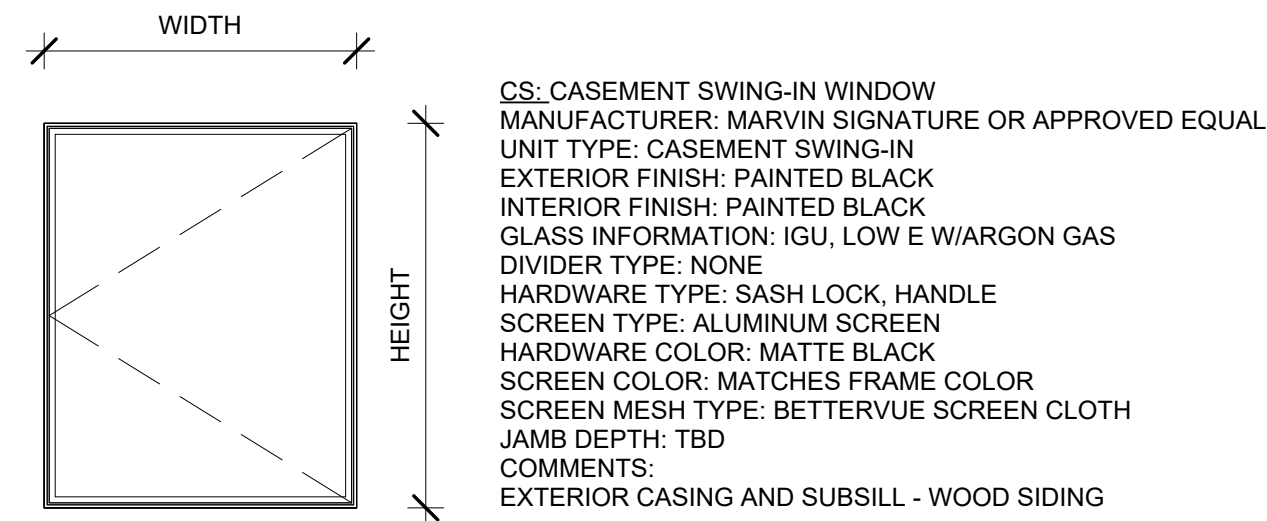
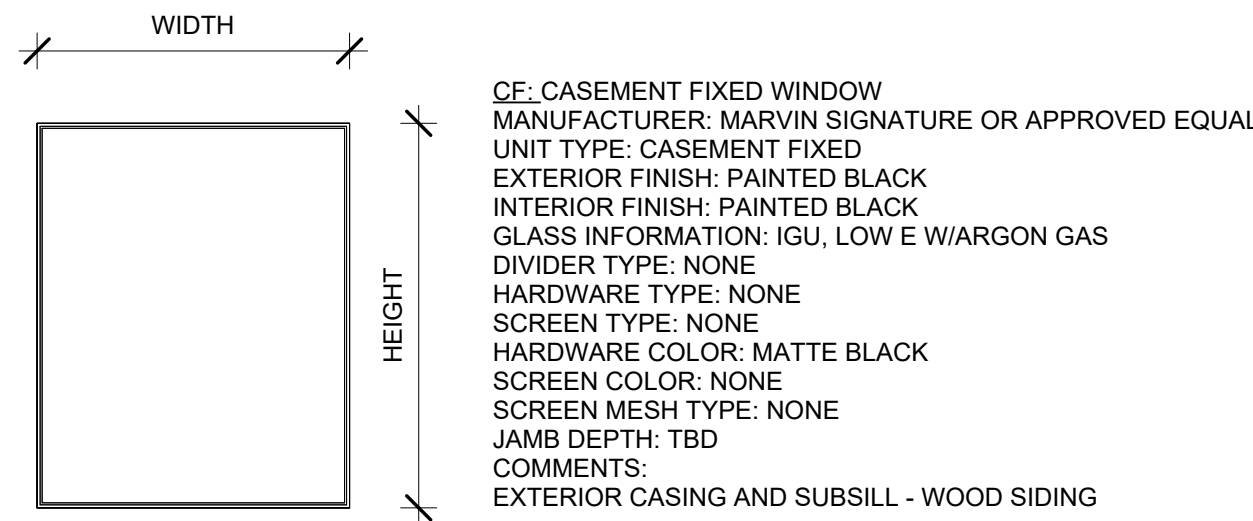
CONSTRUCTION DETAILS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1 1/2" = 1'-0"
		DRAWING NO.:	

A501.00

WINDOW SCHEDULE (SEE EXTERIOR ELEVATIONS FOR TAGS)

MARK	COUNT	TYPE	WIDTH	HEIGHT	SILL HEIGHT	DESCRIPTIONS	PROVIDED LIGHT	PROVIDED AIR	INT FINISH	EXT FINISH	GLASS	SHGC	U-FACTOR	AIR LEAKAGE
CF1	2	CASEMENT FIXED	7'-0"	9'-0"	0"	LIVING & DINING IN ADDITION	63 SF	0 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.06
CF2	1	CASEMENT FIXED	8'-0"	9'-0"	0"	LIVING IN ADDITION	72 SF	0 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.06
CF3	1	CASEMENT FIXED	7'-0"	6'-0"	3'-0"	KITCHEN IN ADDITION	42 SF	0 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.06
CF4	1	CASEMENT FIXED	5'-2"	9'-0"	0"	DINING IN ADDITION	47 SF	0 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.06
CF5	1	CASEMENT FIXED	2'-9"	7'-0"	0"	HALLWAY OPERABLE IN ADDITION	19 SF	0 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.06
CS1	1	CASEMENT SWING-IN	3'-0"	9'-0"	0"	LIVING OPERABLE IN ADDITION	27 SF	27 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.2
CS2	1	CASEMENT SWING-IN	3'-0"	4'-0"	3'-0"	KITCHEN OPERABLE IN ADDITION	12 SF	12 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.2
CS3	1	CASEMENT SWING-IN	2'-9"	7'-6"	1'-6"	HALLWAY OPERABLE IN ADDITION	21 SF	21 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.2
CS4	1	CASEMENT SWING-IN	2'-9"	7'-0"	0"	HALLWAY OPERABLE IN ADDITION	19 SF	19 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.2
CS5	1	CASEMENT SWING-IN	2'-2"	7'-6"	1'-6"	HALLWAY OPERABLE IN ADDITION	21 SF	21 SF	ALUM. PTD	ALUM. PTD	Insulated - Low E3- Argon	0.19	0.28	0.2

