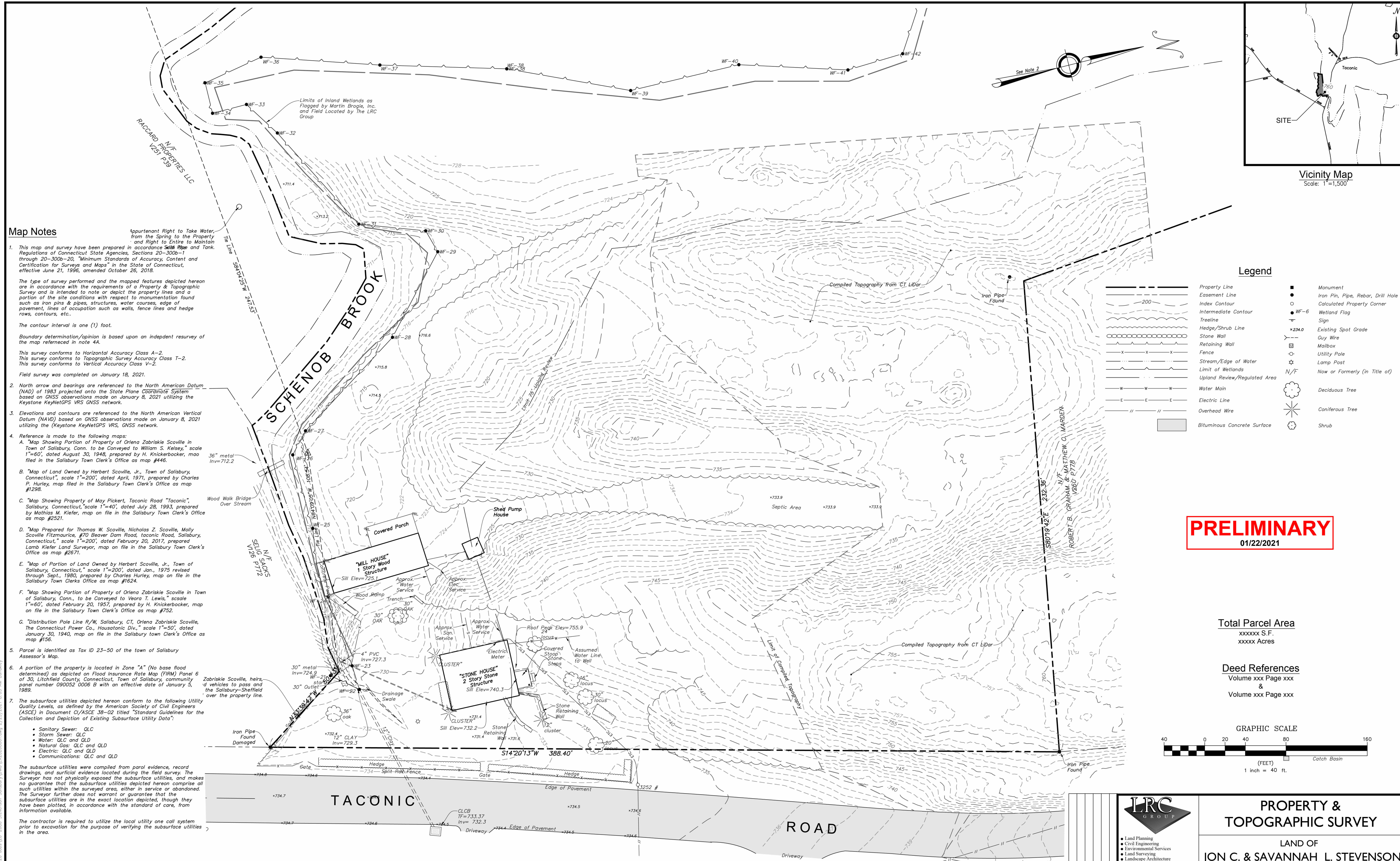


CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE



Map Notes
1. This map and survey have been prepared in accordance with the requirements of a Property & Topographic Survey and is intended to note or depict the property lines and a portion of the site conditions with respect to monumentation found such as iron pins & pipes, structures, water courses, edge of pavement, lines of occupation such as walls, fence lines and hedge rows, contours, etc.
The contour interval is one (1) foot.
Boundary determination/opinion is based upon an independent resurvey of the map referenced in note 4A.
This survey conforms to Horizontal Accuracy Class A-2
This survey conforms to Topographic Survey Accuracy Class T-2
This survey conforms to Vertical Accuracy Class V-2.
Field survey was completed on January 18, 2021.
2. North arrow and bearings are referenced to the North American Datum (NAD) of 1983 projected onto the State Plane Coordinate System based on GNSS observations made on January 8, 2021 utilizing the KeyStone KeyNetGPS VRS GNSS network.
3. Elevations and contours are referenced to the North American Vertical Datum (NAVD) based on GNSS observations made on January 8, 2021 utilizing the (KeyStone KeyNetGPS VRS, GNSS network.
4. Reference is made to the following maps:
A. "Map Showing Portion of Property of Orlena Zabriskie Scoville in Town of Salisbury, Conn. to be Conveyed to William S. Kelsey," scale 1"=60', dated August 30, 1948, prepared by H. Knickerbocker, map filed in the Salisbury Town Clerk's Office as map #446.
B. "Map of Land Owned by Herbert Scoville, Jr., Town of Salisbury, Connecticut," scale 1"=200', dated April, 1974, prepared by Charles P. Hurley, map filed in the Salisbury Town Clerk's Office as map #1298.
C. "Map Showing Property of May Pickert, Taconic Road 'Taconic,' Salisbury, Connecticut, scale 1"=40', dated July 28, 1993, prepared by Matthias M. Krieger, map on file in the Salisbury Town Clerk's Office as map #2521.
D. "Map Prepared for Thomas W. Scoville, Nicholas Z. Scoville, Molly Scoville Fitzmaurice, #70 Beaver Dam Road, Taconic Road, Salisbury, Connecticut," scale 1"=200', dated February 20, 2017, prepared by Lamb Krieger Land Surveyor, map on file in the Salisbury Town Clerk's Office as map #2671.
E. "Map of Portion of Land Owned by Herbert Scoville, Jr., Town of Salisbury, Connecticut," scale 1"=200', dated Jan., 1975 revised through Sept., 1980, prepared by Charles Hurley, map on file in the Salisbury Town Clerk's Office as map #1624.
F. "Map Showing Portion of Property of Orlena Zabriskie Scoville in Town of Salisbury, Conn., to be Conveyed to Veora T. Lewis," scale 1"=60', dated February 20, 1957, prepared by H. Knickerbocker, map on file in the Salisbury Town Clerk's Office as map #156.
G. "Distribution Pole Line R/W, Salisbury, CT, Orlena Zabriskie Scoville, The Connecticut Power Co., Housatonic Div.," scale 1"=50', dated January 30, 1940, map on file in the Salisbury Town Clerk's Office as map #156.
5. Parcel is identified as Tax ID 23-50 of the town of Salisbury Assessor's Map.
6. A portion of the property is located in Zone "A" (No base flood determined) as depicted on Flood Insurance Rate Map (FIRM) Panel 6 of 30, Litchfield County, Connecticut, Town of Salisbury, community panel number 090052 0006 B with an effective date of January 5, 1989.
7. The subsurface utilities depicted hereon conform to the following Utility Quality Levels, as defined by the American Society of Civil Engineers (ASCE) in Document CI/ASCE 38-02 titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data":
• Sanitary Sewer: QLC
• Storm Sewer: QLC
• Water: QLC and QLD
• Natural Gas: QLC and QLD
• Electric: QLC and QLD
• Communications: QLC and QLD
The subsurface utilities were compiled from parcel evidence, record drawings, and surface evidence located during the field survey. The Surveyor has not physically exposed the subsurface utilities, and makes no guarantee that the subsurface utilities depicted hereon comprise all such utilities within the surveyed area, either in service or abandoned. The Surveyor further does not warrant or guarantee that the subsurface utilities are in the exact location depicted, though they have been plotted, in accordance with the standard of care, from information available.
The contractor is required to utilize the local utility one call system prior to excavation for the purpose of verifying the subsurface utilities in the area.

Certification
To my knowledge and belief this map is substantially correct as noted hereon.
JOHN F. WAGENBLATT L.S. No. 17,791

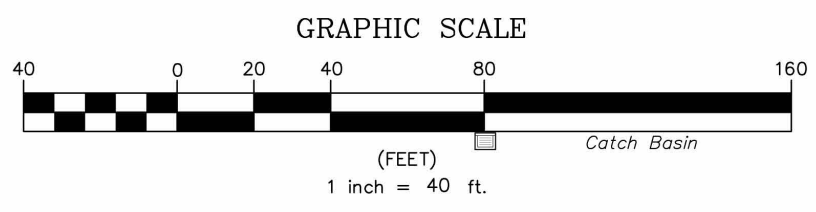
Legend

Property Line	Iron Pin, Pipe, Rebar, Drill Hole
Easement Line	Calculated Property Corner
Index Contour	Wetland Flag
Intermediate Contour	Sign
Treeline	Existing Spot Grade
Hedge/Shrub Line	Guy Wire
Stone Wall	Mailbox
Retaining Wall	Utility Pole
Fence	Lamp Post
Stream/Edge of Water	Now or Formerly (in Title of)
Limit of Wetlands	N/F
Upland Review/Regulated Area	Deciduous Tree
Water Main	Coniferous Tree
Electric Line	Shrub
Overhead Wire	
Bituminous Concrete Surface	

PRELIMINARY
01/22/2021

Total Parcel Area
xxxxxx S.F.
xxxxxx Acres

Deed References
Volume xxx Page xxx
&
Volume xxx Page xxx



LRC GROUP
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• Environmental Services
• Land Surveying
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LRC Engineering & Surveying, DPC
LRC Engineering & Surveying, LLC
LRC Environmental Services, Inc.

PROPERTY & TOPOGRAPHIC SURVEY
LAND OF
JON C. & SAVANNAH L. STEVENSON
264 TACONIC ROAD
TOWN OF SALISBURY
LITCHFIELD COUNTY, CONNECTICUT

Design/Calcs	XXX	CAD File	EX2028001.dwg	Sheet No.
Drawn	XXX	Project No.	20-2880	
Checked	XXX	Date	01/15/2021	
Approved	XXX	Scale	1"=20'	

EX-1

DATE	REVISION

PROJECT
**264 TACONIC RD.
SALISBURY, CT 06068**

TITLE
SURVEY

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	
		DRAWING NO.:	

REGISTERED ARCHITECT
Daniel Kaplan
STATE OF NEW YORK
103717

G004.00

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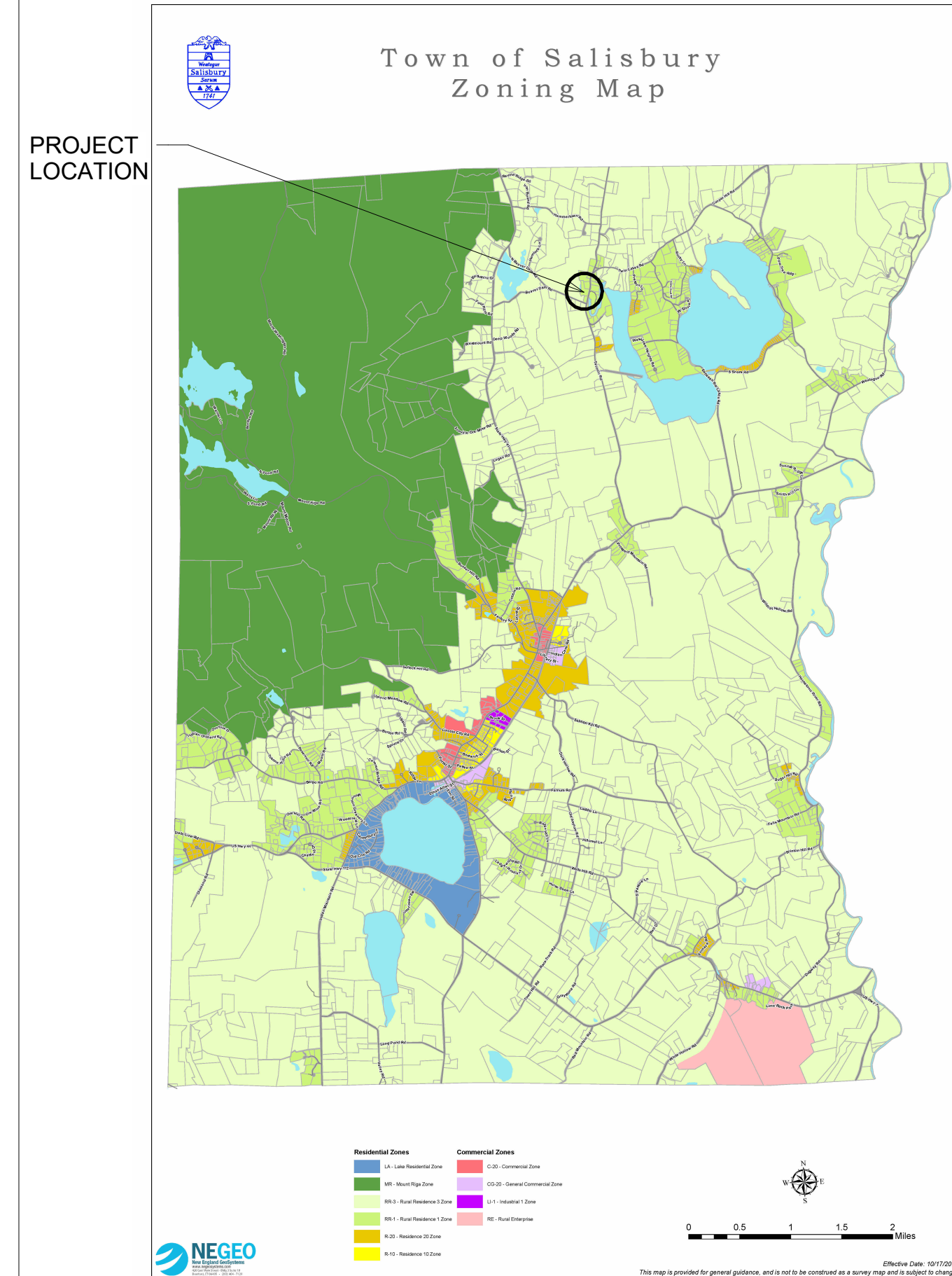
ZONING NOTES

ZONING DATA
 STREET ADDRESS: 264 TACONIC RD., SALISBURY, CT 06068
 MAP BLOCK LOT: 23-50
 LAND USE: 1-1, RES LAND MDL-01
 LAND CLASS: R
 ZONING DISTRICT: RR-1
 LOT AREA: 5AC (321,729 SF)
 ZONING OVERLAY DISTRICTS: N/A
 AREAS REGULATED BY OTHER AGENCIES: N/A
 SALISBURY HISTORIC DISTRICT COMMISSION (SHDC): YES, OLD STONE HOUSE

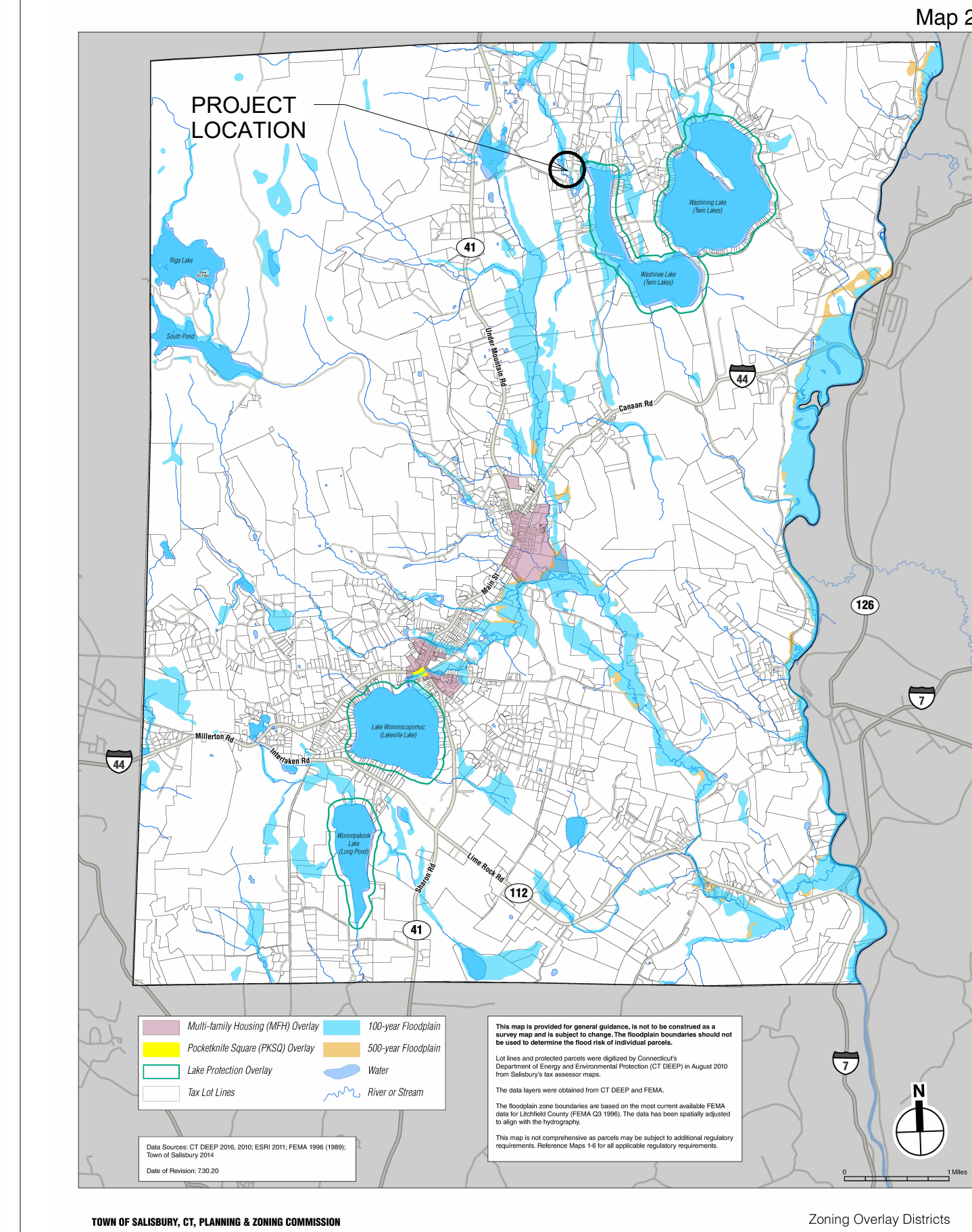
SALISBURY ZONING REGULATIONS

	REQUIRED	PROPOSED	COMPLIES
MIN. LOT AREA	8,000 SF	5 ACRE (EX'G)	YES
MIN. FRONT YARD SETBACK	40 FEET	71 FEET	YES
MIN. SIDE YARD SETBACK 1	30 FEET	617 FEET	YES
MIN. SIDE YARD SETBACK 2	30 FEET	75 FEET	YES
MIN. REAR YARD SETBACK	30 FEET	309 FEET	YES
MAX. BUILDING COVERAGE	10%	0.96% (3,088 / 321,729)	YES
MAX. BUILDING HEIGHT	30/35 FEET	10.5 FEET	YES
MIN. SETBACK FROM WATERCOURSE -PRINCIPAL BUILDING	75 FEET	75 FEET	YES
MIN. SETBACK FROM WATERCOURSE -ACCESSORY BUILDING	50 FEET	N/A	N/A