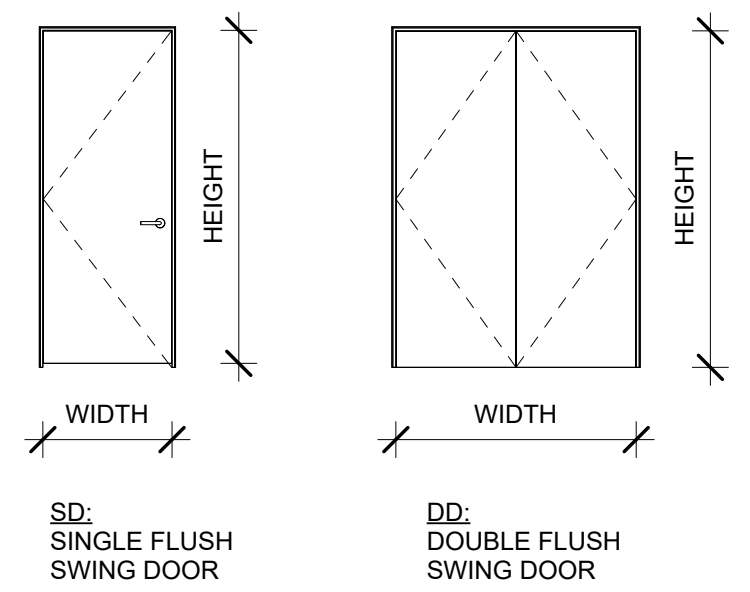


INTERIOR DOOR SCHEDULE

MARK	TYPE MARK	TYPE	WIDTH	HEIGHT	THICKNESS	DESC.	DOOR MATERIAL	DOOR FINISH	DOOR TYPE	FRAME MATERIAL	FRAME FINISH	FRAME TYPE	HARD WARE
EX'G FIRST FLOOR													
1-1	83	SINGLE FLUSH DOOR	3'-0"	7'-0"	1 3/8"								
1-2	59	SINGLE FLUSH DOOR	2'-8"	7'-0"	1 3/8"								
1-3	265	SINGLE FLUSH DOOR	2'-6"	7'-0"	1 1/2"								
1-4	265	SINGLE FLUSH DOOR	2'-6"	7'-0"	1 1/2"								
EX'G SECOND FLOOR													
A-5	DD	DOUBLE FLUSH DOOR	3'-7"	7'-0"	1 3/8"								
A-6	DD	DOUBLE FLUSH DOOR	3'-7"	4'-0"	1"								
PROPOSED FLOOR													
A-1	SD	SINGLE FLUSH DOOR	2'-6"	6'-8"	1 3/8"								
A-2	DD	DOUBLE FLUSH DOOR	3'-6"	6'-8"	1 3/8"								
A-3	DD	DOUBLE FLUSH DOOR	2'-10"	6'-8"	1"								

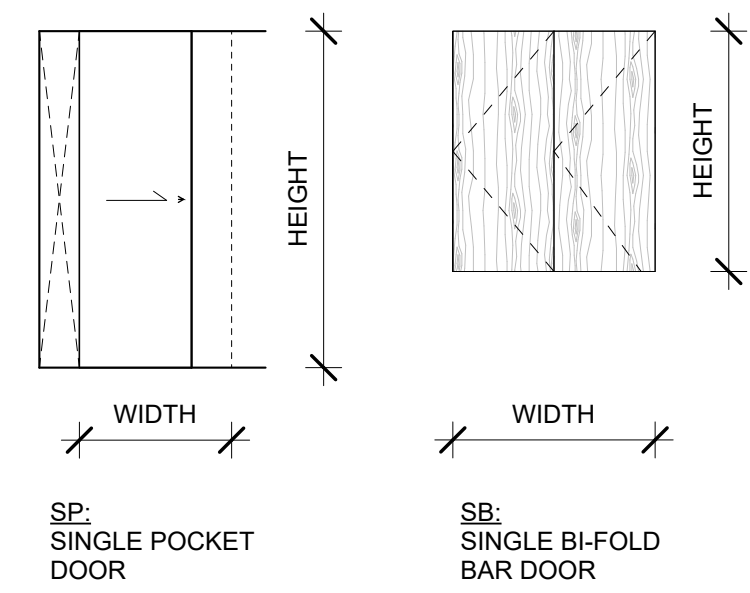
HARDWARE NOTE:
 LEVER: EMTEK STUTTGART LEVER W/ DISK ROSETTE IN FLAT BLACK HARDWARE SETS
A. PRIVACY LOCKSET: EMTEK STUTTGART LEVER W/ DISK ROSETTE
B. PASSAGE LOCKSET: EMTEK STUTTGART LEVER W/ DISK ROSETTE
C. DUMMY LOCKSET: EMTEK STUTTGART LEVER W/ DISK ROSETTE (ONE SIDE ONLY - NO LATCH -PR W/ ROLLER BALL CATCH)

- ALL NEW SLAB DOORS SHALL RECEIVE SET TYPE A, B, C (SEE SCHEDULE FOR SET TYPES)
- ALL FLUSH SLAB DOORS INSTALLED AS INVISIBLE DOORS TO RECEIVE CONCEALED HINGES, G.C. TO PROVIDE NUMBER OF AND SIZE OF HINGE PER MANUF. RECOMMENDATION PER DR HEIGHT & WEIGHT
- ALL FLUSH DOORS NOT INSTALLED AS INVISIBLE DOORS SHALL RECEIVE SQUARE BALL BEARING HINGES, THREE PER DOOR
- ALL LOCKSETS TO INCLUDE CORES
- GC WILL INSTALL DOORS STOPS AT ALL ROOM ENTRY DOORS (CLOSETS NOT INCLUDED)