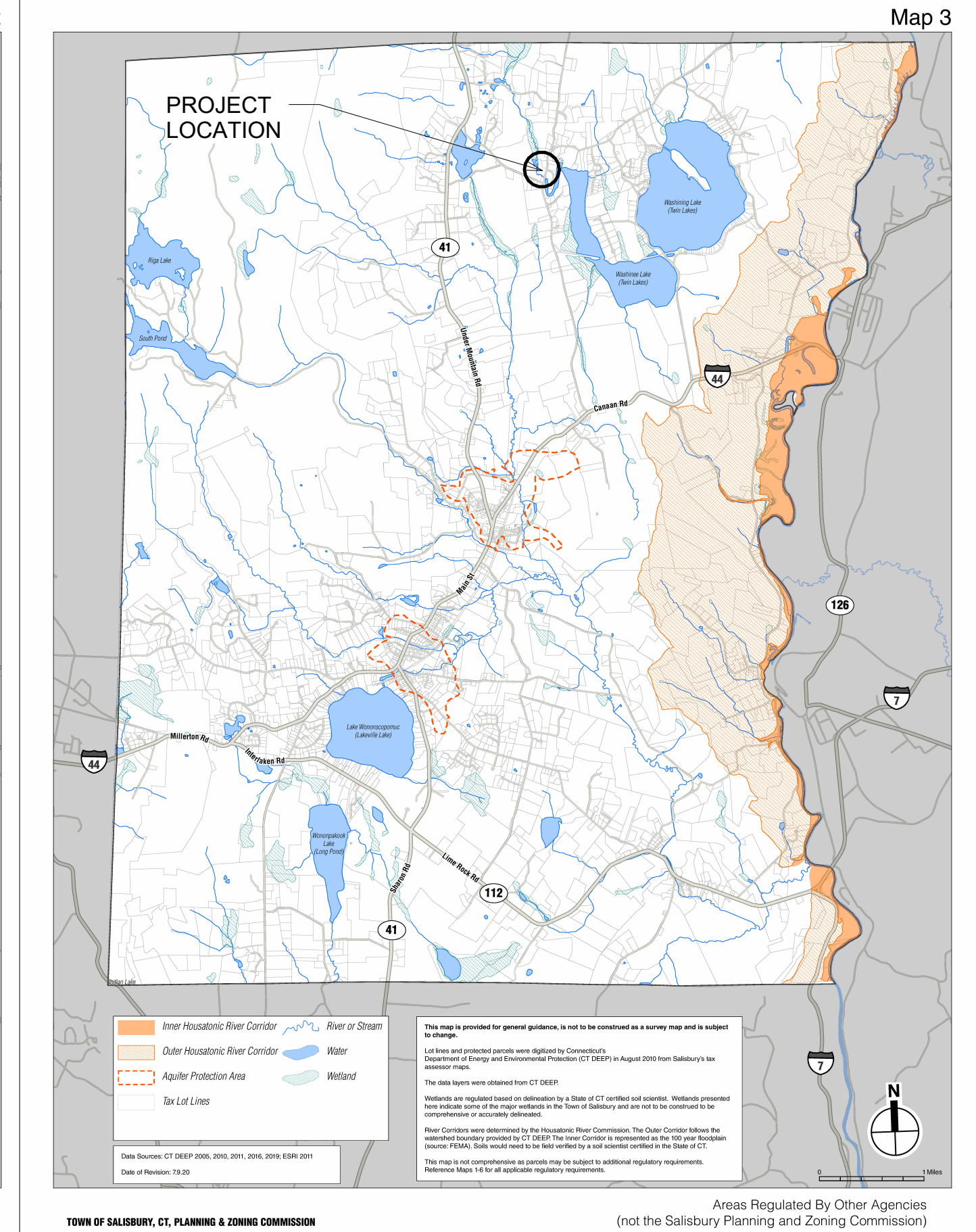
ZONING MAP



ZONING OVERLAY DISTRICTS



AREAS REGULATED BY OTHER AGENCIES



264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA
 Bowerbird Architects, PLLC
 124 9th St. Suite 250
 Brooklyn NY 11215
 Tel: 917.447.7855

Owner
 AREK FEREDJIAN & ELINA TUNYAN

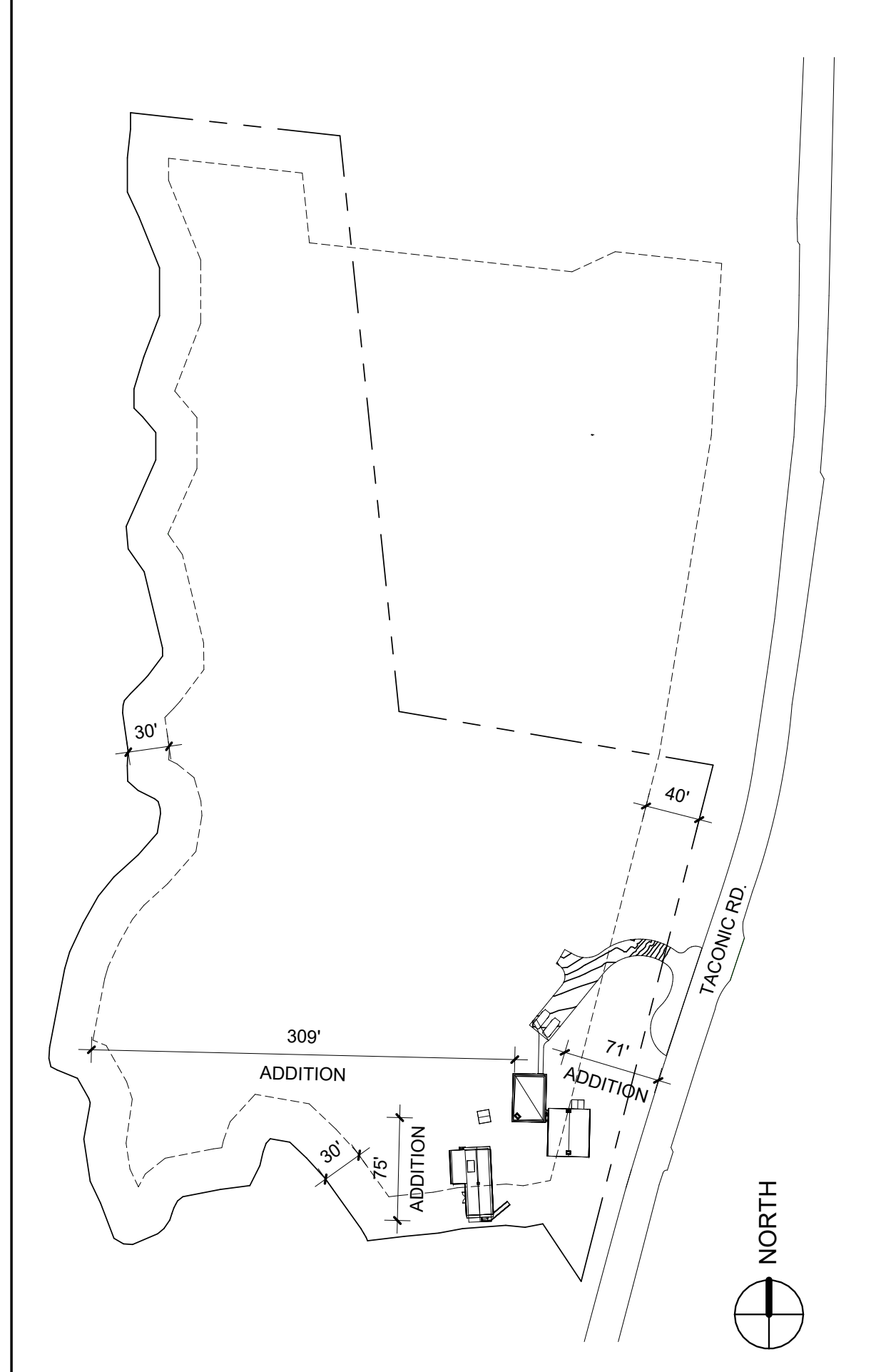
Structural Engineer
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 Proper & O'Leary Engineering, dpc
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Window Restoration
 Emily Majer
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 emily@whiteclaykillpreservation.com

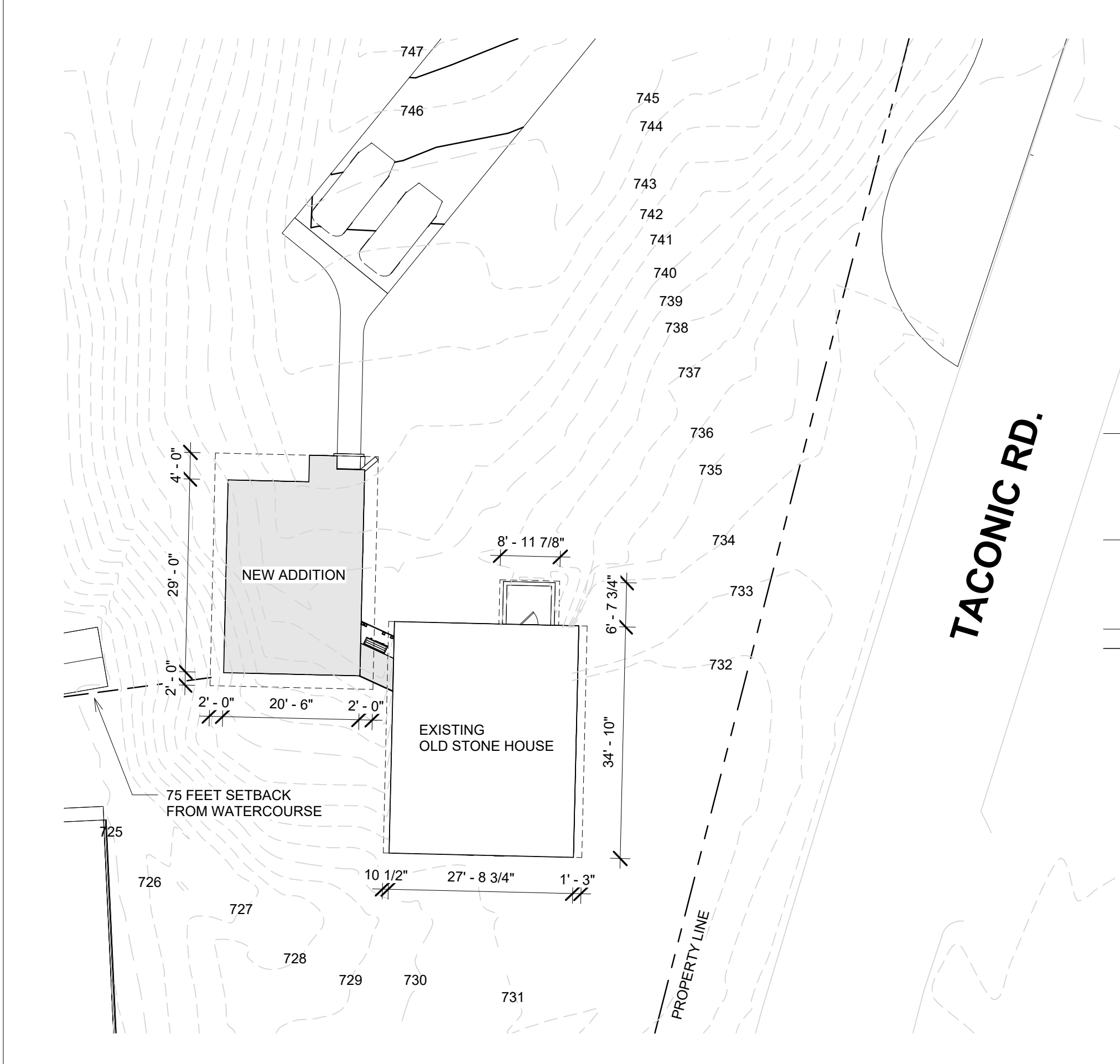
CONSTRUCTION SET
 07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

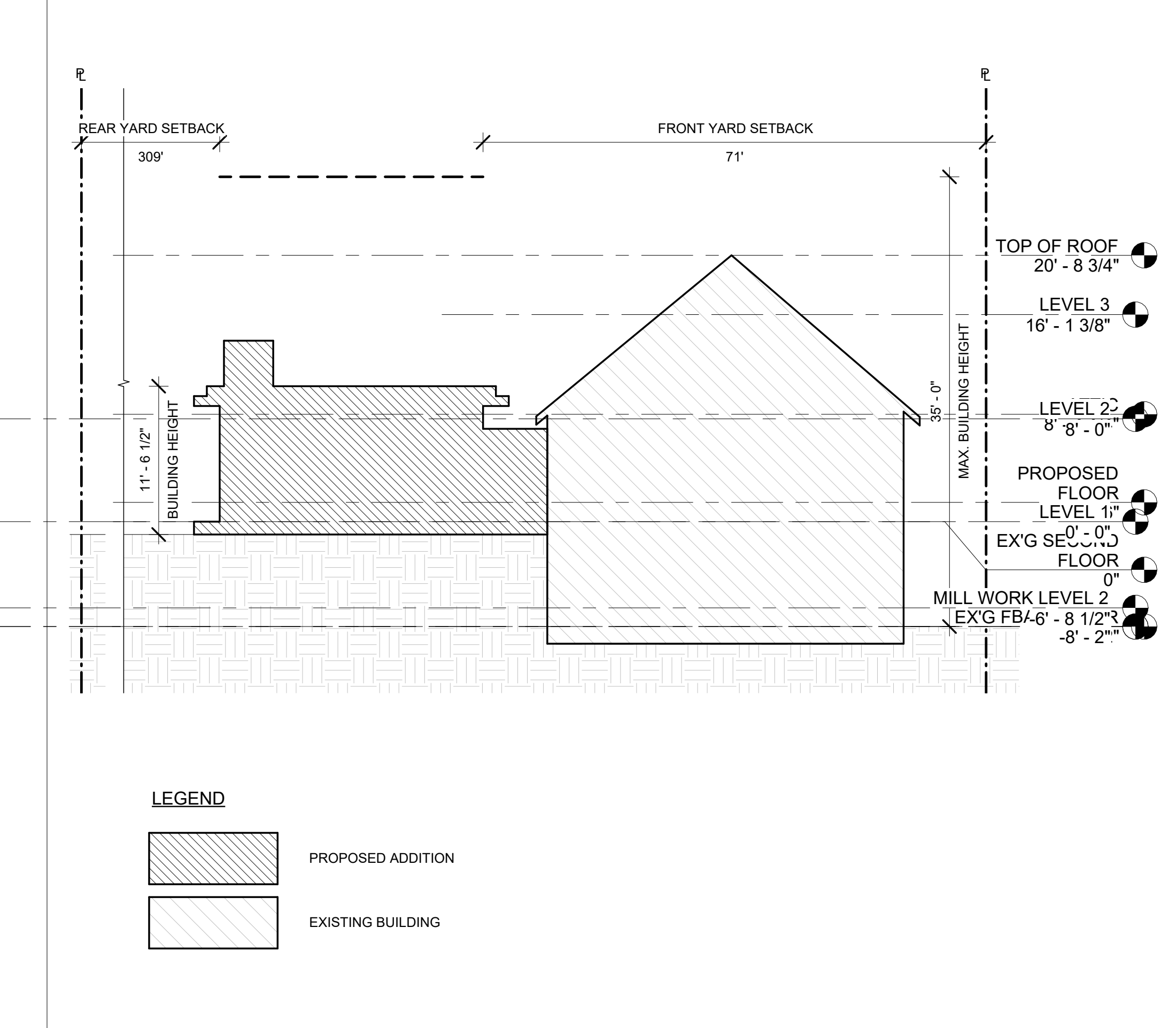
PLOT PLAN SCALE: 1" = 100'



SITE PLAN SCALE 1/16" = 1' - 0"



ZONING DIAGRAM



DATE	REVISION

PROJECT
 264 TACONIC RD.
 SALISBURY, CT 06068

TITLE
 ZONING ANALYSIS

ZONING DISTRICT 000	BLOCK 000
ZONING MAP 000	LOT 000
SEAL & SIGNATURE	DATE 07/12/2024
	JOB NO.: 0141
	SCALE: As indicated
DRAWING NO.: Z100.00	

REGISTERED ARCHITECT
 Daniel Kaplan
 STATE OF NEW YORK

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TABLE R-VALUES

ITEM	R-VALUE
CONCRETE 60 POUNDS PER CUBIC FOOT AT 1" THICKNESS	0.52 PER INCH
CONTINUOUS RIGID POLYSTYRENE (EXTRUDED)	5 PER INCH
CONTINUOUS SEMI-RIGID STONE WOOL	4.3 PER INCH
OPEN CELL SPRAY FOAM INSULATION	3.5 PER INCH
CLOSED CELL SPRAY FOAM INSULATION	6.5 PER INCH
5/8" SHEETROCK FIRECODE C CORE POIL BACKED GYP. BD.	0.45
STUCCO	0.2 PER INCH
5/8" DENSEGLASS SHEATING	0.67
AIR GAP	1

TABLE 2021 IECC

CHAPTER R4 RESIDENTIAL ENERGY EFFICIENCY - CLIMATE ZONE 5

TABLE R402.1.3 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
DETAILS SEE SHEET EN002.00 FOR TYPICAL FLOOR, FOUNDATION AND WALL DETAILS, SEE SHEET A601.00 FOR TYPICAL WINDOW DETAILS

ITEM	ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE VALUE AND CITATION (ZONE)
1	FENESTRATION U-FACTOR	U-0.30	U-0.30 (Zone 5)
2	SKYLIGHT U-FACTOR	U-0.55	U-0.55 (Zone 5)
3	GLAZED FENESTRATION SHGC	0.40	0.40 (Zone 5)
4	CEILING R-VALUE	R-60	R-60 (Zone 5)
5	WOOD FRAME WALL R-VALUE	R-32.5	R-30 OR R-13 + 10ci (Zone 5)
6	MASS WALL R-VALUE	N/A	R-13 / 17 (Zone 5)
7	FLOOR R-VALUE	N/A	R-30 (Zone 5)
8	BASEMENT WALL R-VALUE	N/A	R-15ci (Zone 5)
9	SLAB R-VALUE & DEPTH	R-10ci	R-10ci, 4 FEET (Zone 5)
10	CRAWL SPACE WALL R-VALUE	N/A	R-15ci (Zone 5)
11	PIPE	R-3	R-3 (R403.4)
12	LIGHTING	100% OF LIGHTING FIXTURES TO BE HIGH EFFICIENCY	100% HIGH EFFICIENCY (R404.1)

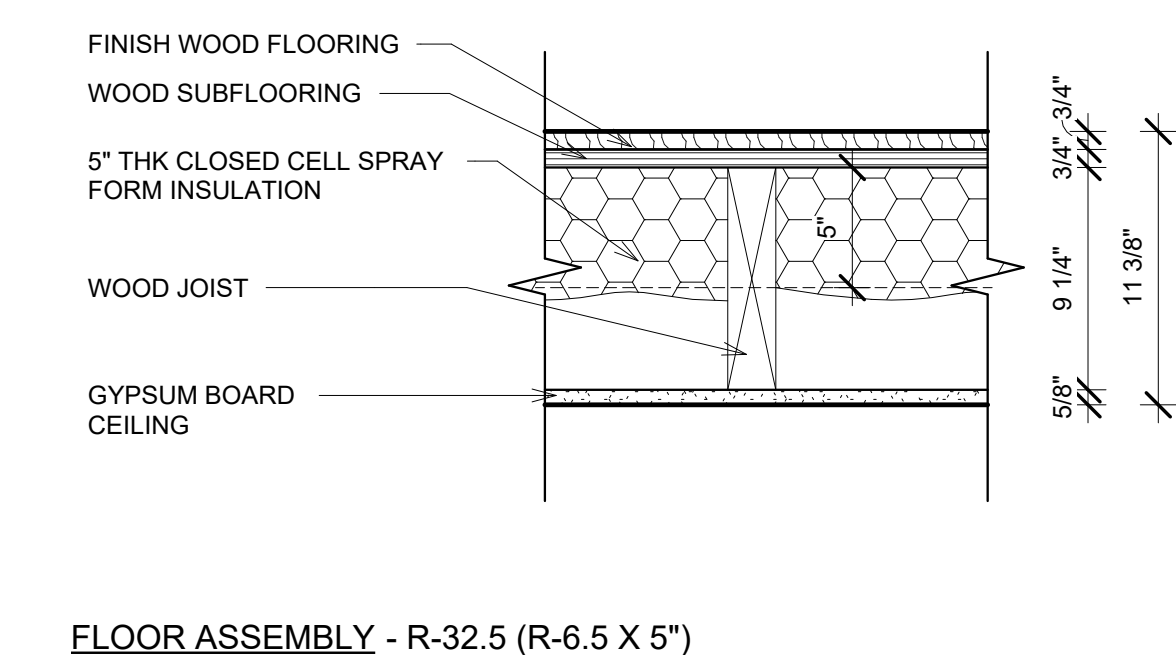
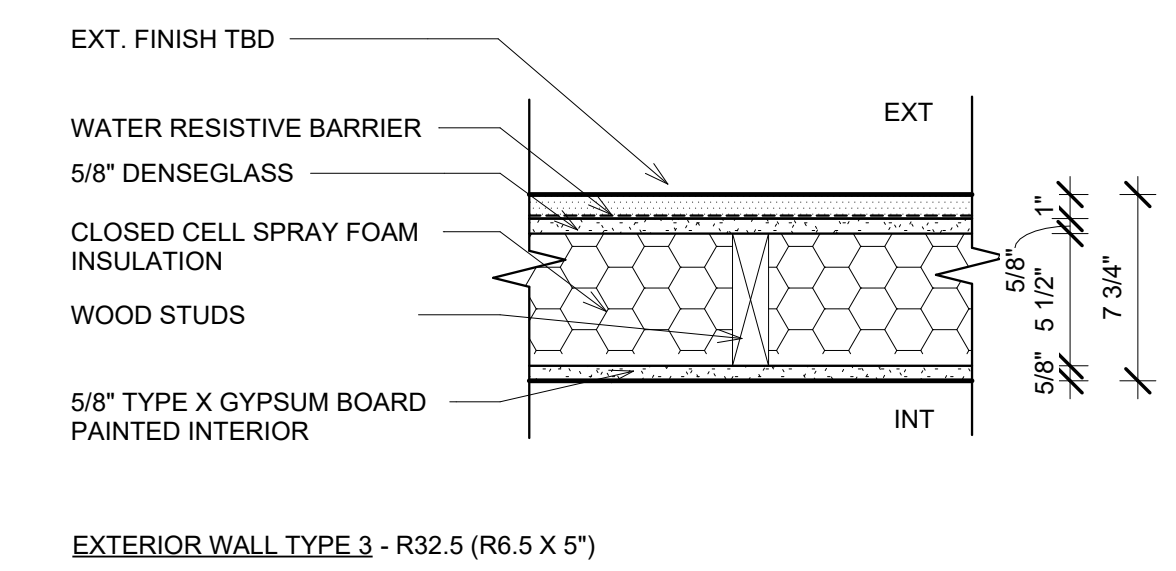
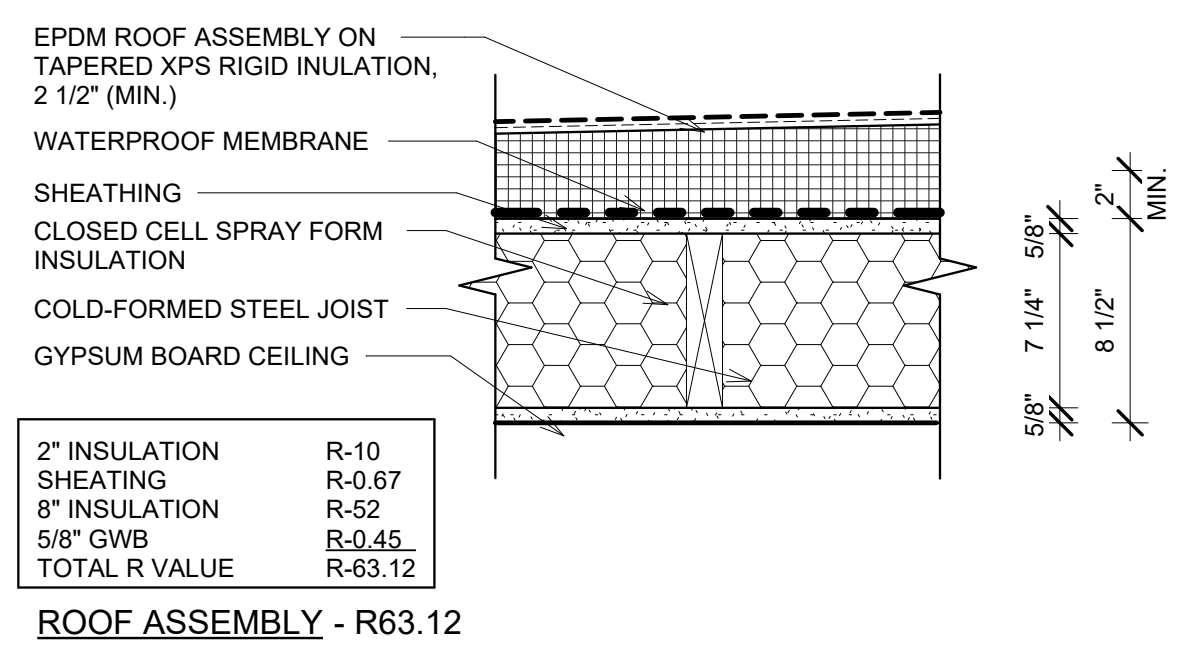
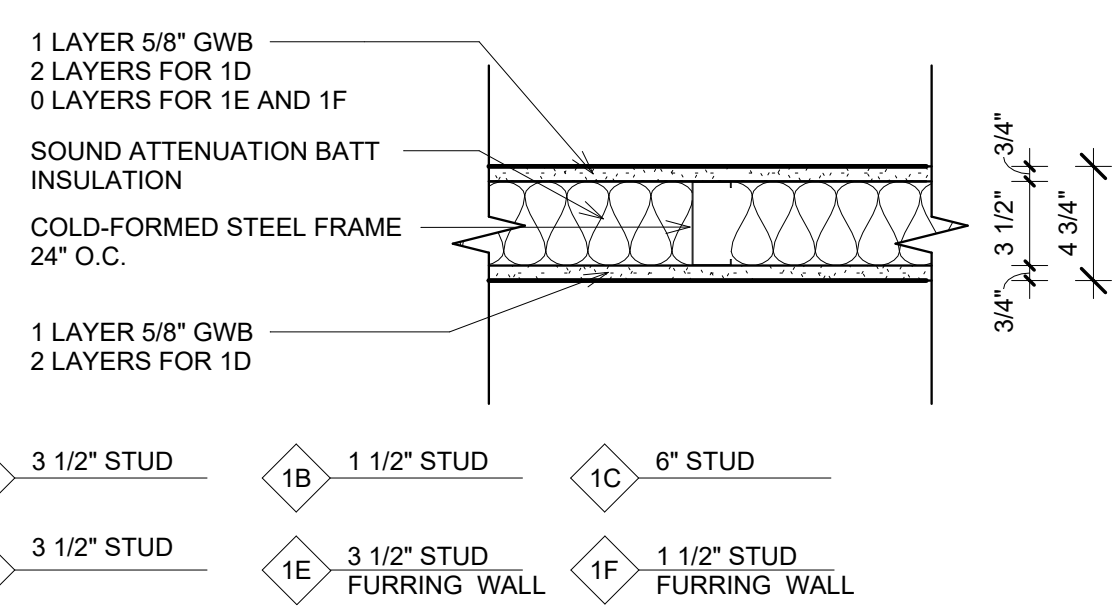
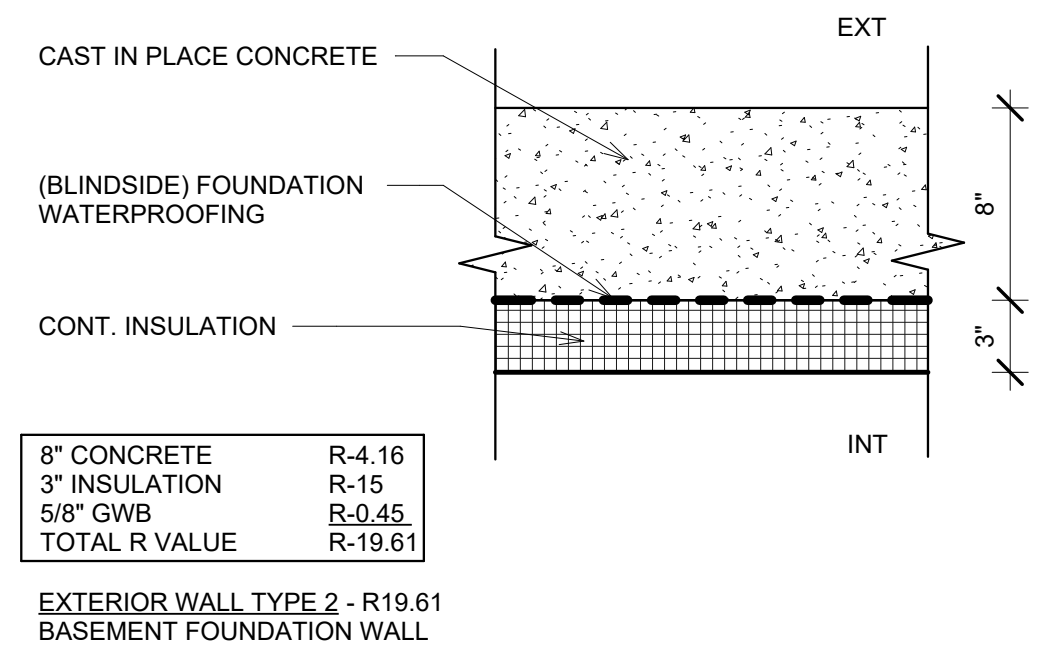
IECC COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE COMPLIANCE WITH 2021 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE, USING CHAPTER 4 [RE].

ENERGY PERFORMANCE NOTES

CODE CITATION	AS SHOWN ON PLAN SET	CODE CITATION	AS SHOWN ON PLAN SET
R401.2 Application Residential Buildings Shall comply with R402.1.5 and R401.2.1		R403.6 Mechanical ventilation The buildings complying with section R402.4.1 shall be provided with ventilation that complies with the requirements of section M1505 of the International Residential Code or International Mechanical Code, as applicable or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating	See proposed ERV on Mechanical plans M101.00-M102.00
R401.2.1 Prescriptive Compliance Option The prescriptive compliance option requires compliance with R401 through R404	See this schedule	R403.7 Equipment sizing and efficiency rating Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.	See HVAC notes on Mechanical Plans M101.00 and M102.00
R401.3 Certificate A permanent certificate shall be completed by the builder and installed at the location indicated on Floor Plan A101.00	See note A101.00	R403.10 Energy consumption of pools and spas The energy consumption of pools and permanent spas shall be controlled by the requirements in section R403.10.1 through R403.10.3	See note on A102.00
R402.1.1 Vapor Retarder Wall assemblies in the building thermal envelope shall comply with the vapor retarder requirements of R702.7 of the international residential code per wall assembly details on EN001.00	See Wall, floor and roof types on sheet EN001.00	R403.5 Lighting Equipment All permanent installed lighting fixtures shall contain only high efficacy lighting sources	Electrical Legend note 4 on E101.00 and E102.00
R402.1.3 R-Value Alternative R-Values and fenestration shall meet the requirements in Table R402.1.3 as specified on this sheet.	See Wall, floor and roof types and table R402.1.3 on sheet EN001.00		
R402.1.5 Additional Energy Efficiency According to section R408.2.2 <i>More efficient HVAC equipment performance option 2a</i> greater or equal to 10HSPF/16SEER air source heat pump is installed	See Mechanical Equipment schedule on M101.00		
R402.2 Specific Insulation Requirements Insulation shall meet specific requirements of Section R402.2.1 through R402.2.12	See construction details on A501.00 - A503.00		
R402.4 Air Leakage The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.4.1 through R402.4.5.	See construction details on A501.00 - A503.00		
R402.4.1.2 Testing The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding three air changes per hour. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals).	THE HOUSE WILL REQUIRE A BLOWN DOOR TEST AT COMPLETION OF WORK		
R402.4.3 Fenestration Air Leakage Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m ²), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m ²), when tested according to NFRC 400 or AAMA/WDMA/CSA 1011.S.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.	See note on A601.00		
R403.1 Controls At least one thermostat shall be provided for each separate heating and cooling system.	See mechanical plans on M101.00 and M101.00		
R403.1.1 Programmable Thermostat The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day and different days of the week. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).	See notes about smart thermostat on mechanical plans on M101.00 and M102.00		
R403.1.2 Heat Pump Supplementary Heat Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.	No electric resistance heat proposed. See note 7 on Mechanical Plans M101.00 and M102.00		
R403.2 Hot water boiler temperature reset The manufacturer shall equip each gas, oil and electric boiler (other than a boiler equipped with a tankless domestic water heating coil) with automatic means of adjusting the water temperature supplied by the boiler to ensure incremental change of the inferred heat load will cause an incremental change in temperature of the water supplied by the boiler. This can be accomplished with outdoor reset, indoor reset or water temperature sensing.	See note on P101.00		
R403.3 Ducts Ducts and air handlers shall be installed in accordance with sections R402.3.1 through R403.3.7	See HVAC notes on Mechanical Plans M101.00 and M102.00		
R403.4 Mechanical System Piping Insulation Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.	See HVAC notes on Mechanical Plans M101.00 and M102.00		
R403.5 Service Hot Water Systems Energy conservation measures for service hot water systems shall be in accordance with Sections R403.5.1. through R403.5.3	See water riser diagram on P101.00 and plumbing notes on P102.00		

WALL, FLOOR AND ROOF TYPES



264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

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Bowerbird Architects, PLLC
124 9th St. Suite 250
Brooklyn NY 11215
Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Structural Engineer

Melissa A. O'Leary, PE
Proper & O'Leary Engineering, dpc
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Window Restoration

Emily Majer
White Clay Kill Preservation, LLC
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Tivoli, NY 12583
Tel: 845.757.5525
emily@whiteclaykillpreservation.com

CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

ENERGY CODE REQUIREMENTS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	As indicated
		DRAWING NO.:	

EN001.00

CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

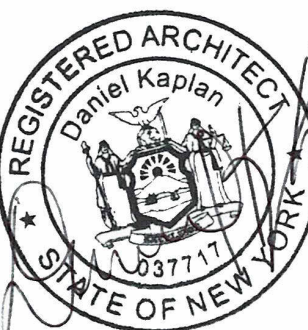
PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

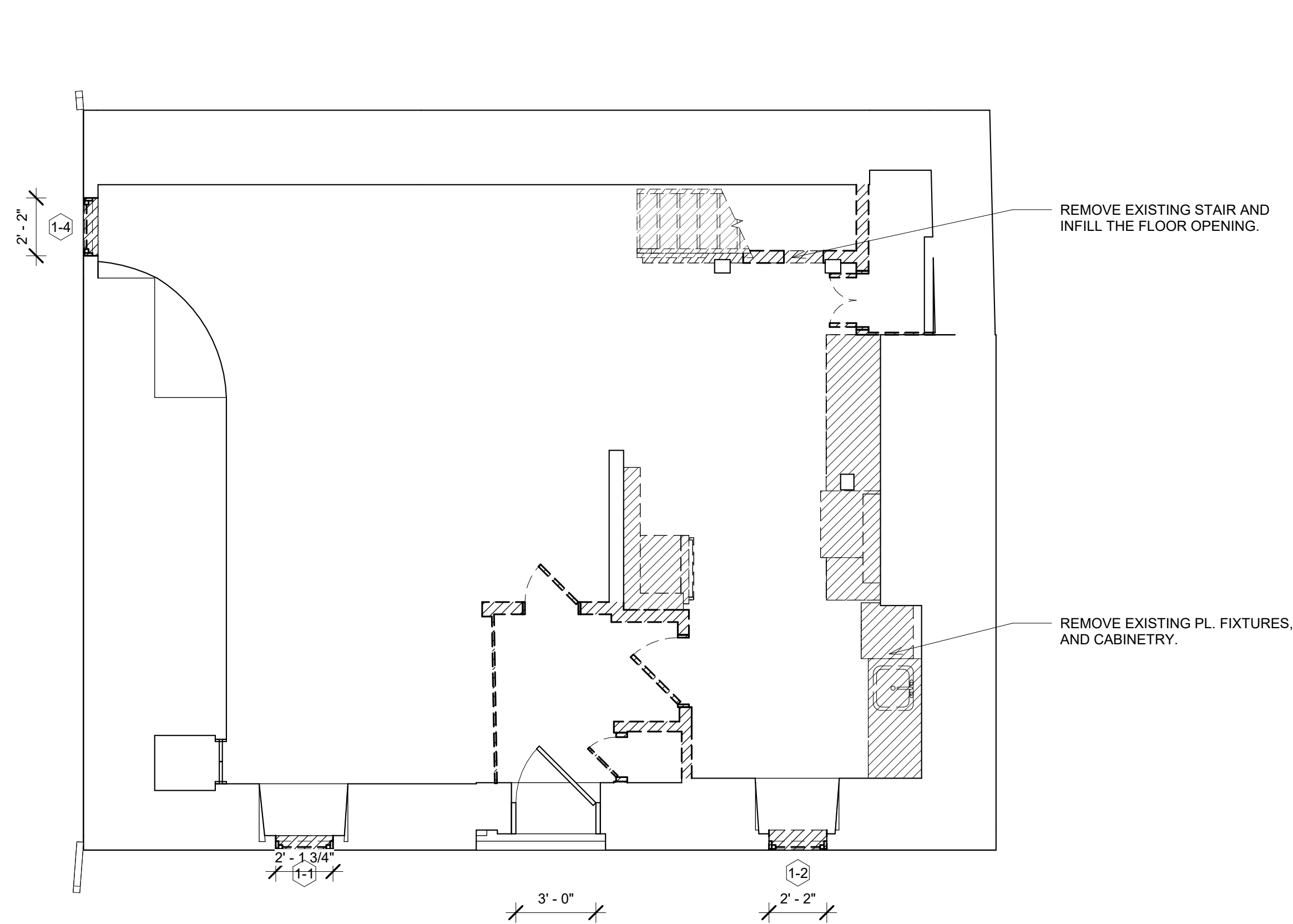
TITLE

DEMO PLANS

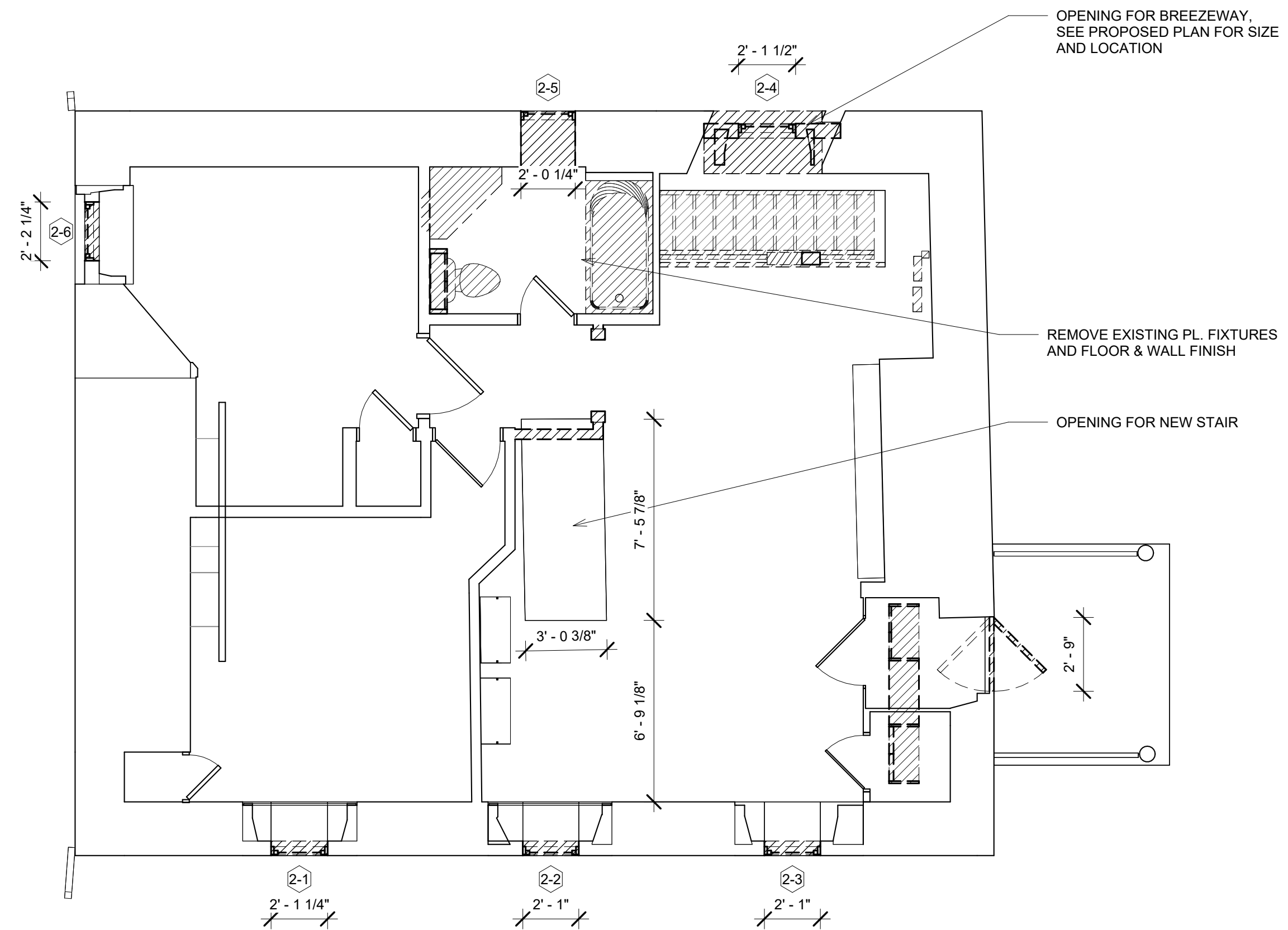
ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	



DM101.00



NORTH ① DEMO PLAN - FIRST FLOOR
1/4" = 1'-0"



NORTH ② DEMO PLAN - SECOND FLOOR
1/4" = 1'-0"

NOTE:

- REMOVE EXISTING PARTITIONS, DOORS, FLOORING, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENTS, CASEMENT, STAIRS AND ETC., AS INDICATED.
- ALL WINDOWS TO BE REPLACED
- ALL EXISTING FLOOR JOIST FRAMING WILL BE REMAIN UNLESS MINOR PLACEMENT IF REQUIRED DURING CONSTRUCTION

LEGEND:

- ▭ EXISTING TO REMAIN
- ▨ TO BE DEMOLISHED

700.3 STANDARDS FOR DRIVEWAY DESIGN AND CONSTRUCTION.

A. DRIVEWAY CORRIDORS SHALL BE LOCATED TO FOLLOW THE EXISTING CONTOURS TO THE MAXIMUM EXTENT POSSIBLE, IN ORDER TO MINIMIZE DISTURBANCE AND EROSION AND TO AVOID WETLANDS AND WATERCOURSES.