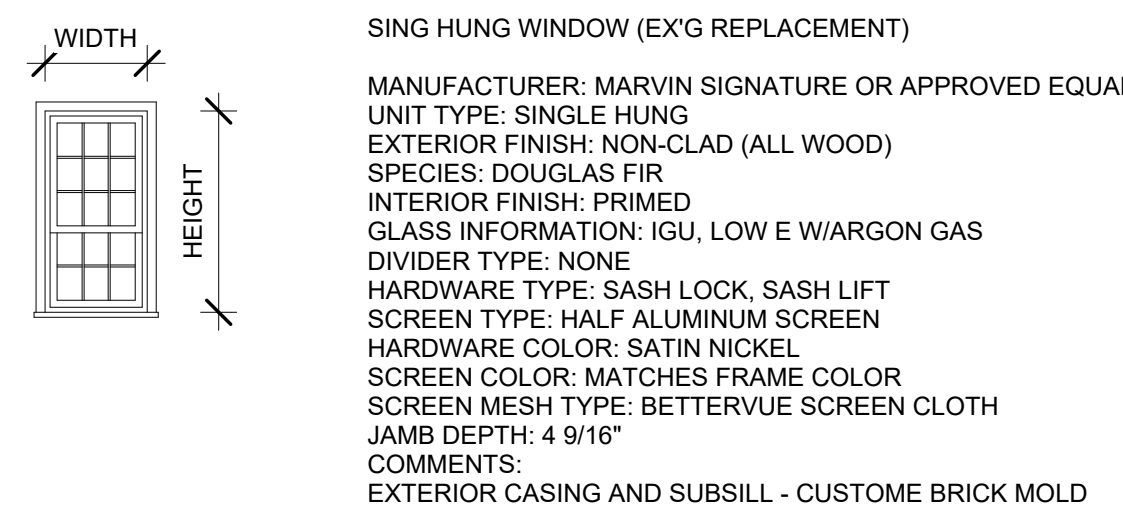
GENERAL NOTES:

- USE MILGO/BUFKIN "DSL R 025/050 - SINGLE LEG REVEAL" GYP. BOARD BEAD FOR ALL FLUSH DOORS W/1/4" REVEAL. PAINT REVEAL SAME COLOR AS ADJACENT WALL
- THE FINISH FOR EACH DOOR HARDWARE SET - HINGES & LOCKSET - SHALL MATCH
- G.C. TO VERIFY FINISHED OPENINGS ON SITE & WITH DOOR MANUFACTURER
- ALL NEW HINGES TO BE COORDINATED WITH HEIGHT & WEIGHT OF DOORS; MIN. 2 /DR
- ALL DOORS TO BE 3/4" UNDERCUT
- ALL FLUSH WOOD DOORS TO BE SOLID CORE
- ALL REFURBISHED ORIGINAL DOORS TO BE SANDED AND PUTTIED - PREPPED FOR NEW FINISH
- ALL NEW DOORS SHALL HAVE A 2 3/8" BACKSET
- GC TO CONFIRM BACKSET AT ALL REFURBISHED ORIGINAL DOORS



OLD STONE HOUSE WINDOW SCHEDULE (SEE EXTERIOR ELEVATIONS FOR TAGS)

MARK	COUNT	TYPE	WIDTH	HEIGHT	SILL HEIGHT	DESCRIPTIONS	PROVIDED LIGHT	PROVIDED AIR	INT FINISH	EXT FINISH	GLASS	SHGC	U-FACTOR	AIR LEAKAGE
1-1	1	SINGLE HUNG	2'-1 3/4"	4'-2 5/8"	2'-4 1/8"	STONE HOUSE FIRST FLOOR FAMILY ROOM	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
1-2	1	SINGLE HUNG	2'-2"	4'-2 1/2"	2'-3 5/8"	STONE HOUSE FIRST FLOOR BATH	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
1-3	1	SINGLE HUNG	2'-7 3/4"	1'-6"	5'-3 1/4"	STONE HOUSE FIRST FLOOR FAMILY ROOM	3 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
1-4	1	SINGLE HUNG	2'-2"	4'-3"	2'-4 3/4"	STONE HOUSE FIRST FLOOR FAMILY ROOM	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-1	1	SINGLE HUNG	2'-1 1/4"	4'-2 5/8"	2'-7"	STONE HOUSE SECOND FLOOR BEDROOM 1	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-2	1	SINGLE HUNG	2'-1"	4'-1"	2'-6 7/8"	STONE HOUSE SECOND FLOOR LIVING	7 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-3	1	SINGLE HUNG	2'-1"	4'-2"	2'-7"	STONE HOUSE SECOND FLOOR LIVING	7 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-5	1	SINGLE HUNG	2'-0 1/4"	2'-10"	4'-2"	STONE HOUSE SECOND FLOOR BATH	5 SF	2 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-6	1	SINGLE HUNG	2'-2 1/4"	4'-4"	2'-6 3/8"	STONE HOUSE SECOND FLOOR BEDROOM 2	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2

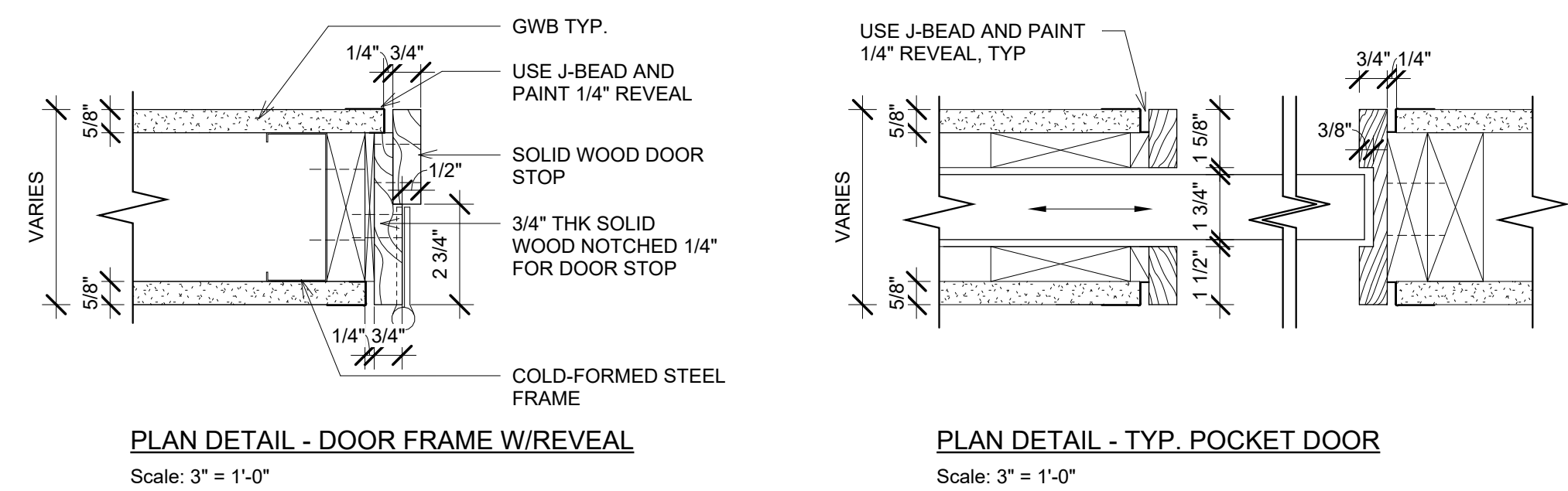


NOTE:

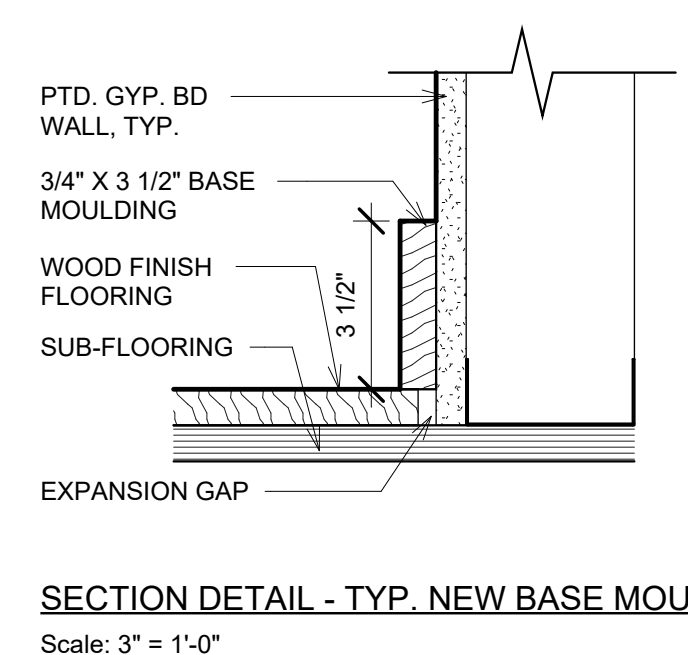
GENERAL CONTRACTOR SHALL PROVIDE PRICING FOR MATERIALS AND INSTALLATION OF WINDOW REPLACEMENTS AT "OLD STONE HOUSE" AND "MILL HOUSE." GC SHALL CONSULT WITH ARCHITECT AND OWNER ABOUT WINDOW OPTIONS WITH RESPECT TO HISTORIC DISTRICT COMMISSION AND PRICING.

GC SHALL MEASURE "MILL HOUSE WINDOWS," INCLUDING MUNTINS, FOR REPLACEMENT OPTIONS

INTERIOR DOOR DETAILS

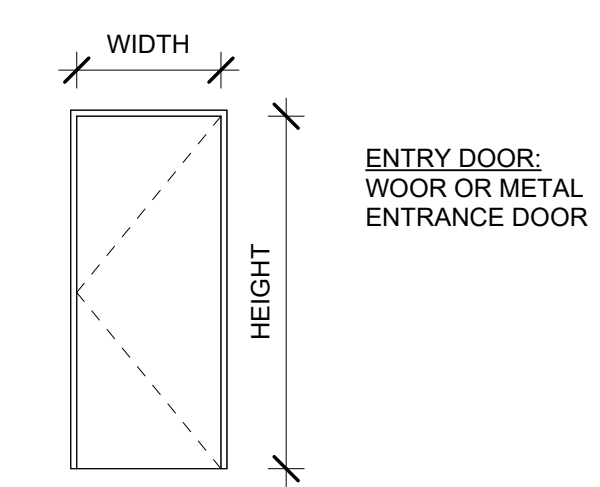


INTERIOR BASE MOULDING DETAIL



EXTERIOR DOOR SCHEDULE

TYPE MARK	COUNT	TYPE	WIDTH	HEIGHT	DESCRIPTION	PROVIDED LIGHT	PROVIDED AIR	DOOR MATERIAL/ FINISH	FRAME MATERIAL	SHGC	U-FACTOR	AIR LEAKAGE
EX'G SECOND FLOOR												
ED-1	1	STONE HOUSE FIRST FLOOR ENTRY DOOR	3'-0"	6'-0"	ENTRY DOOR @ STONE HOUSE 1ST	18 SF		WOOD	WOOD		0.35	0.2
ED-2	1	STONE HOUSE SECOND FLOOR ENTRY DOOR	2'-9"	6'-6"	ENTRY DOOR @ STONE HOUSE 2ND	18 SF		WOOD	WOOD		0.35	0.2
PROPOSED FLOOR												
AE1	1	NEW ENTRY DOOR	3'-0"	7'-4"	ENTRY DOOR @ ADDITION		20 SF	METAL DOOR	METAL		0.35	0.2



NOTE:

GENERAL CONTRACTOR SHALL PROVIDE PRICING FOR MATERIALS AND INSTALLATION OF EXTERIOR DOOR REPLACEMENTS AT "OLD STONE HOUSE" AND "MILL HOUSE." GC SHALL CONSULT WITH ARCHITECT AND OWNER ABOUT DOOR OPTIONS WITH RESPECT TO HISTORIC DISTRICT COMMISSION AND PRICING.