B. DRIVEWAY INTERSECTIONS WITH A TOWN STREET OR STATE HIGHWAY SHALL BE PLANNED FOR SAFETY AND TO MINIMIZE CONFLICT WITH VEHICULAR TRAVEL ON THE PUBLIC ROADWAY.

C. THE DRIVEWAY DRAINAGE PLAN SHALL BE DESIGNED TO SHED WATER ALONG THE LENGTH OF THE DRIVEWAY SIDE SLOPES AND TO AVOID CONCENTRATION OF WATER RUNOFF ONTO EXISTING OR PROPOSED STREETS, STREET RIGHTS OF WAY AND ADJOINING PROPERTY.

D. CROWNED DRIVEWAYS ARE ENCOURAGED AND DRIVEWAY CURBING IS DISCOURAGED.

E. DRIVEWAY GRADING SHALL BE AS FOLLOWS:

- THE MAXIMUM DRIVEWAY GRADE FOR THE FIRST 100 FEET BEYOND THE TOWN OR STATE RIGHT OF WAY SHALL BE 12%.
- THE MAXIMUM DRIVEWAY GRADE SHALL BE 18%.
- ANY SEGMENT WITH A GRADE OVER 15%, OR ALL SEGMENTS OF A DRIVEWAY ADDED TOGETHER WITH A GRADE OVER 15%, SHALL NOT EXCEED 10% OF THE TOTAL DRIVEWAY LENGTH.
- A PROPOSED DRIVEWAY WITH A GRADE OVER 15% SHALL REQUIRE SUBMISSION OF A SITE PLAN, MEETING THE REQUIREMENTS OF THESE REGULATIONS.

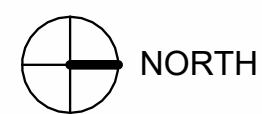
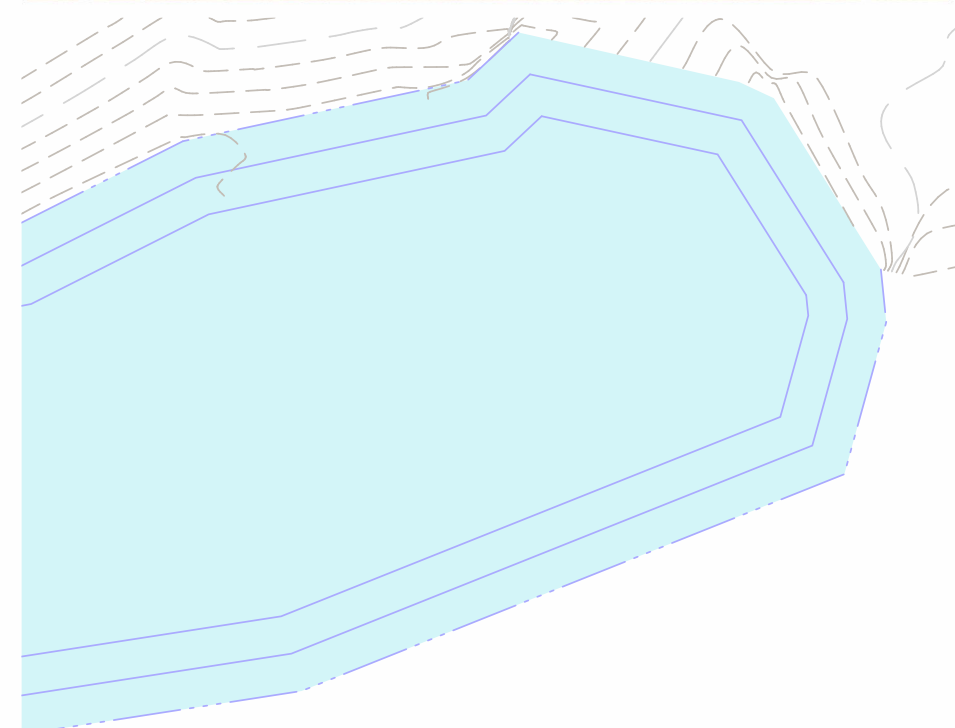
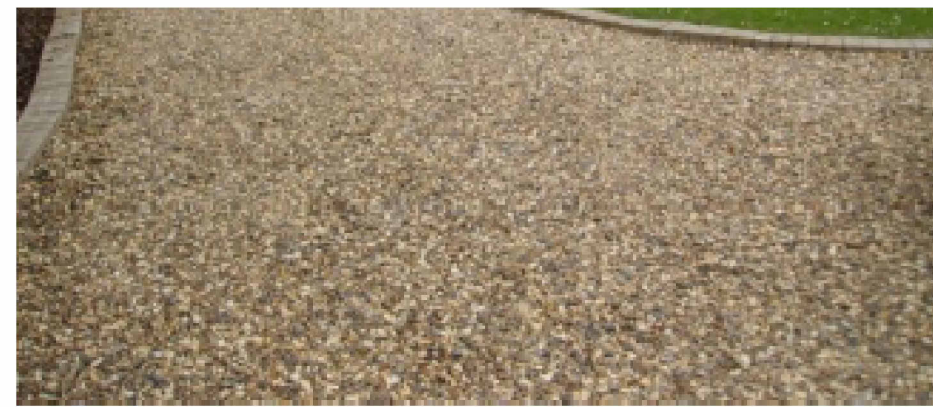
F. DRIVEWAY LENGTH SHALL BE MEASURED FROM THE INTERSECTION OF THE DRIVEWAY AT THE STREET RIGHT OF WAY LINE TO THE DRIVEWAY TERMINUS.

G. THE LENGTH OF ANY GRADE OVER 15% SHALL BE PAVED, HOWEVER, A COMPARABLE SURFACING MAY BE APPROVED SUBJECT TO REVIEW AND RECOMMENDATION OF THE COMMISSION'S DESIGNATED ENGINEER.

H. THE COMMISSION MAY REQUIRE SUBMISSION OF AN AS BUILT SURVEY WHERE IT DETERMINES SUCH IS NEEDED TO DOCUMENT THE FINAL GRADE, LOCATIONS OF DRAINAGE IMPROVEMENTS OR OTHER ELEMENTS OF THE APPROVED DRIVEWAY PLAN.

264 TACONIC RD - DRIVEWAY COMPOSITION

THE DRIVEWAY SHALL BE BUILT UP FROM CRUSHED STONE AND TOPPED WITH 3 INCHES OF 3/8 IN. YELLOW PEA GRAVEL



① SITE PLAN
1" = 20'-0"



② VIEW FROM STREET
1" = 20'-0"



264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

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Bowerbird Architects, PLLC
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Emily Majer
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Tel: 845.757.5525
emily@whiteclaykillpreservation.com

CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
SITE PLAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE	DATE	07/12/2024	JOB NO.:
	SCALE:	1" = 20'-0"	0141
	DRAWING NO.:		



A100.00

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

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124 9th St. Suite 250
Brooklyn NY 11215
Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Structural Engineer

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Window Restoration

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CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

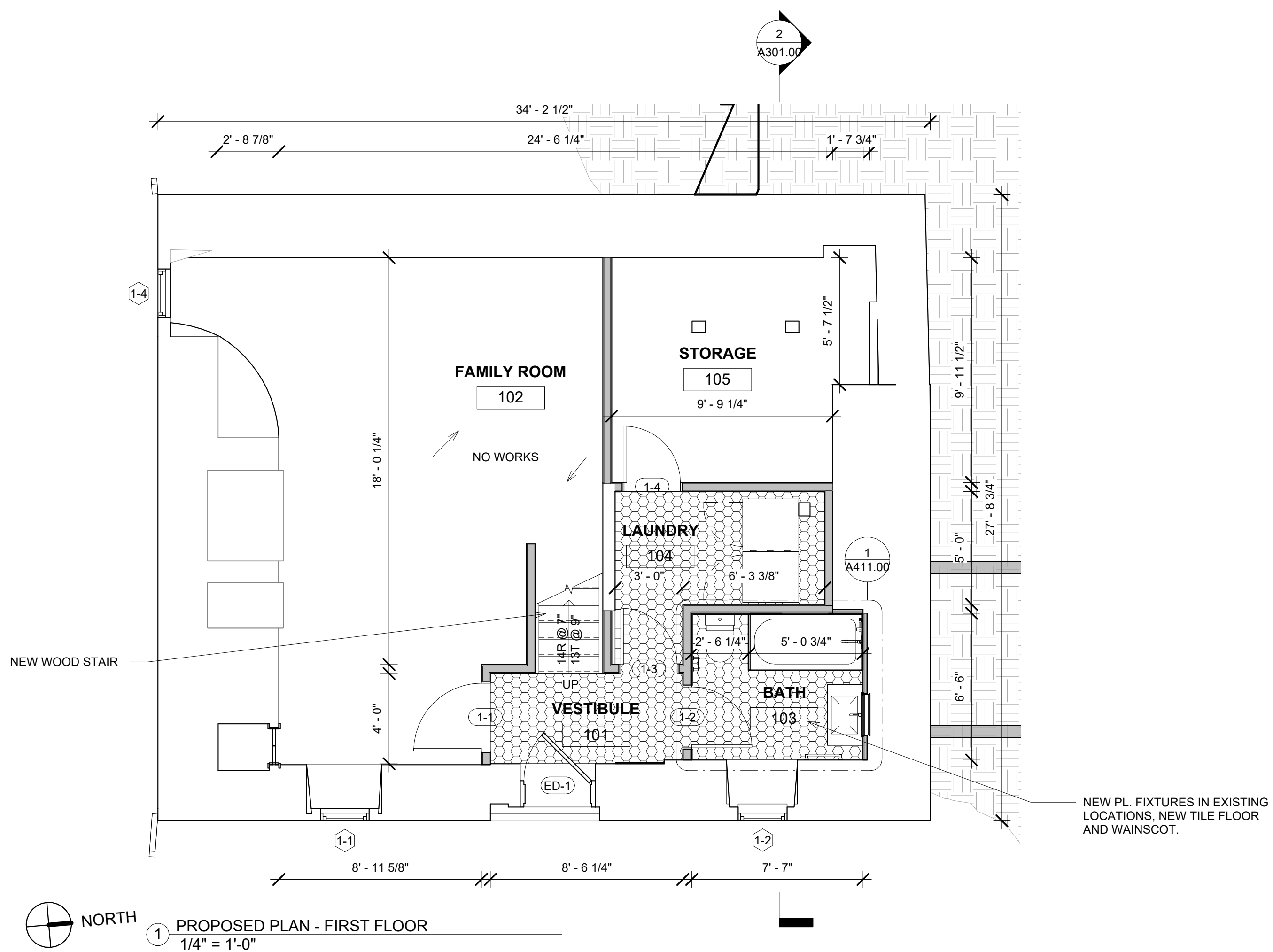
DATE	REVISION

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

FLOOR PLANS - FIRST FLOOR



1 PROPOSED PLAN - FIRST FLOOR
1/4" = 1'-0"

ROOM LIGHT AND AIR SCHEDULE_ FIRST FLOOR									
ROOM NUMBER	ROOM	Area	REQ. LIGHT	PROVIDED LIGHT	LIGHT COMPLIANCE	REQ. AIR	PROVIDED AIR	AIR COMPLIANCE	APP. WINDOWS AND DOOR
EX'G FIRST FLOOR									
102	FAMILY ROOM	324 SF	32 SF	18 SF	No	16 SF	8 SF	No	

LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW TILE FLOOR
- NEW WOOD FLOOR
- NEW CONCRETE FLOOR
- MILLWORK
- STONE COUNTER
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	A101.00

© BOWERBIRD ARCHITECTS 2024 - DO NOT SCALE FROM DRAWINGS

CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

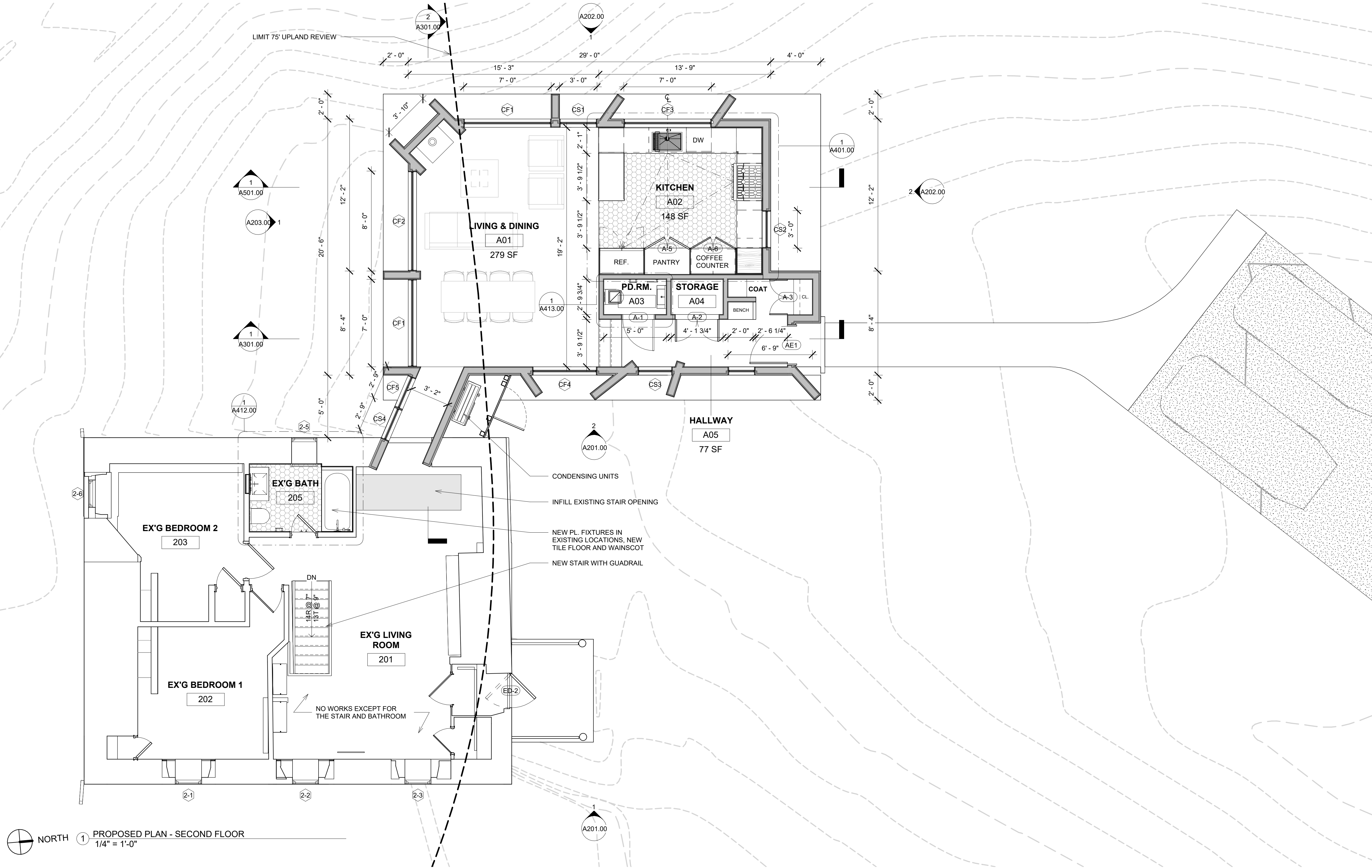
DATE	REVISION

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

FLOOR- AND ROOFPLANS



NORTH 1 PROPOSED PLAN - SECOND FLOOR
1/4" = 1'-0"

ROOM LIGHT AND AIR SCHEDULE, SECOND FLOOR

ROOM NUMBER	ROOM	Area	REQ. LIGHT	PROVIDED LIGHT	LIGHT COMPLIANCE	REQ. AIR	PROVIDED AIR	AIR COMPLIANCE	APP. WINDOWS AND DOOR
EX'G SECOND FLOOR									
201	EX'G LIVING ROOM	357 SF	36 SF			18 SF			
202	EX'G BEDROOM 1	129 SF	13 SF			6 SF			
203	EX'G BEDROOM 2	115 SF	12 SF			6 SF			
A01	LIVING & DINING	279 SF	28 SF			14 SF			
A02	KITCHEN	148 SF	15 SF			7 SF			

LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW TILE FLOOR
- NEW WOOD FLOOR
- NEW CONCRETE FLOOR
- MILLWORK
- STONE COUNTER
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

ZONING DISTRICT 000 BLOCK 000
ZONING MAP 000 LOT 000
SEAL & SIGNATURE DATE 07/12/2024
JOB NO.: 0141
SCALE: 1/4" = 1'-0"
DRAWING NO.: **A102.00**

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

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CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