GC SHALL MEASURE "MILL HOUSE DOORS," FOR REPLACEMENT OPTIONS

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect
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 Bowerbird Architects, PLLC
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 Brooklyn NY 11215
 Tel: 917.447.7855

Owner
 AREK FEREDJIAN & ELINA TUNYAN

Code Consultant
 Code Consultant Name
 and Address

Structural Engineer
 Structural Engineer Name
 and Address

PROGRESS SET
 05/14/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT
 264 TACONIC RD.
 SALISBURY, CT 06068

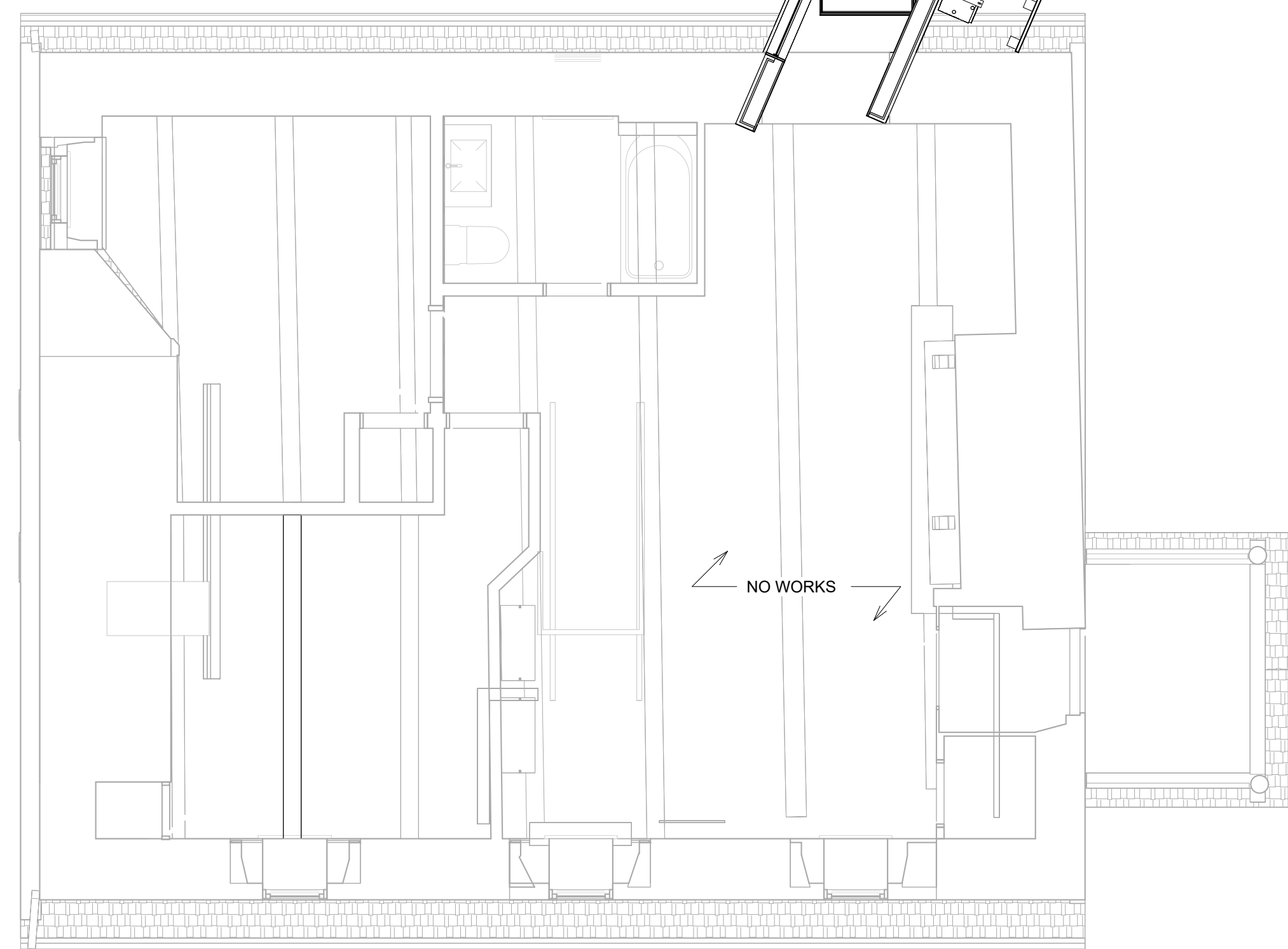
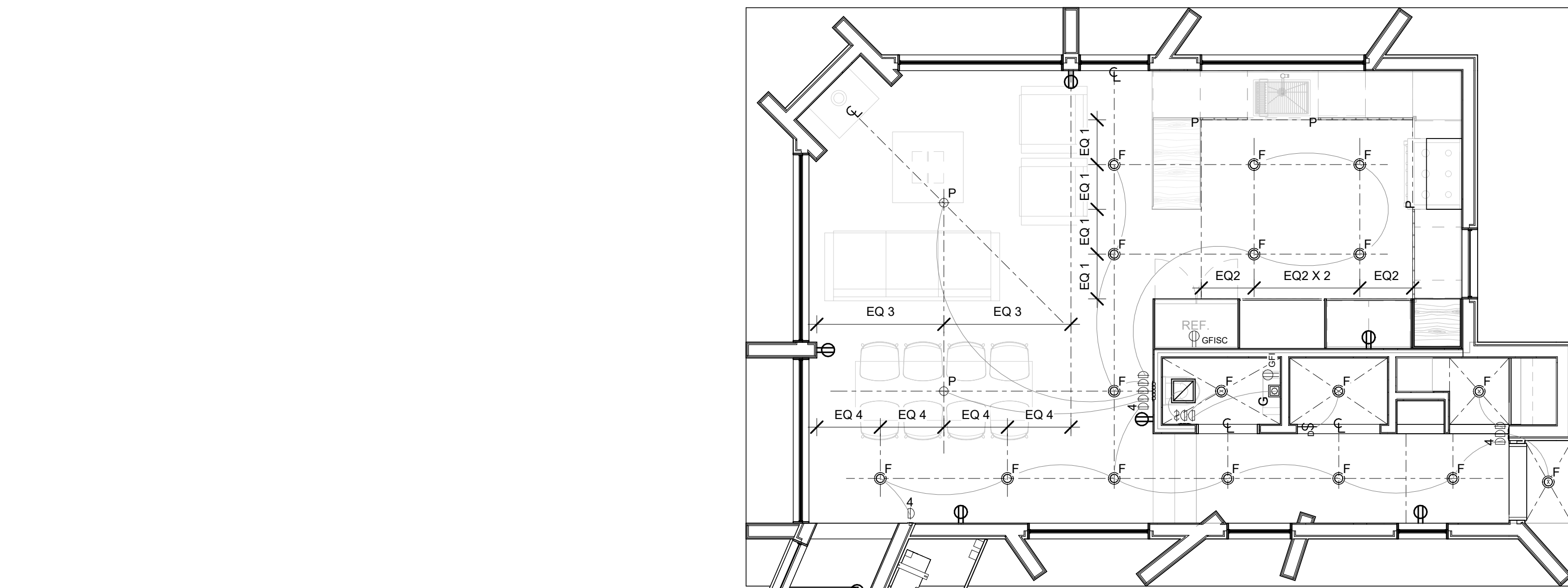
TITLE
 WINDOW- AND DOOR
 SCHEDULES