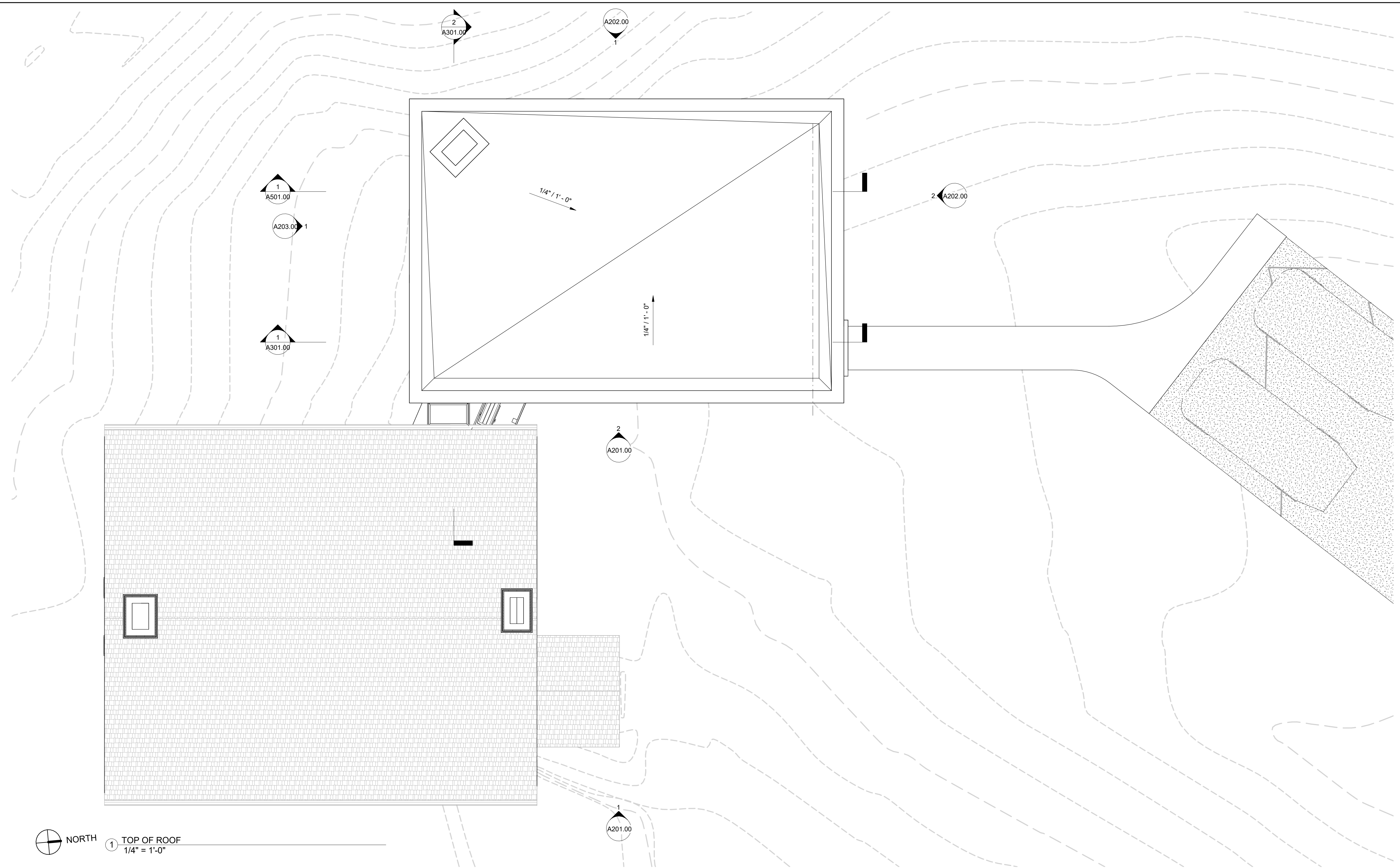
PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

ROOF PLAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	A103.00



NORTH
1 TOP OF ROOF
1/4" = 1'-0"

LEGEND:

- NEW WALL
- CONDITION ABOVE AS NOTED
- NEW TILE FLOOR
- NEW WOOD FLOOR
- NEW CONCRETE FLOOR
- MILLWORK
- STONE COUNTER
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

264 TACONIC RD.

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CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

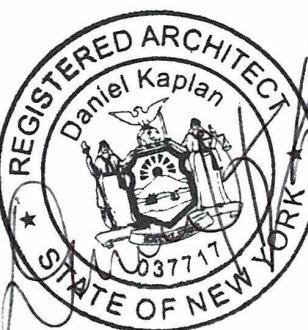
PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

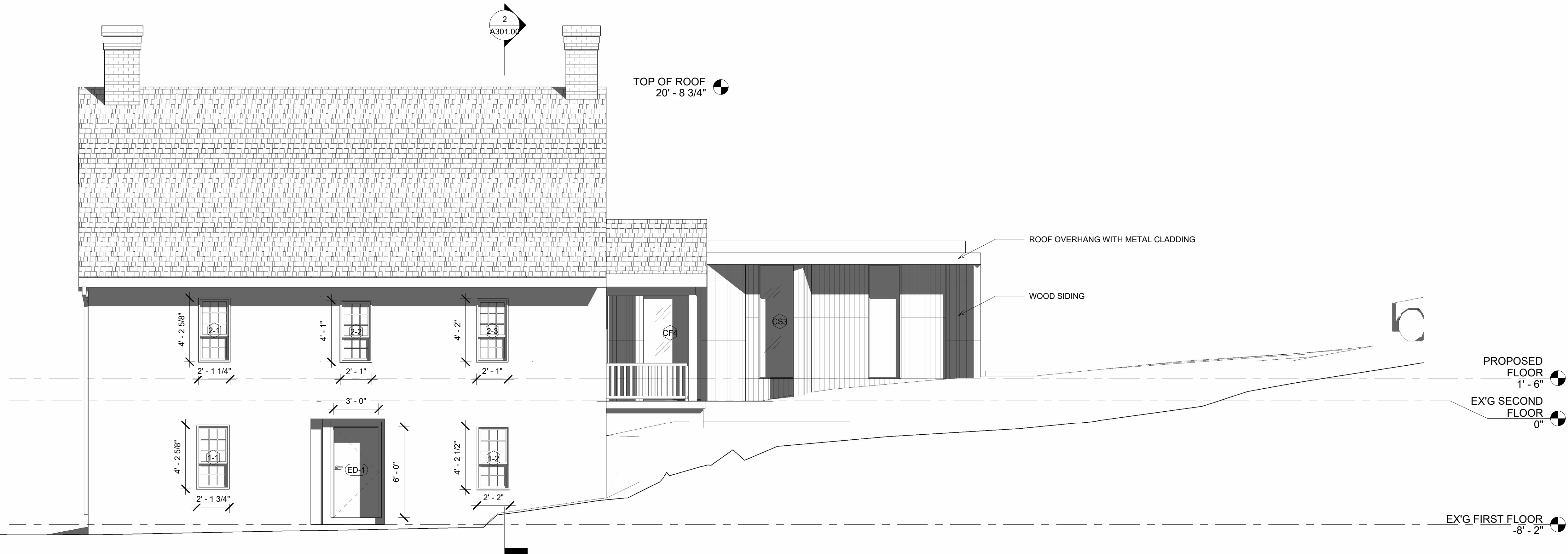
TITLE

BUILDING ELEVATIONS -
FRONT & REAR

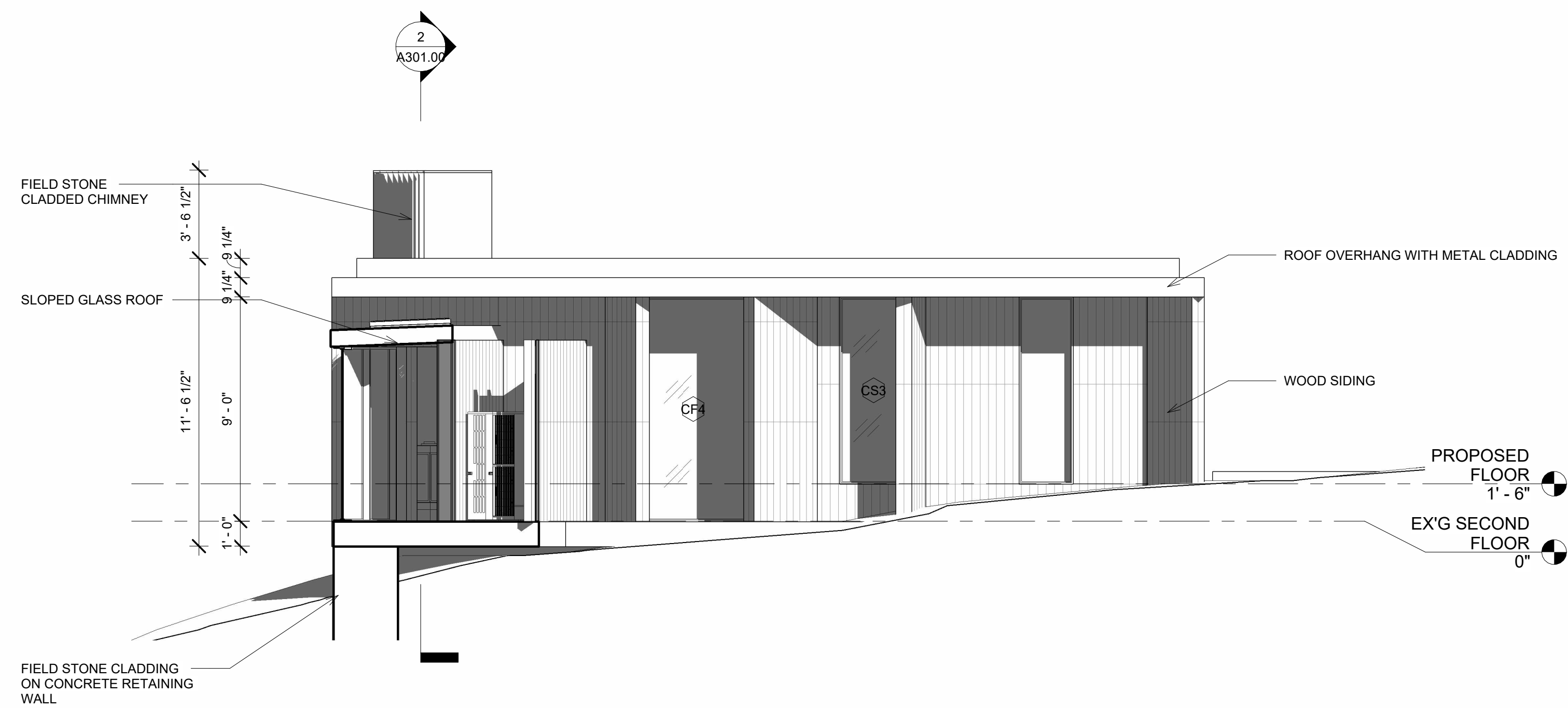
ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	



A201.00



1 EAST ELEVATION 2 - SCHEME 4
1/4" = 1'-0"



2 EAST ELEVATION - SCHEME 4
1/4" = 1'-0"

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CONSTRUCTION SET
07/12/2024

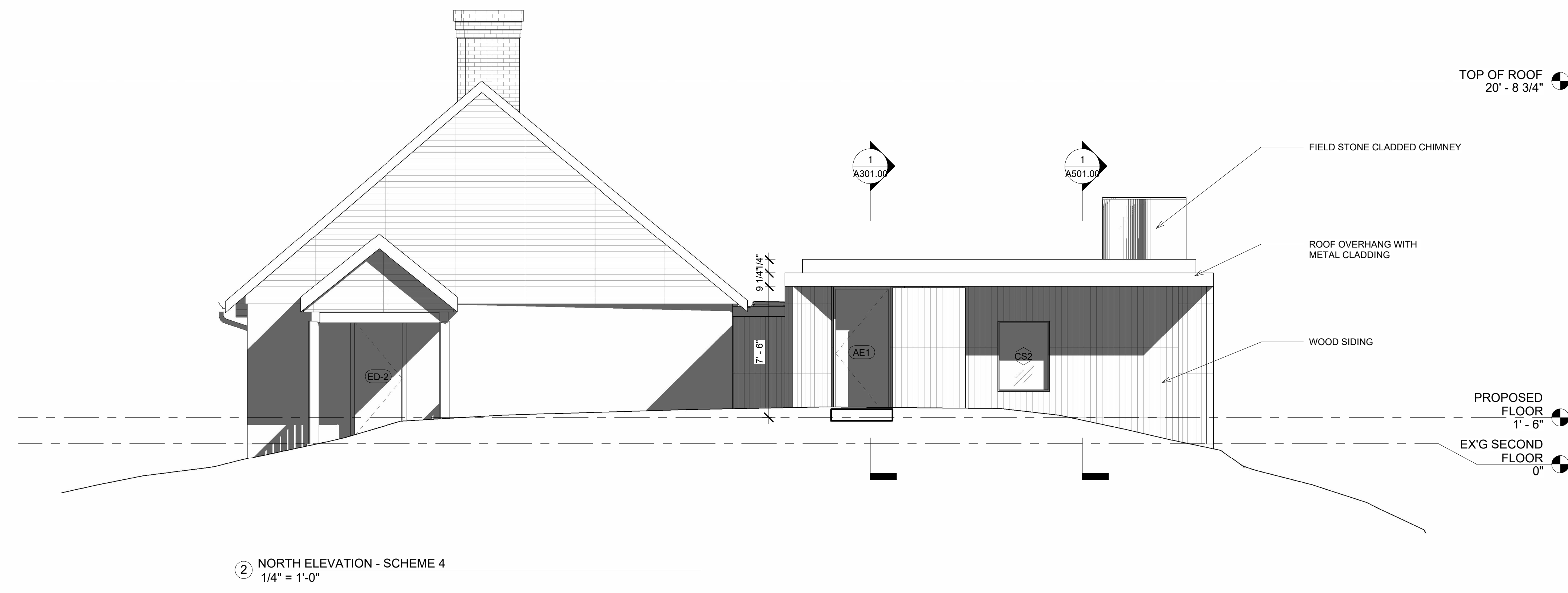
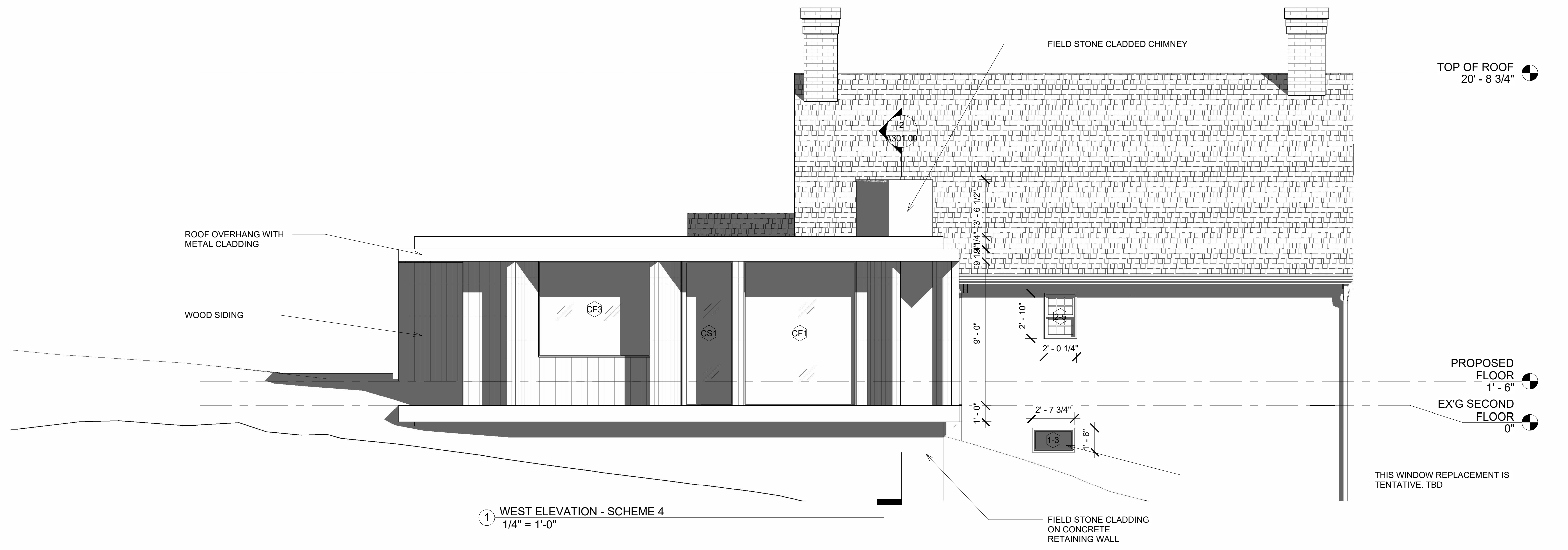
DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
BUILDING ELEVATIONS -
SIDES

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	A202.00



② NORTH ELEVATION - SCHEME 4
1/4" = 1'-0"

① WEST ELEVATION - SCHEME 4
1/4" = 1'-0"

264 TACONIC RD.

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Structural Engineer

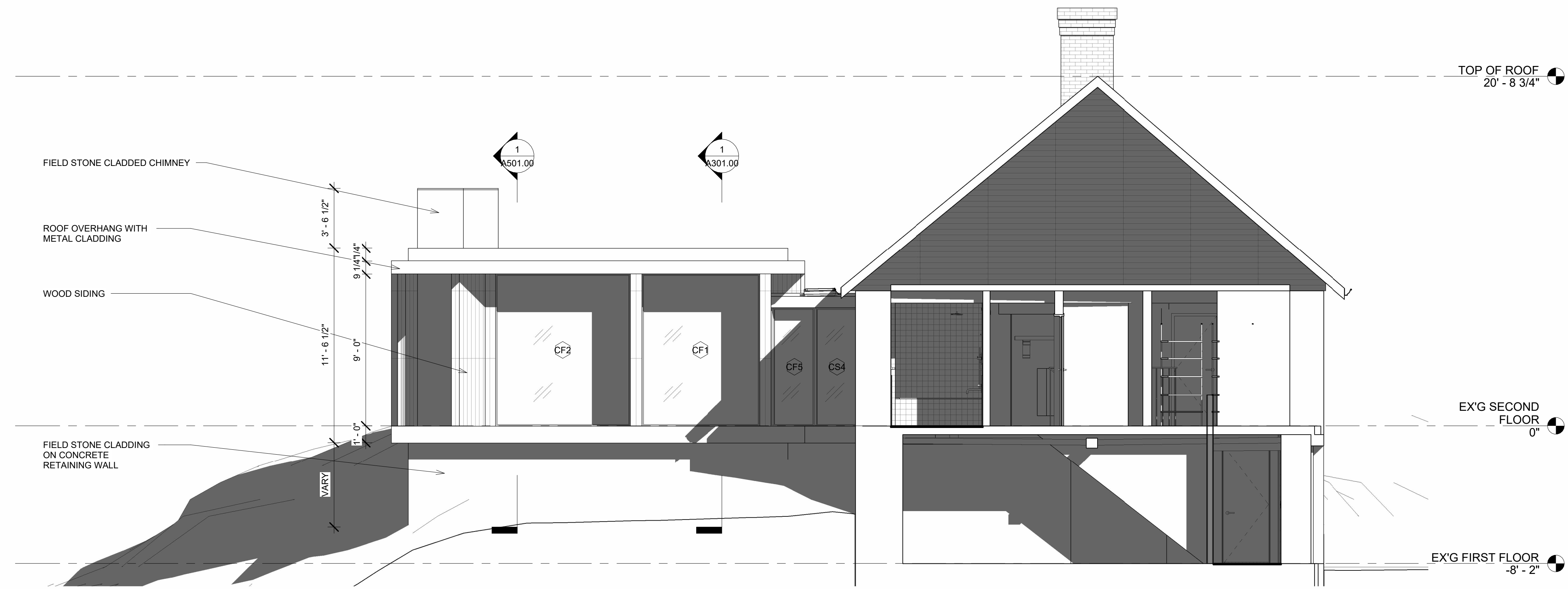
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CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE



① SOUTH ELEVATION - SCHEME 4
1/4" = 1'-0"

DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
BUILDING ELEVATIONS -
SIDES

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE	000	DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	