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	As indicated
		DRAWING NO.:	

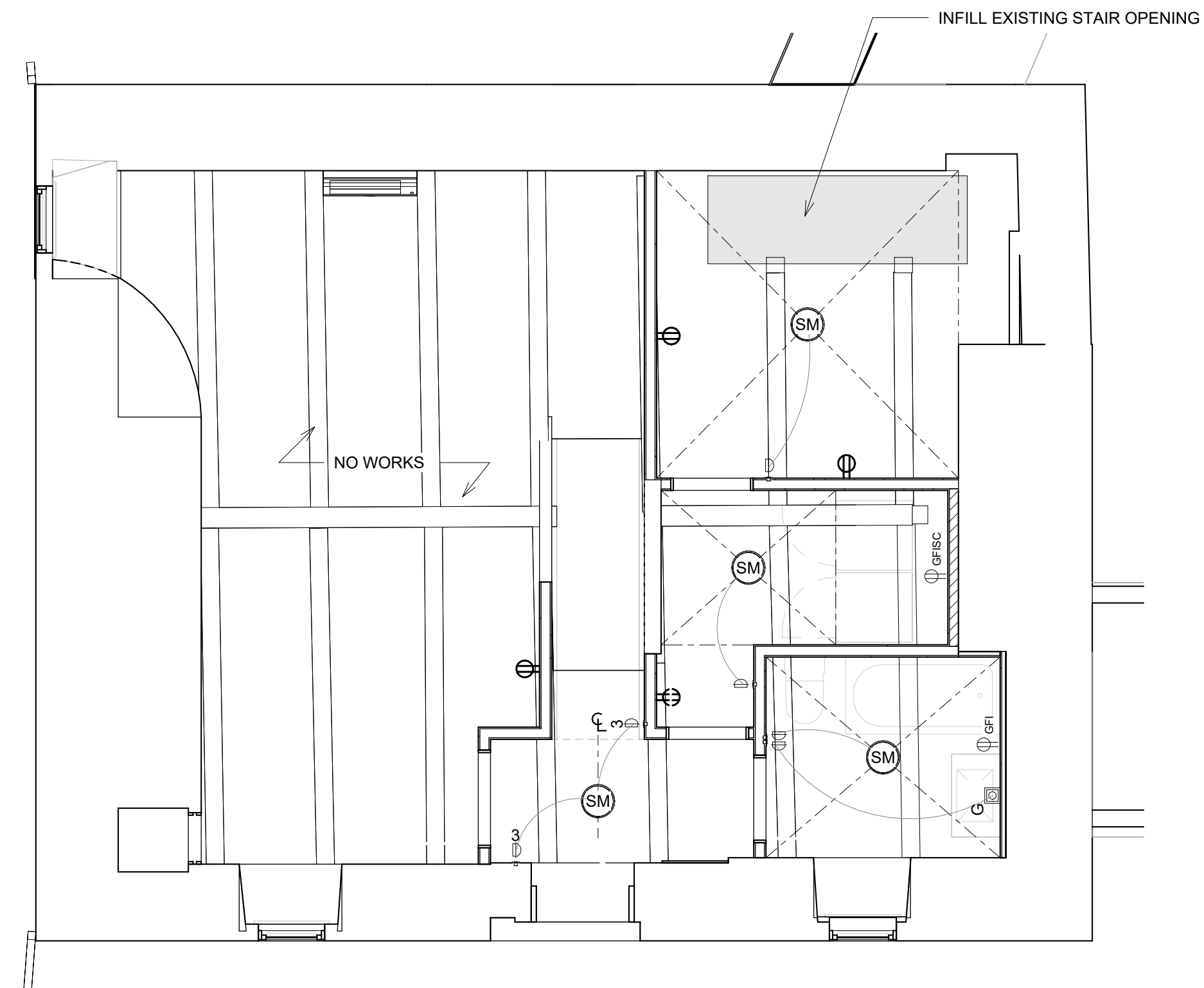
A601.00

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE



NORTH ① PROPOSED RCP - SECOND FLOOR
1/4" = 1'-0"



NORTH ② PROPOSED RCP - FIRST FLOOR
1/4" = 1'-0"

ELECTRICAL LEGEND:

- NOTES:
1. ELECTRICIAN SHALL COMPLY WITH CODE TO ENSURE RECEPTACLES WITH REQUIRED SPACING O.C.
2. ALL WALL MOUNTED RECEPTACLES, INCLUDING BUT NOT LIMITED TO GFI, AND DUPLEX RECEPTACLE BOXES TO BE MOUNTED HORIZONTALLY. SEE INTERIOR ELEVATIONS.
3. ALL WALL SWITCHES, INCLUDING BUT NOT LIMITED TO DIMMERS AND MULTIWAY SWITCHES TO BE MOUNTED VERTICALLY. SEE INTERIOR ELEVATIONS

- GFI: GROUND FAULT INTERRUPTER RECEPTACLE
- DUPLEX RECEPTACLE
- QUAD RECEPTACLE 12" AFF. UNLESS OTHERWISE NOTES
- SEPARATE CIRCUIT
- FLOOR RECEPTACLE
- RECEPTACLE W/USB
- PLUG MOLD
- QUAD FLOOR RECEPTACLE
- EXTERIOR RECEPTACLE 30" AFF GFI IN WP BOX ON SEP. CIRCUIT
- INTERCOM
- CABLE JACK

- DATA JACK
- SMART THERMOSTAT
- WALL SWITCH: TWO WAY, THREE WAY, FOUR WAY
- DIMMER SWITCH: TWO WAY, THREE WAY, FOUR WAY
- SWITCHED TO DOOR BUCK

- MOTION-ACTIVATED SWITCH
- 4" RECESSED LIGHT FIXTURE HALO LED MODEL #HLB4069FS1EMWR
- CEILING MOUNTED LIGHT PENDANT
- WALL MOUNTED LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE

FIRE PROTECTION LEGEND:

- NOTES:
1. ALL SMOKE AND SMOKE/CARBON MONOXIDE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP MEETING REQUIREMENTS OF NFPA 72, PER NJAC 5:23-632(F) AND IBC 907.2.10.1.2
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR (WALL MOUNTED ABOVE DOORS WHEREVER POSSIBLE, U.O.N.)