A203.00

264 TACONIC RD.

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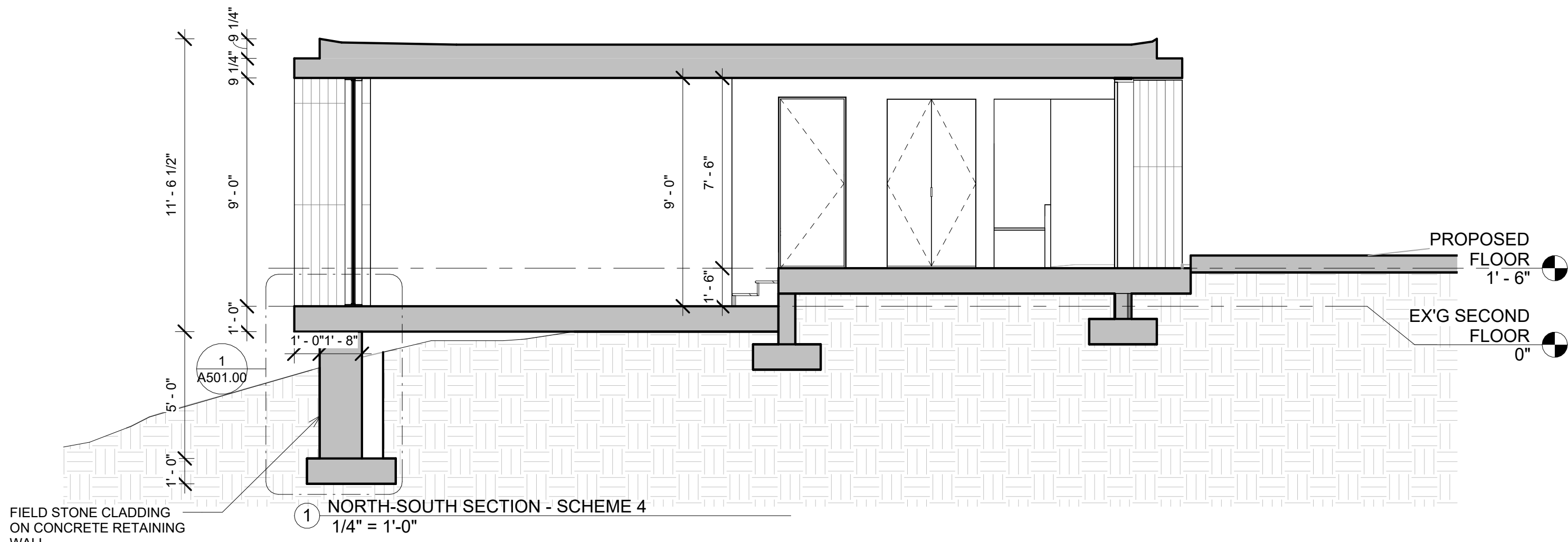
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CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE



FIELD STONE CLADDING ON CONCRETE RETAINING WALL
① NORTH-SOUTH SECTION - SCHEME 4
1/4" = 1'-0"



RAMMED EARTH OR LIMESTONE CLADDING CHIMNEY
RAMMED EARTH OR LIMESTONE CLADDING ON CMU RETAINING WALL
② WEST-EAST SECTION - SCHEME 4
1/4" = 1'-0"

DATE	REVISION

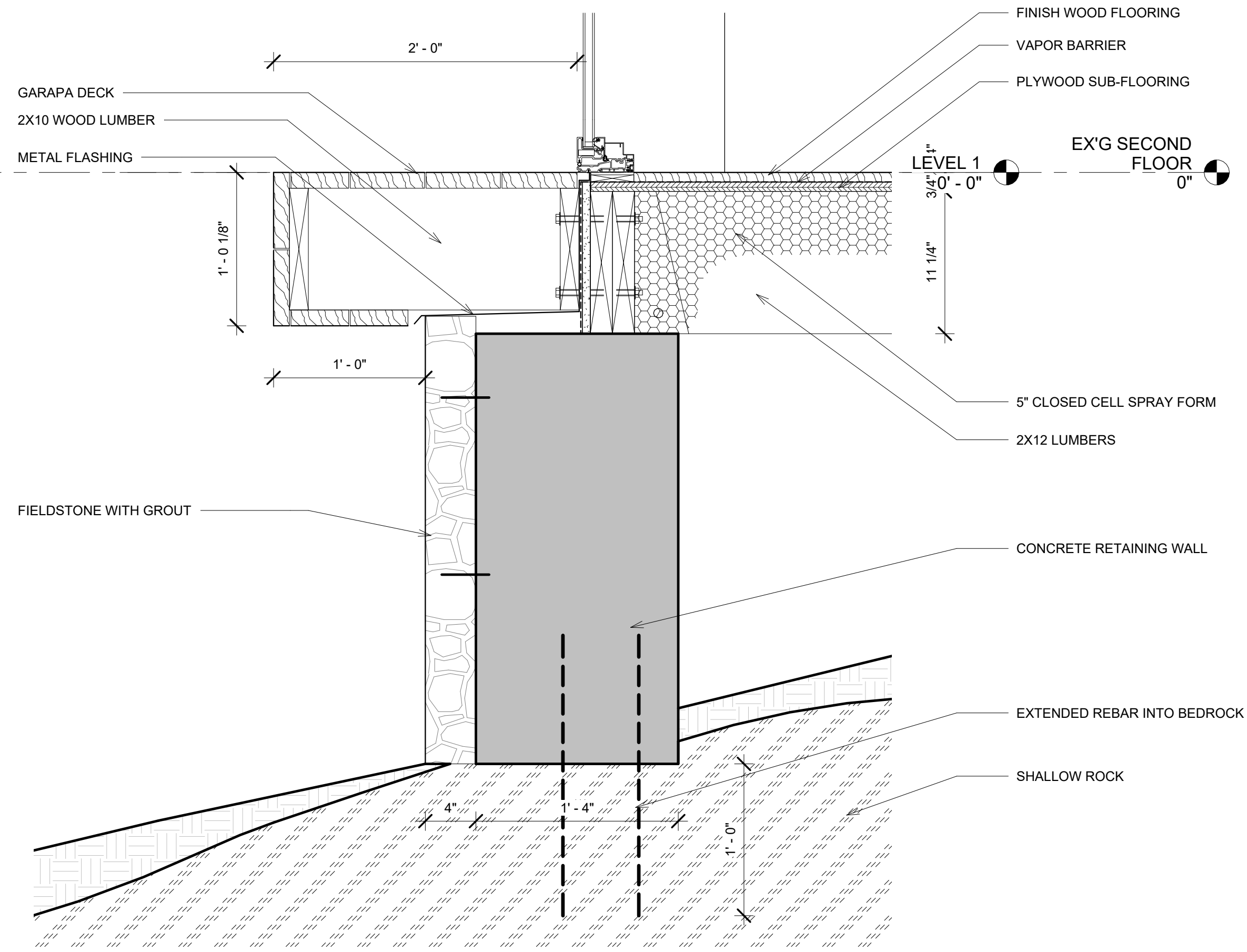
PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
BUILDING SECTIONS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	A301.00



* SEE STRUCTURAL DRAWINGS FOR MORE DETAILS



1 SECTION DETAIL - PLINTH
1 1/2" = 1'-0"

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

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CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
CONSTRUCTION DETAILS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	07/12/2024
		JOB NO.:	0141
		SCALE:	1 1/2" = 1'-0"
		DRAWING NO.:	



A501.00

CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE


DATE	REVISION

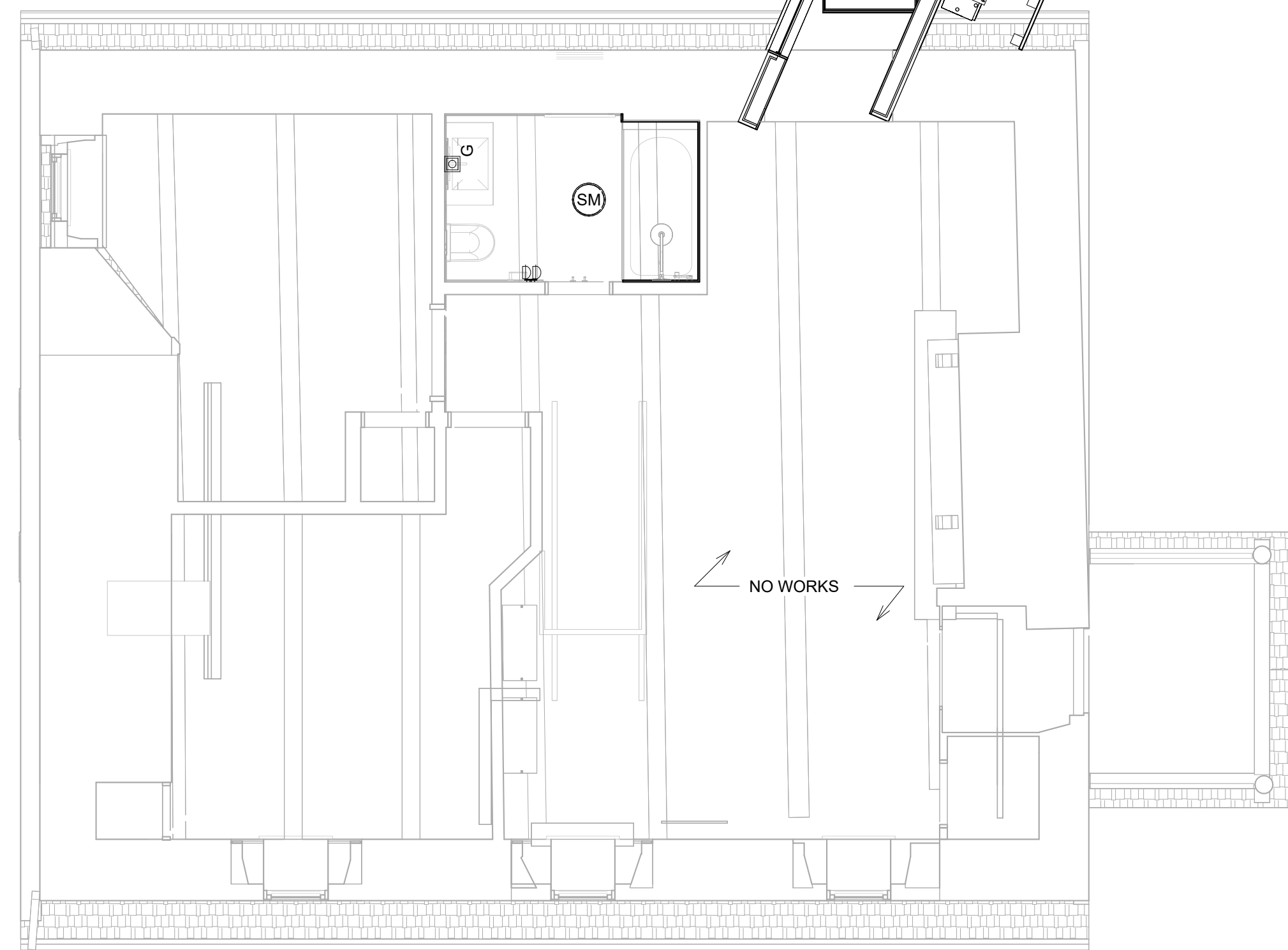
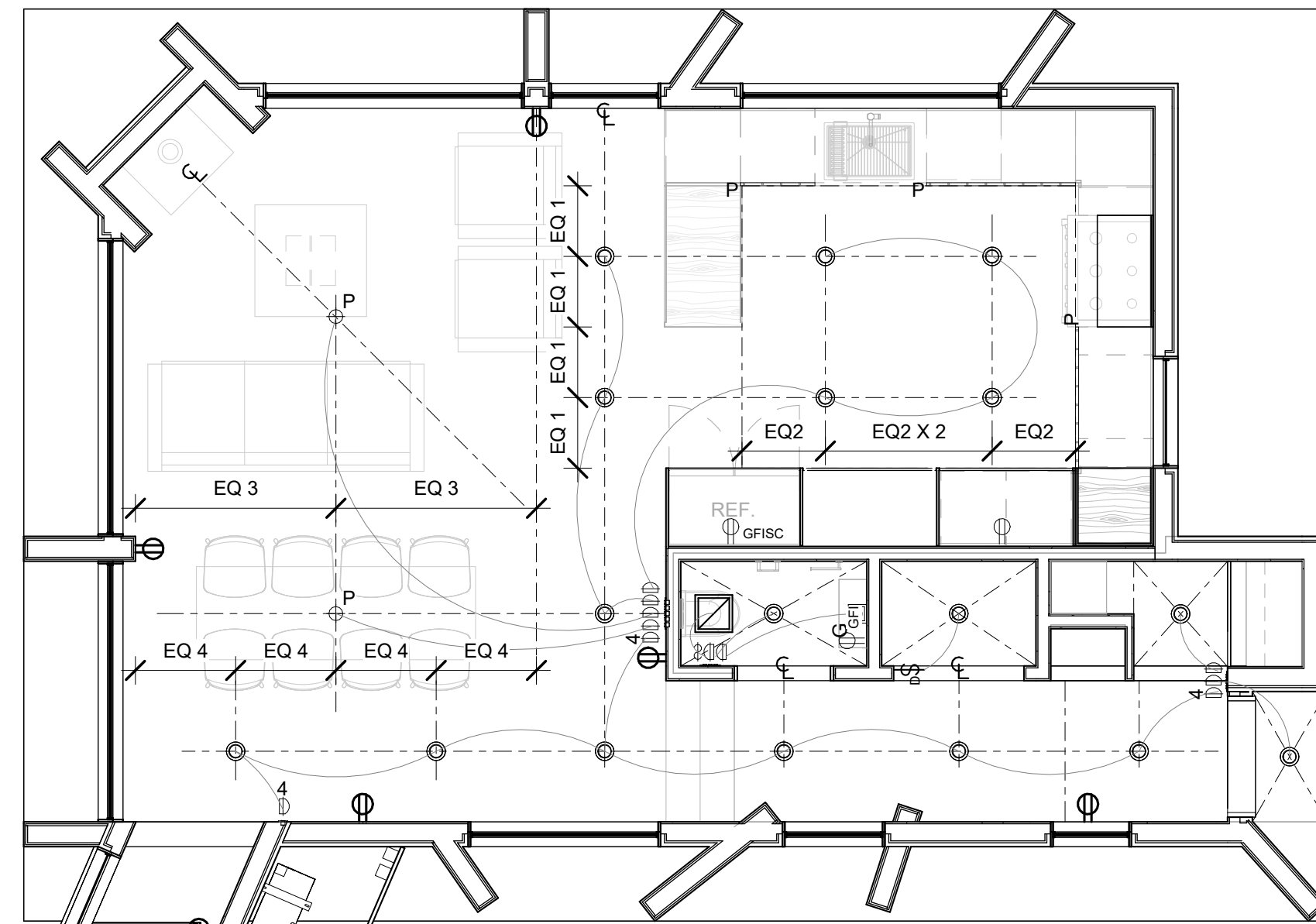
PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

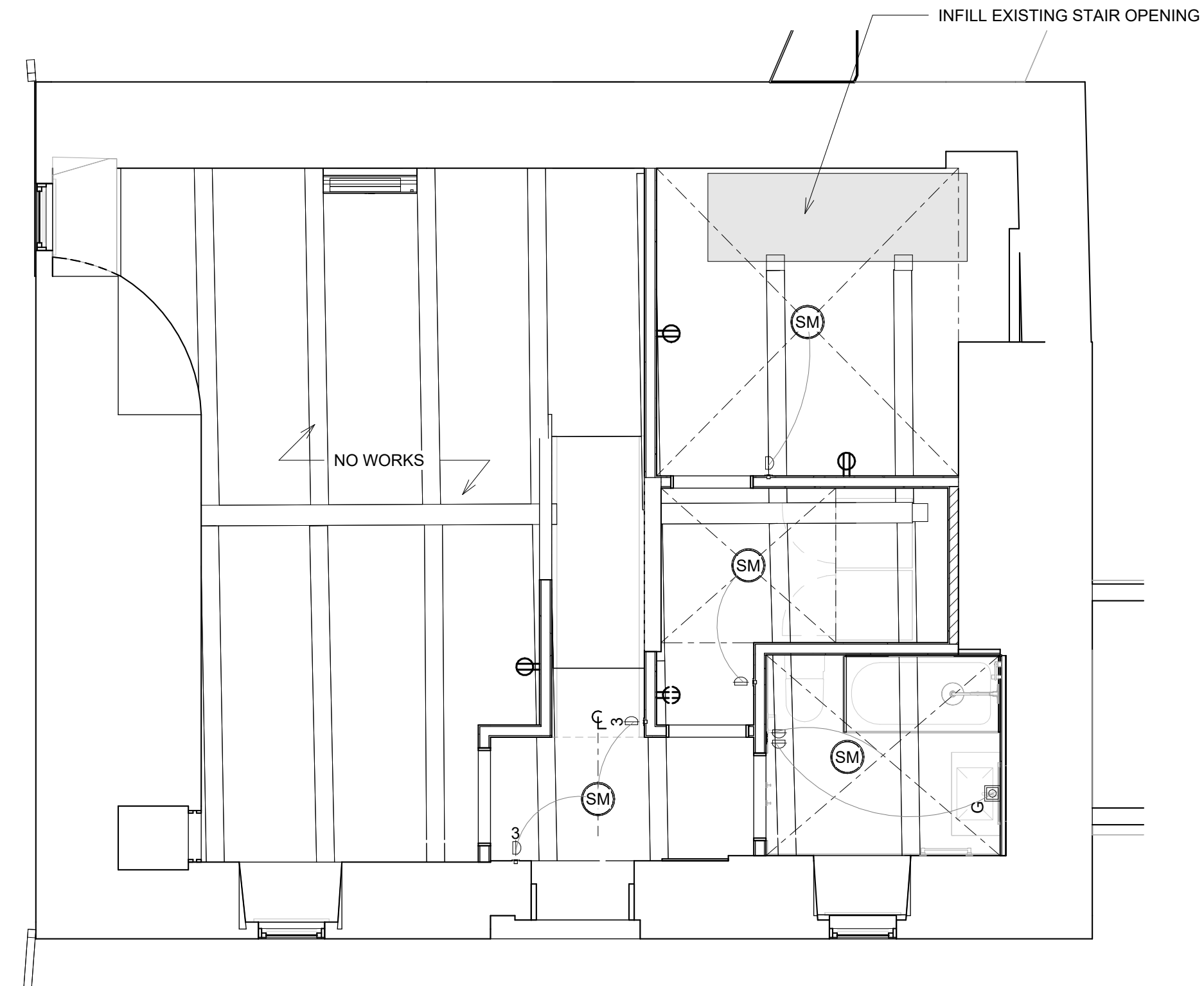
TITLE

RCP AND ELECTRICAL
PLANS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE	DATE	07/12/2024	JOB NO.:
	SCALE:	1/4" = 1'-0"	DRAWING NO.:
			E101.00














NORTH ① PROPOSED RCP - SECOND FLOOR
1/4" = 1'-0"













NORTH ② PROPOSED RCP - FIRST FLOOR
1/4" = 1'-0"

ELECTRICAL LEGEND:


- NOTES:
1. ELECTRICIAN SHALL COMPLY WITH CODE TO ENSURE RECEPTACLES WITH REQUIRED SPACING O.C.
2. ALL WALL MOUNTED RECEPTACLES, INCLUDING BUT NOT LIMITED TO GFI, AND DUPLEX RECEPTACLE BOXES TO BE MOUNTED HORIZONTALLY. SEE INTERIOR ELEVATIONS.
3. ALL WALL SWITCHES, INCLUDING BUT NOT LIMITED TO DIMMERS AND MULTIWAY SWITCHES TO BE MOUNTED VERTICALLY. SEE INTERIOR ELEVATIONS

-  GFI: GROUND FAULT INTERRUPTER RECEPTACLE
-  DUPLEX RECEPTACLE
-  QUAD RECEPTACLE 12" AFF. UNLESS OTHERWISE NOTES
-  SEPARATE CIRCUIT
-  FLOOR RECEPTACLE
-  RECEPTACLE W/USB
-  PLUG MOLD
-  QUAD FLOOR RECEPTACLE
-  EXTERIOR RECEPTACLE 30" AFF GFI IN WP BOX ON SEP. CIRCUIT
-  INTERCOM
-  CABLE JACK

-  DATA JACK
-  SMART THERMOSTAT
-  WALL SWITCH: TWO WAY, THREE WAY, FOUR WAY
-  DIMMER SWITCH: TWO WAY, THREE WAY, FOUR WAY
-  SWITCHED TO DOOR BUCK

-  MOTION-ACTIVATED SWITCH
-  4" RECESSED LIGHT FIXTURE HALO LED MODEL #HLB4069FS1EMWR
-  CEILING MOUNTED LIGHT PENDANT
-  WALL MOUNTED LIGHT FIXTURE
-  SURFACE MOUNTED LIGHT FIXTURE

FIRE PROTECTION LEGEND:

- NOTES:
1. ALL SMOKE AND SMOKE/CARBON MONOXIDE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP MEETING REQUIREMENTS OF NFPA 72, PER NJAC 5:23-632(F) AND IBC 907.2.10.1.2
-  COMBINATION SMOKE & CARBON MONOXIDE DETECTOR (WALL MOUNTED ABOVE DOORS WHEREVER POSSIBLE, U.O.N.)

CONSTRUCTION SET
07/12/2024

DOB EXAMINER - SEAL & SIGNATURE

DATE	REVISION

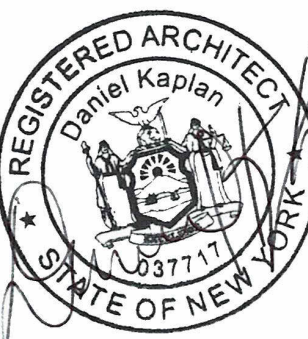
PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

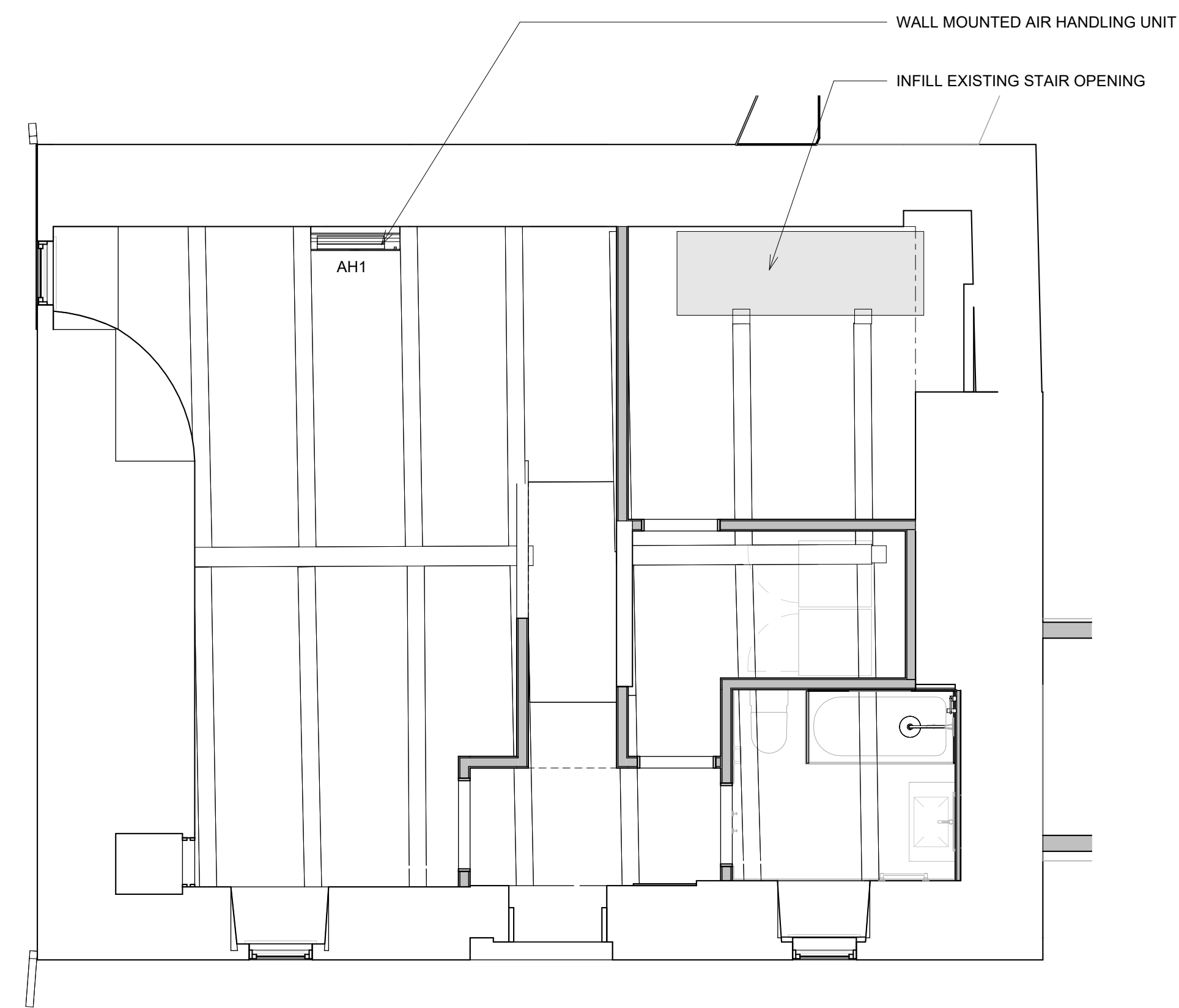
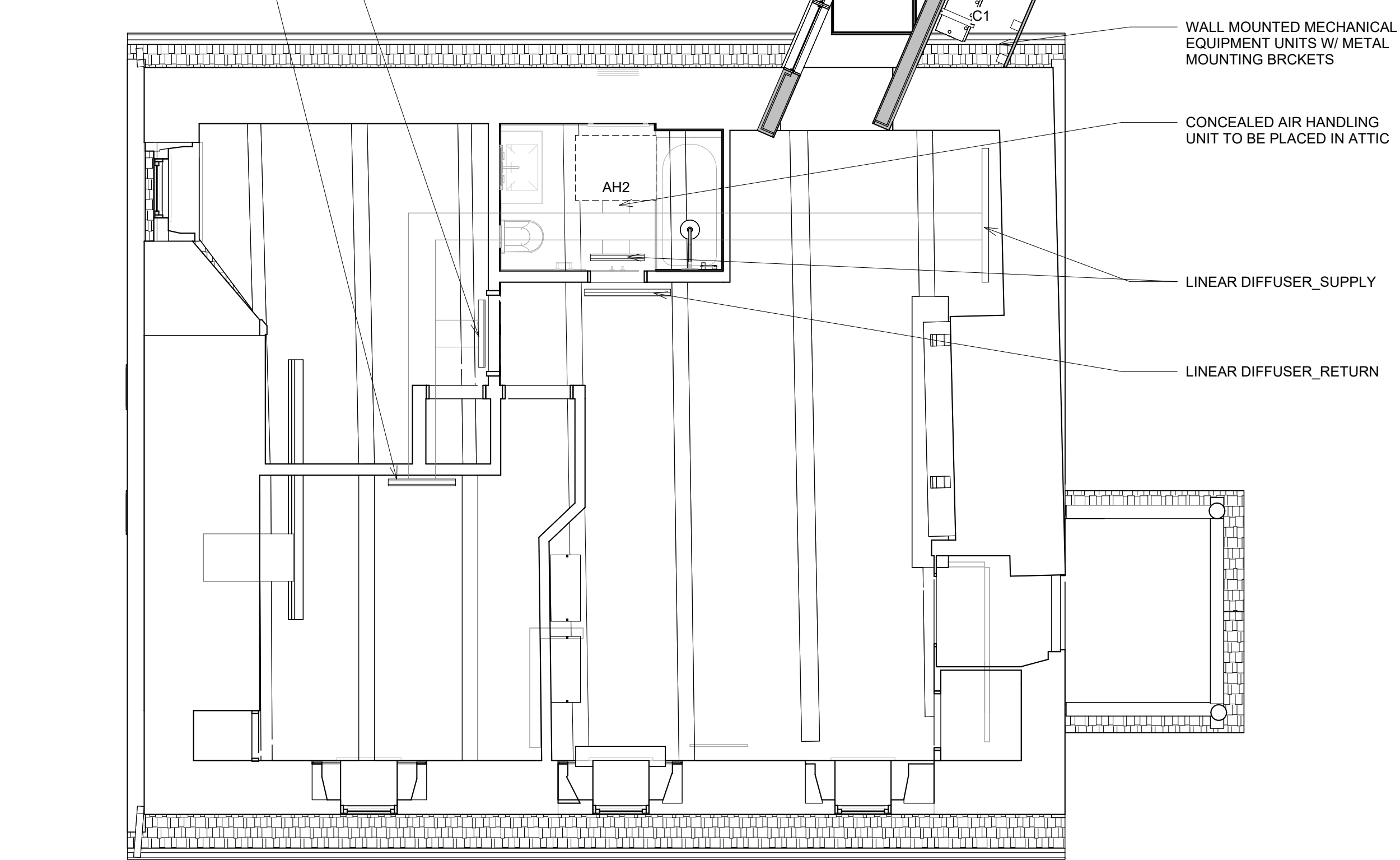
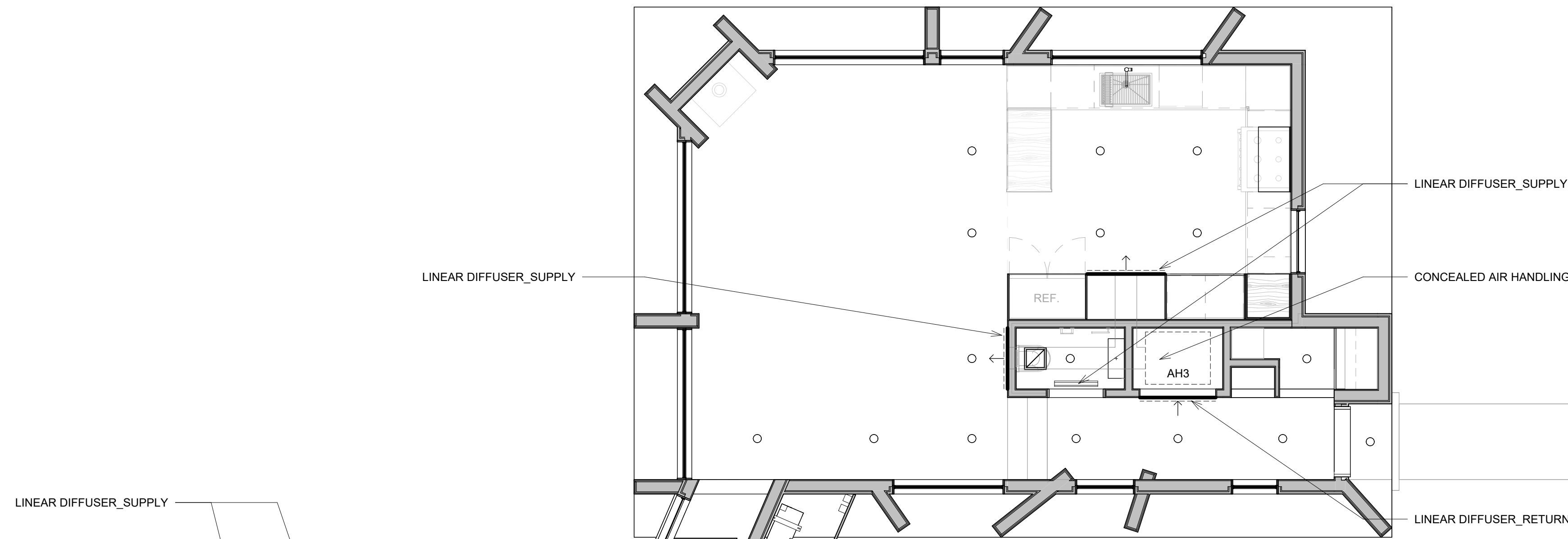
TITLE

MECHANICAL PLANS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE	DATE	DATE	07/12/2024
	JOB NO.:	SCALE:	0141
			As indicated
	DRAWING NO.:		



M101.00



1 PROPOSED MECH. PLAN - SECOND FLOOR
1/4" = 1'-0"

2 PROPOSED MECH. PLAN - FIRST FLOOR
1/4" = 1'-0"

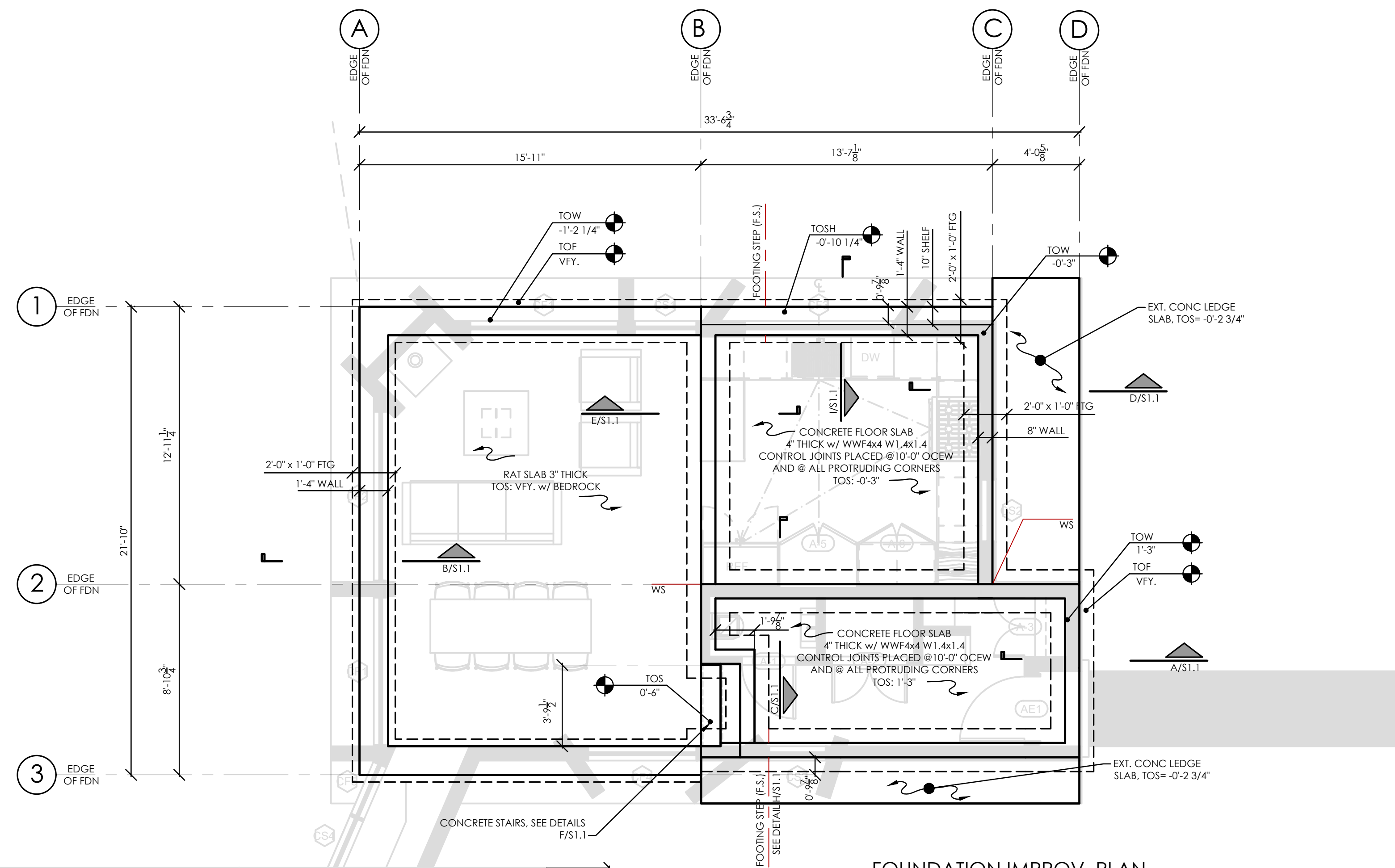
MECHANICAL SCHEDULE

TAG	ITEM	QTY	MANUFACTURER/MODEL	LOCATION	AREA SERVED	BTU/H	SEER	HSPE	W X L X H (INCHES)	WEIGHT (LBS)
C1	CONDENSING UNIT	1	mitsubishi MXZ-SM48NAMH22	OUTDOOR	ADDITION	48,000	23	12	41 11/32" X 13" X 52 11/16"	278
AH1	AIR HANDLING UNIT -WM	1	MITSUBISHI MSZ-EF12NAW-U2	ADDITION	ADDITION	12,000	N/A	N/A	34 13/16" X 7 11/16" X 11 3/4"	26
AH2	AIR HANDLING UNIT	1	MITSUBISHI PEAD-A18AA9	ADDITION	ADDITION	18,000	N/A	N/A	35 7/16" X 28 7/8" X 9 7/8"	60
AH3	AIR HANDLING UNIT	1	MITSUBISHI PEAD-A18AA9	ADDITION	ADDITION	18,000	N/A	N/A	35 7/16" X 29 7/8" X 9 7/8"	60



DRAFT
6/28/2024

DOB EXAMINER - SEAL & SIGNATURE

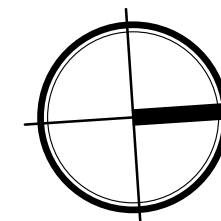


FOUNDATION IMPROV. PLAN

SCALE: 1/4" = 1"

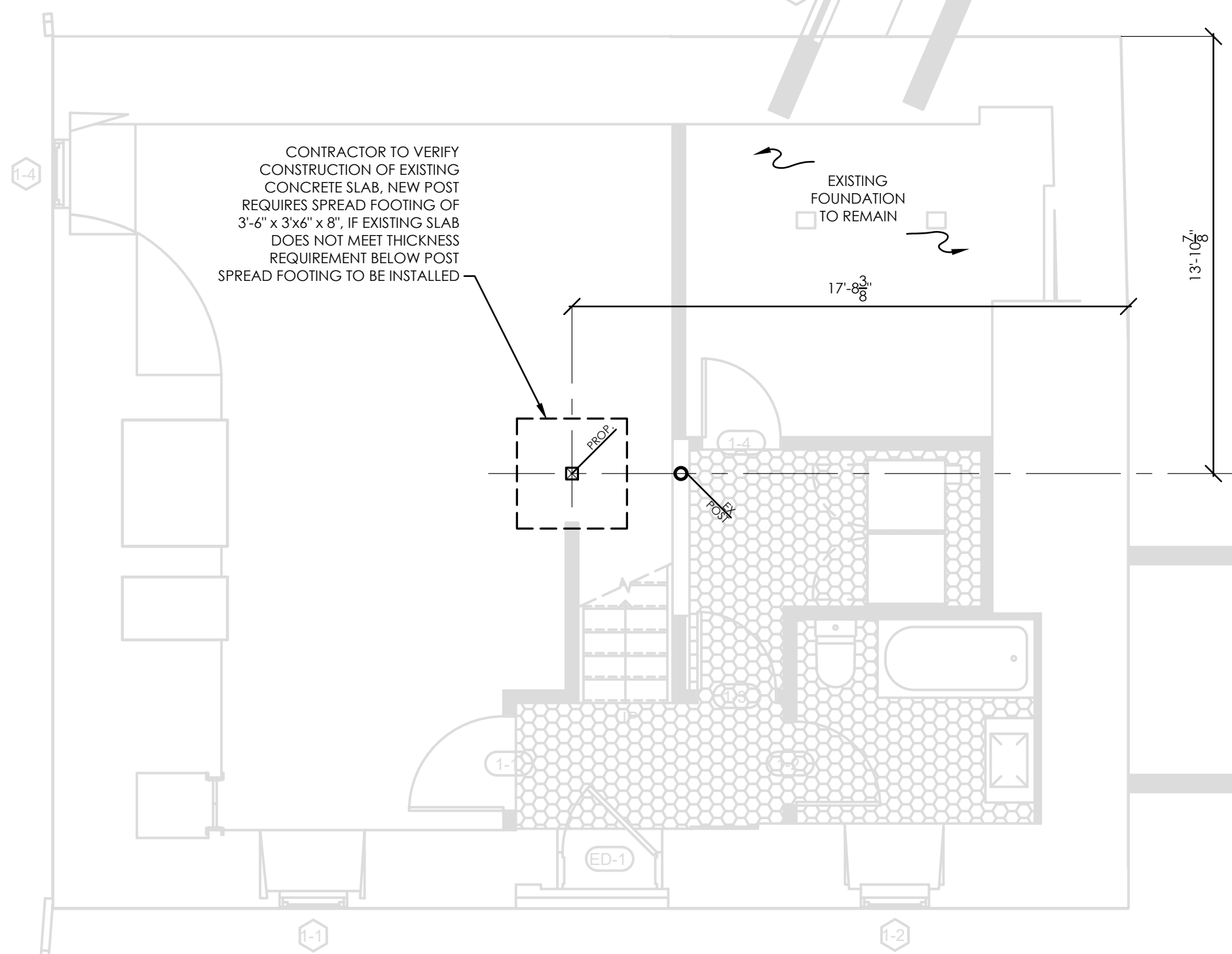


SCALE: 1/4" = 1'-0"