DATE	REVISION

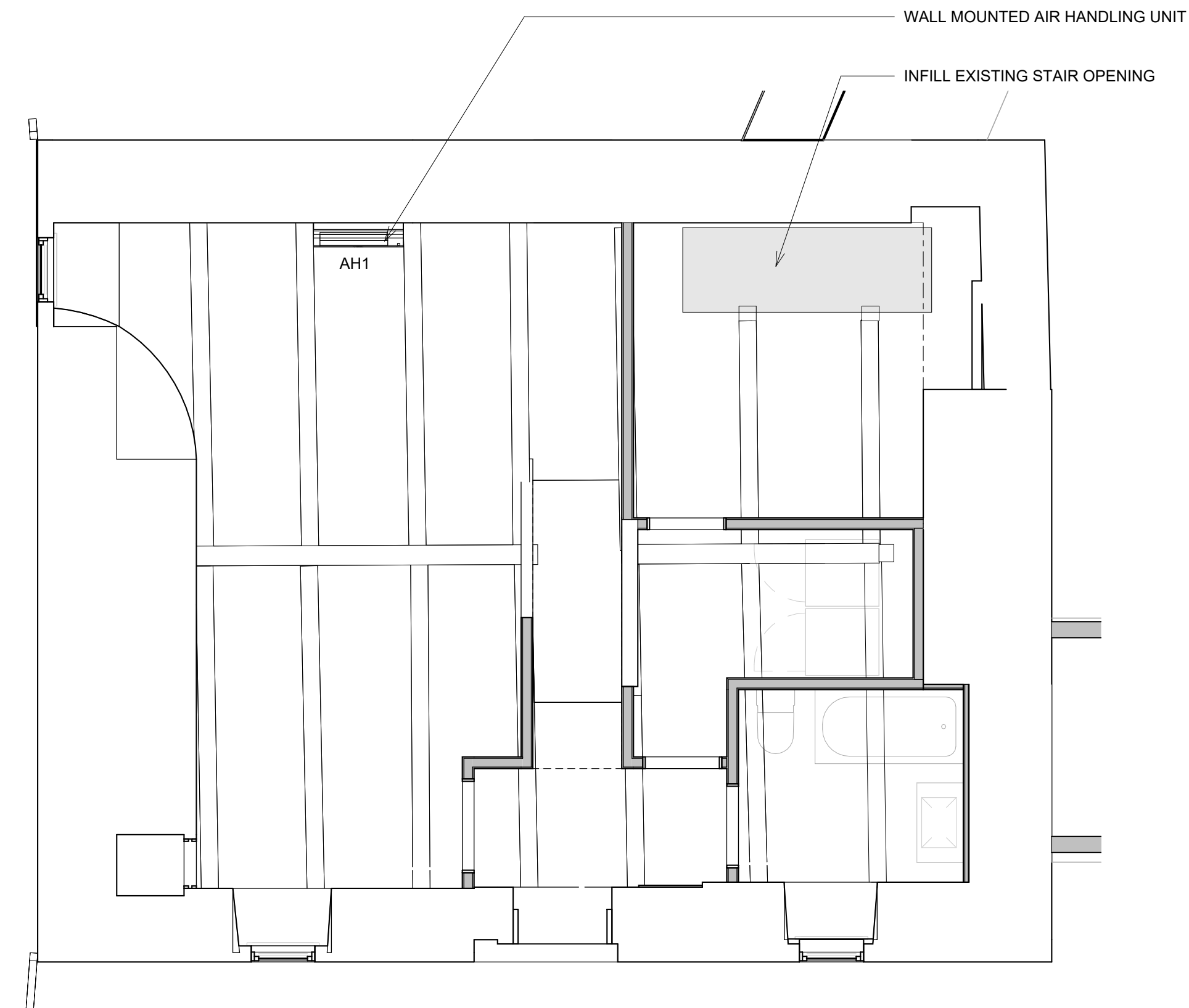
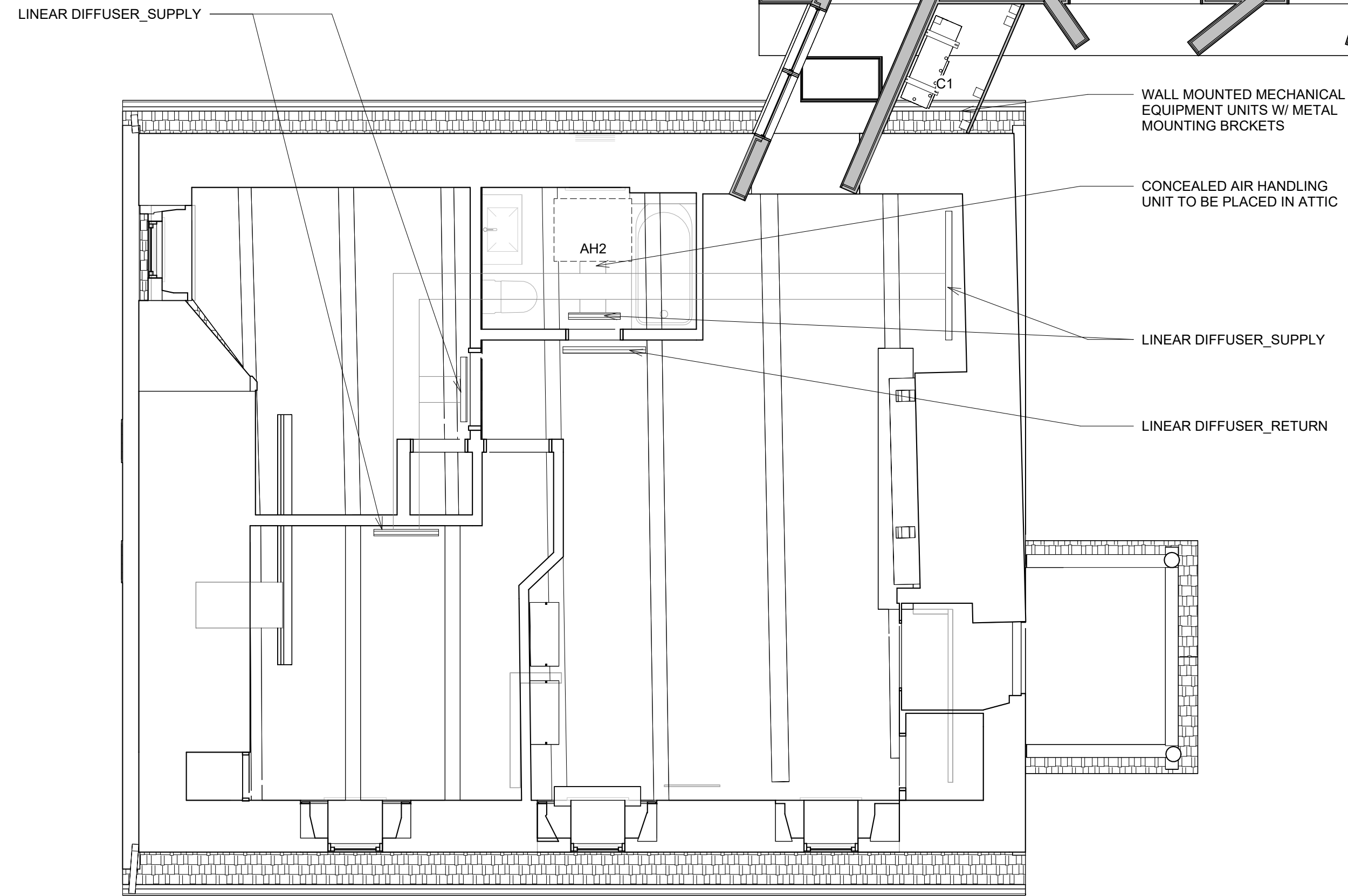
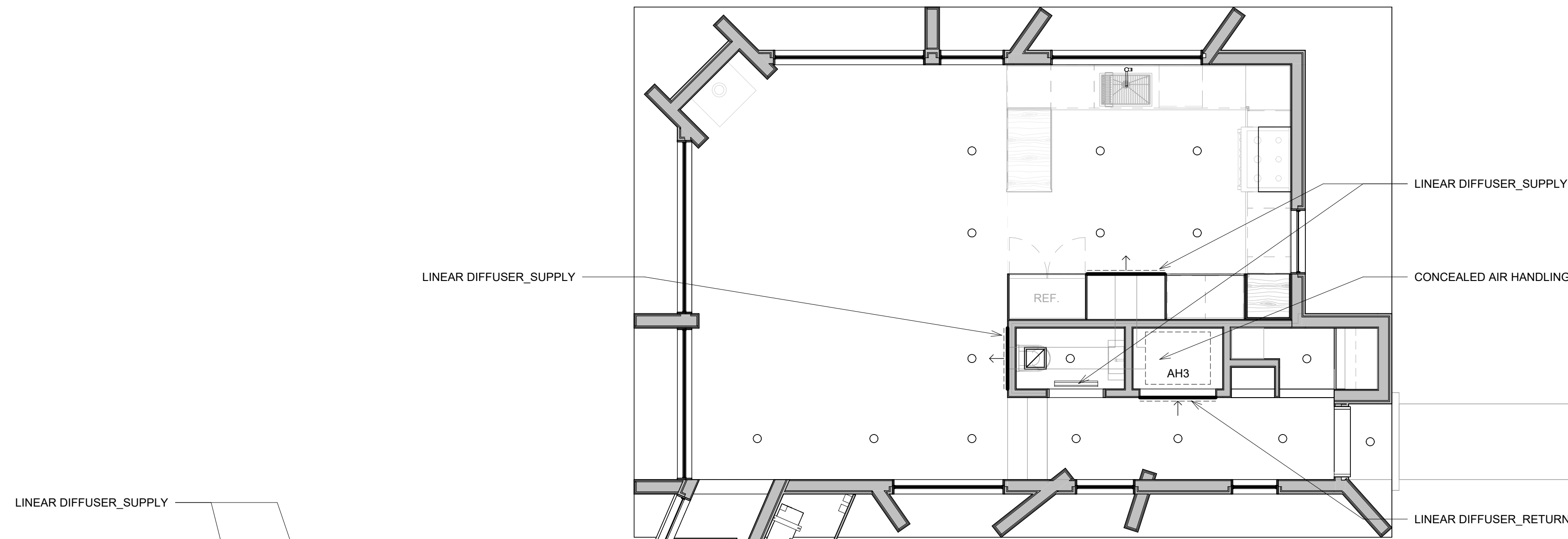
PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
RCP AND ELECTRICAL
PLANS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	E101.00

PROGRESS SET
05/14/2024

DOB EXAMINER - SEAL & SIGNATURE



NOTE:
EXACT LOCATION OF THE CEILING MOUNTED
DIFFUSERS IN OLD STONE HOUSE TO BE
DETERMINED

1 PROPOSED MECH. PLAN - SECOND FLOOR
1/4" = 1'-0"

2 PROPOSED MECH. PLAN - FIRST FLOOR
1/4" = 1'-0"

MECHANICAL SCHEDULE

TAG	ITEM	QTY	MANUFACTURER/MODEL	LOCATION	AREA SERVED	BTU/H	SEER	HSPE	W X L X H (INCHES)	WEIGHT (LBS)
C1	CONDENSING UNIT	1	mitsubishi MXZ-SM48NAMH22	OUTDOOR	ADDITION	48,000	23	12	41 11/32" X 13" X 52 11/16"	278
AH1	AIR HANDLING UNIT -WM	1	MITSUBISHI MSZ-EF12NAW-U2	ADDITION	ADDITION	12,000	N/A	N/A	34 13/16" X 7 11/16" X 11 3/4"	26
AH2	AIR HANDLING UNIT	1	MITSUBISHI PEAD-A18AA9	ADDITION	ADDITION	18,000	N/A	N/A	35 7/16" X 28 7/8" X 9 7/8"	60
AH3	AIR HANDLING UNIT	1	MITSUBISHI PEAD-A18AA9	ADDITION	ADDITION	18,000	N/A	N/A	35 7/16" X 29 7/8" X 9 7/8"	60

DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
MECHANICAL PLANS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	05/14/2024
		JOB NO.:	0141
		SCALE:	As indicated
		DRAWING NO.:	

M101.00