CONTRACTOR TO VERIFY CONSTRUCTION OF EXISTING CONCRETE SLAB. NEW POST REQUIRES SPREAD FOOTING OF 3'-6" x 3'x6" x 8". IF EXISTING SLAB DOES NOT MEET THICKNESS REQUIREMENT BELOW POST SPREAD FOOTING TO BE INSTALLED

EXISTING FOUNDATION TO REMAIN



DATE	REVISION

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

FOUNDATION IMPROV.
PLAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	6/18/2024
		JOB NO.:	24035.0
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

S1.0



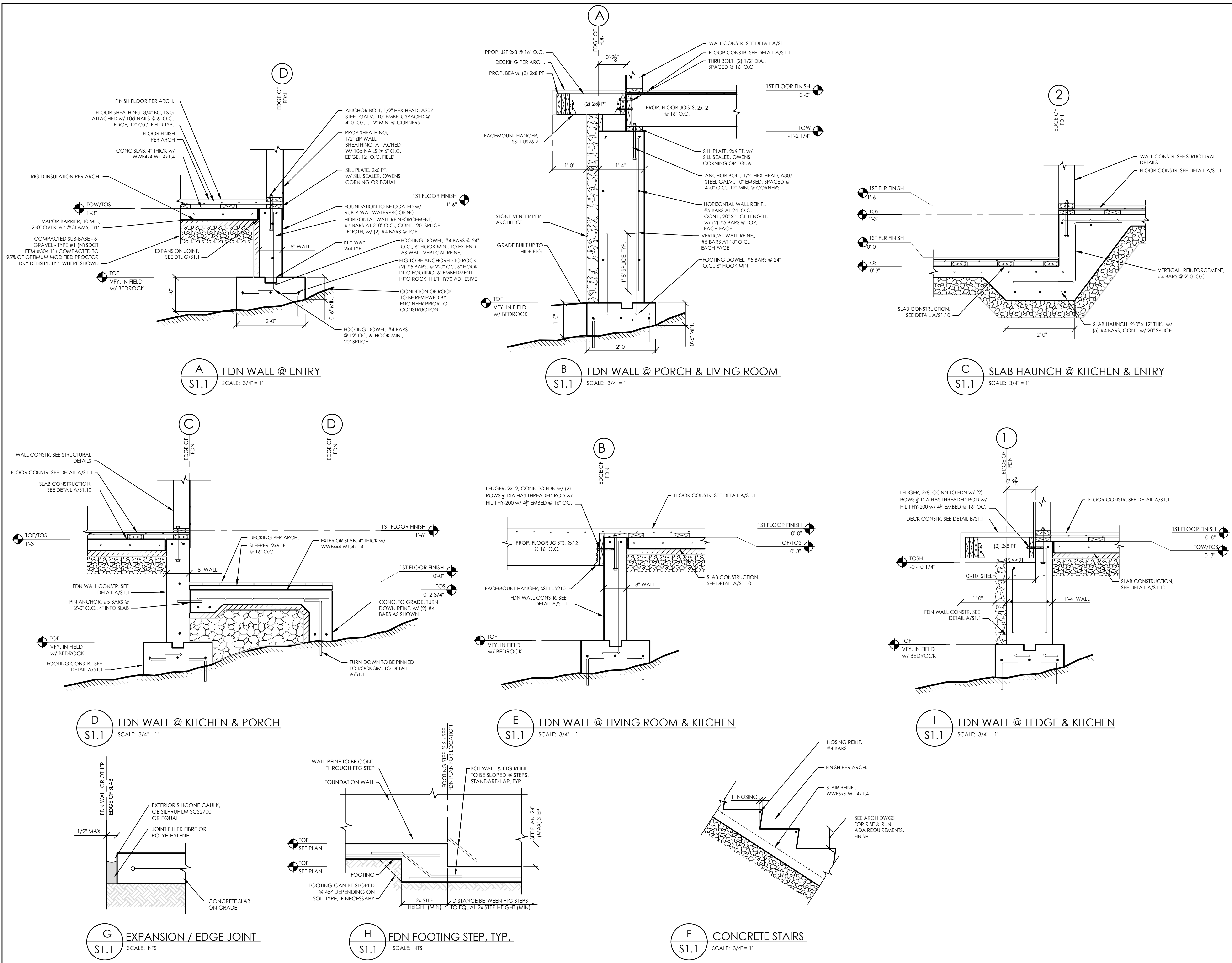
DATE	REVISION

PROJECT
264 TACONIC RD.
SALISBURY, CT 06068

TITLE
FOUNDATION DETAILS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	6/18/2024
		JOB NO.	24035.0
		SCALE	1/4" = 1'-0"
		DRAWING NO.	

S1.1



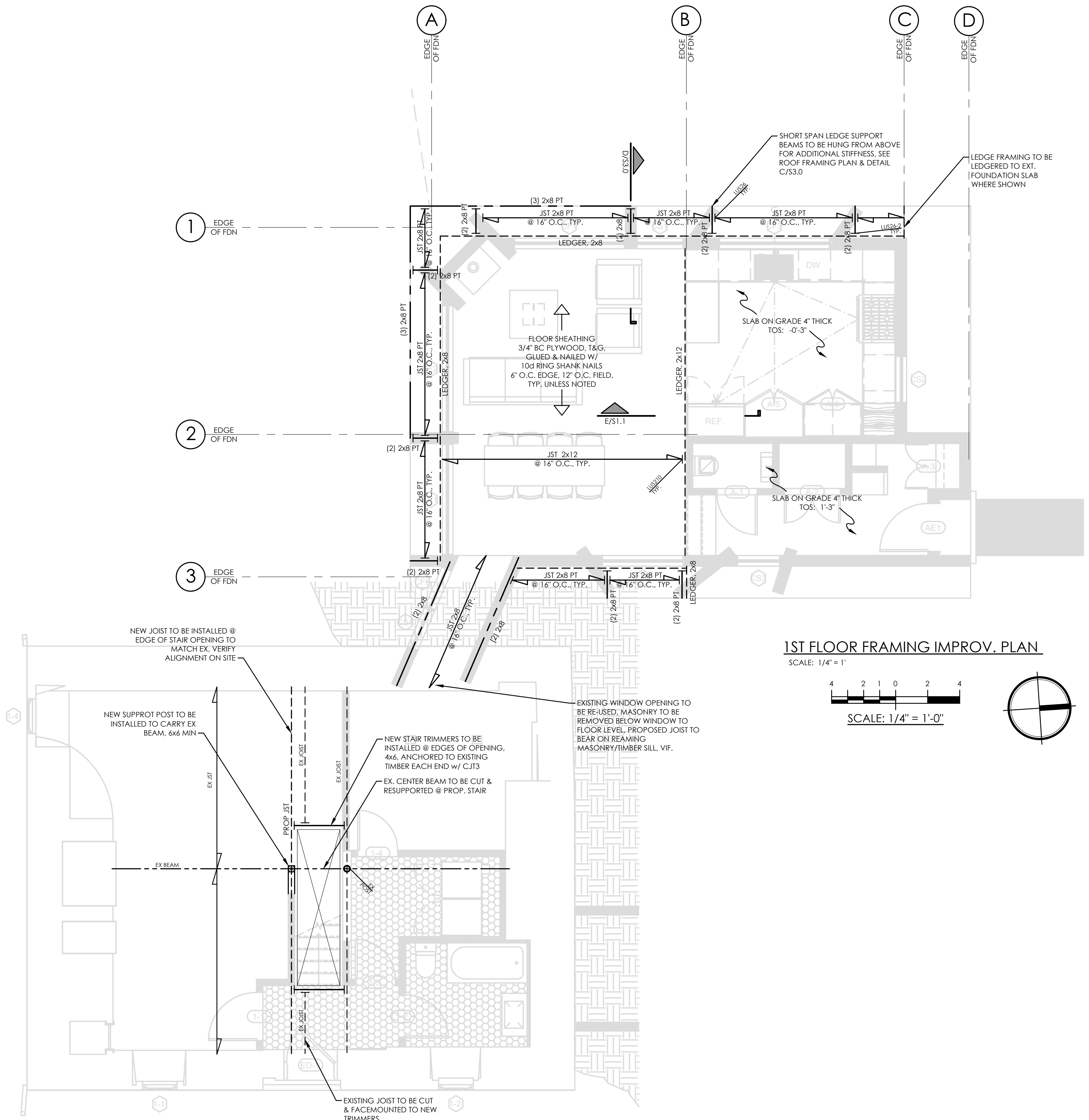


DRAFT
6/28/2024

DOB EXAMINER - SEAL & SIGNATURE

WOOD FRAMING LEGEND

- EXISTING JOIST / RAFTER - COMMON
- EXISTING INDIVIDUAL JOIST / RAFTER
- EXISTING BEAM / HEADER
- PROPOSED JOIST / RAFTER - COMMON
- PROPOSED I-JOIST - DESIGNATION & DEPTH
- PROPOSED JOIST / RAFTER OR REINF MEMBER
- PROPOSED BEAM / HEADER OR REINF MEMBER
- LVL BEAM / HEADER, (#) PLYS & MEMBER DEPTH
- BEARING CONNECTION
- FACE MOUNTED CONNECTION w/ METAL CONNECTION PLATE, TYPE AS SPECIFIED
- INTERIOR BEARING WALL
- WOOD COLUMN
- STEEL COLUMN
- SHEATHING

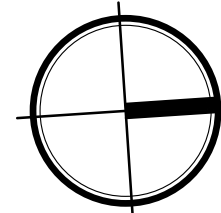


1ST FLOOR FRAMING IMPROV. PLAN

SCALE: 1/4" = 1'



SCALE: 1/4" = 1'-0"



DATE	REVISION

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

1ST FLOOR FRAMING
IMPROV. PLAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	6/18/2024
		JOB NO.:	24035.0
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

S2.0

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264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA
Bowerbird Architects, PLLC
124 9th St. Suite 250
Brooklyn NY 11215
Tel: 917.447.7855

Owner

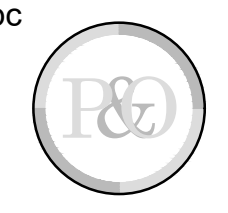
AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

N/A

Structural Engineer

Proper & O'Leary Engineering dpc
1915 5th Avenue
Troy, NY 12180
518-610-8331
www.po-eng.com

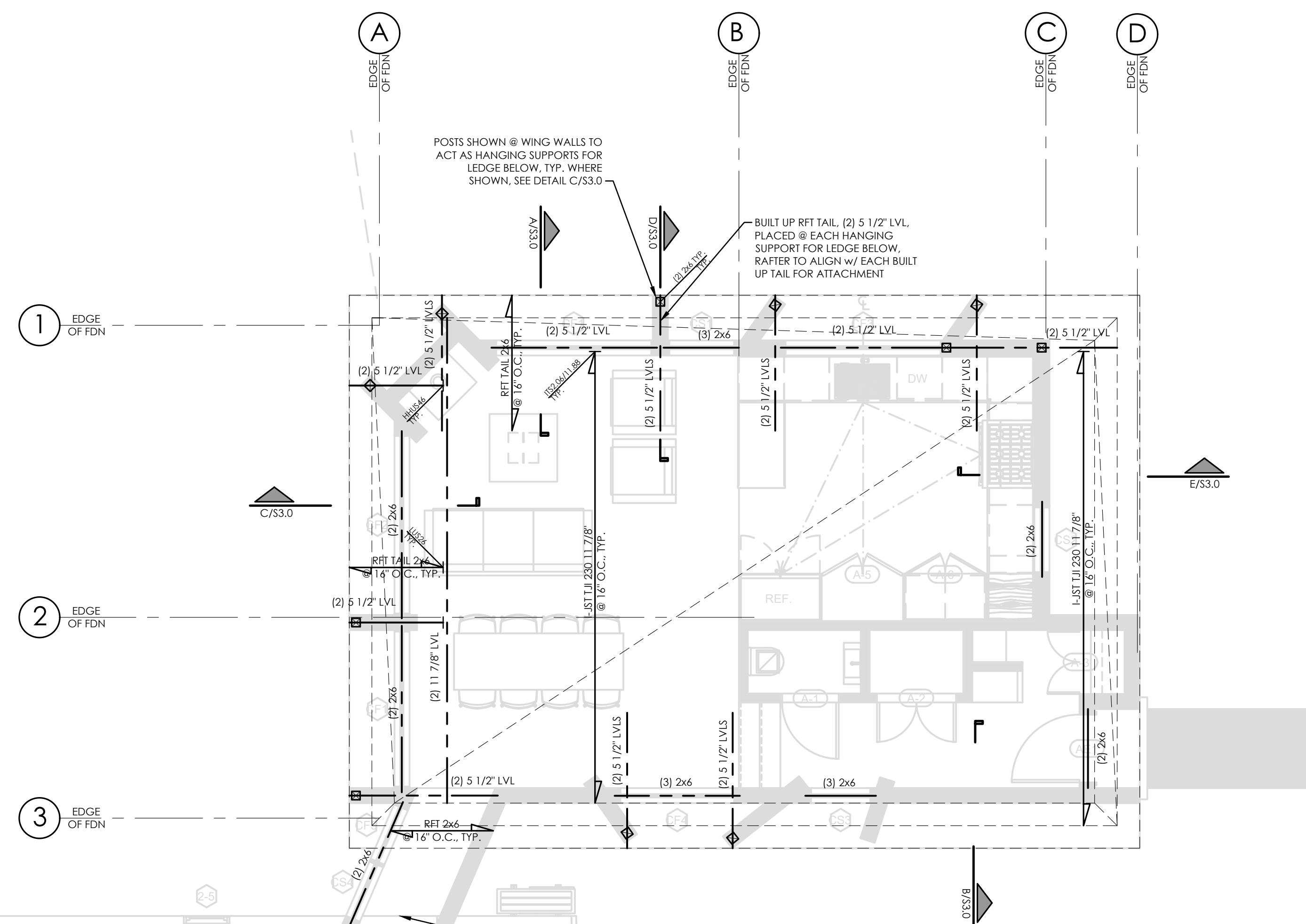


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6/28/2024

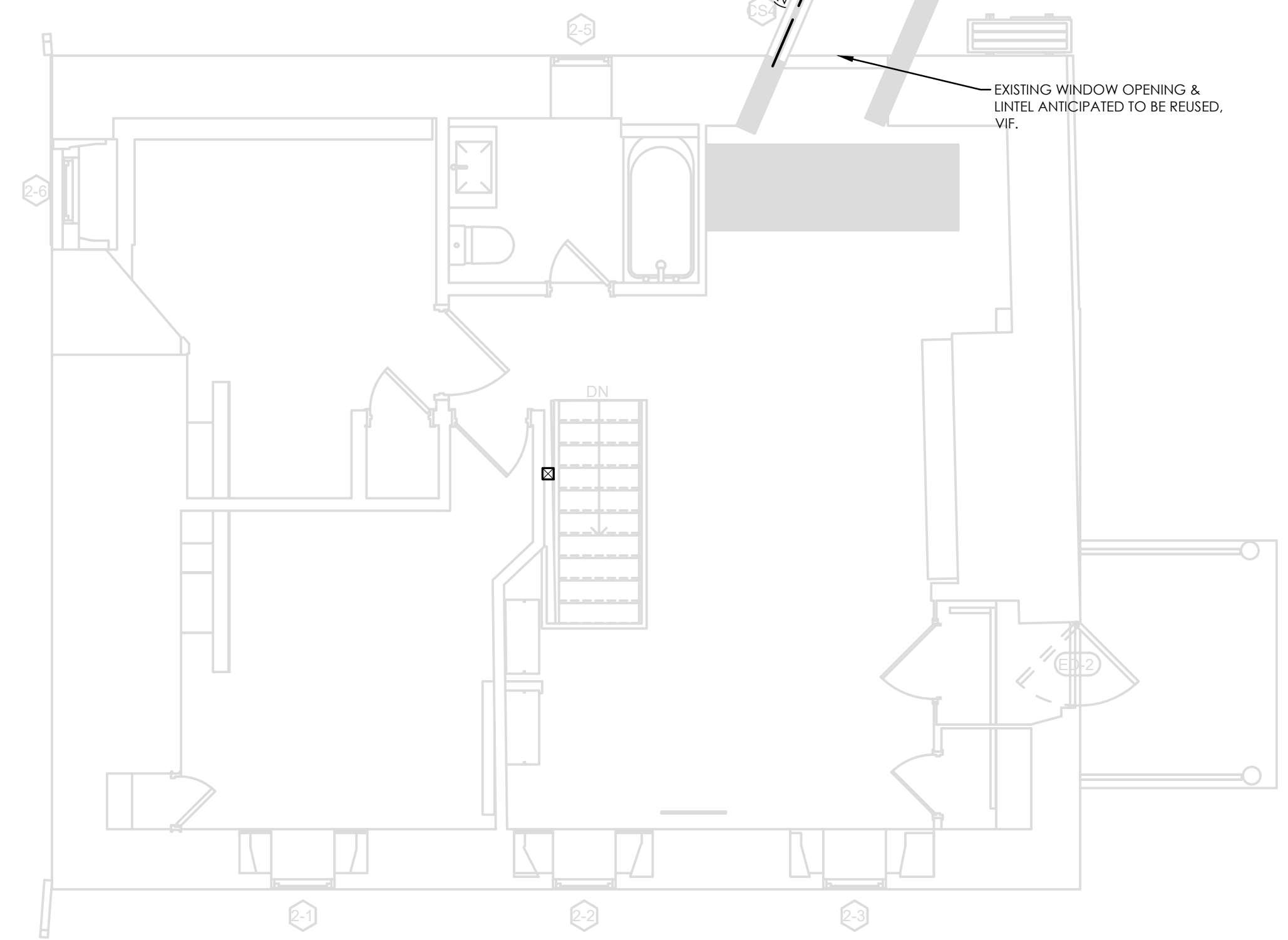
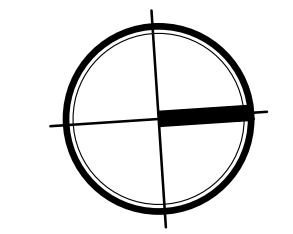
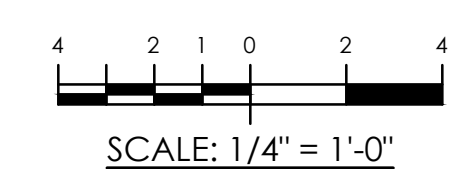
DOB EXAMINER - SEAL & SIGNATURE

WOOD FRAMING LEGEND

-
- EXISTING JOIST / RAFTER - COMMON
-
- EXISTING INDIVIDUAL JOIST / RAFTER
-
- EXISTING BEAM / HEADER
-
- PROPOSED JOIST / RAFTER - COMMON
-
- PROPOSED I-JOIST - DESIGNATION & DEPTH
-
- PROPOSED JOIST / RAFTER OR REINF MEMBER
-
- PROPOSED BEAM / HEADER OR REINF MEMBER
-
- LVL BEAM / HEADER, (#) PLYS & MEMBER DEPTH
-
- BEARING CONNECTION
-
- FACE MOUNTED CONNECTION w/ METAL CONNECTION PLATE, TYPE AS SPECIFIED
-
- INTERIOR BEARING WALL
-
- WOOD COLUMN
-
- STEEL COLUMN
-
- SHEATHING



ROOFING FRAMING IMPROV. PLAN
SCALE: 1/4" = 1'



DATE	REVISION

PROJECT

264 TACONIC RD.
SALISBURY, CT 06068

TITLE

ROOF FRAMING IMPROV.
PLAN

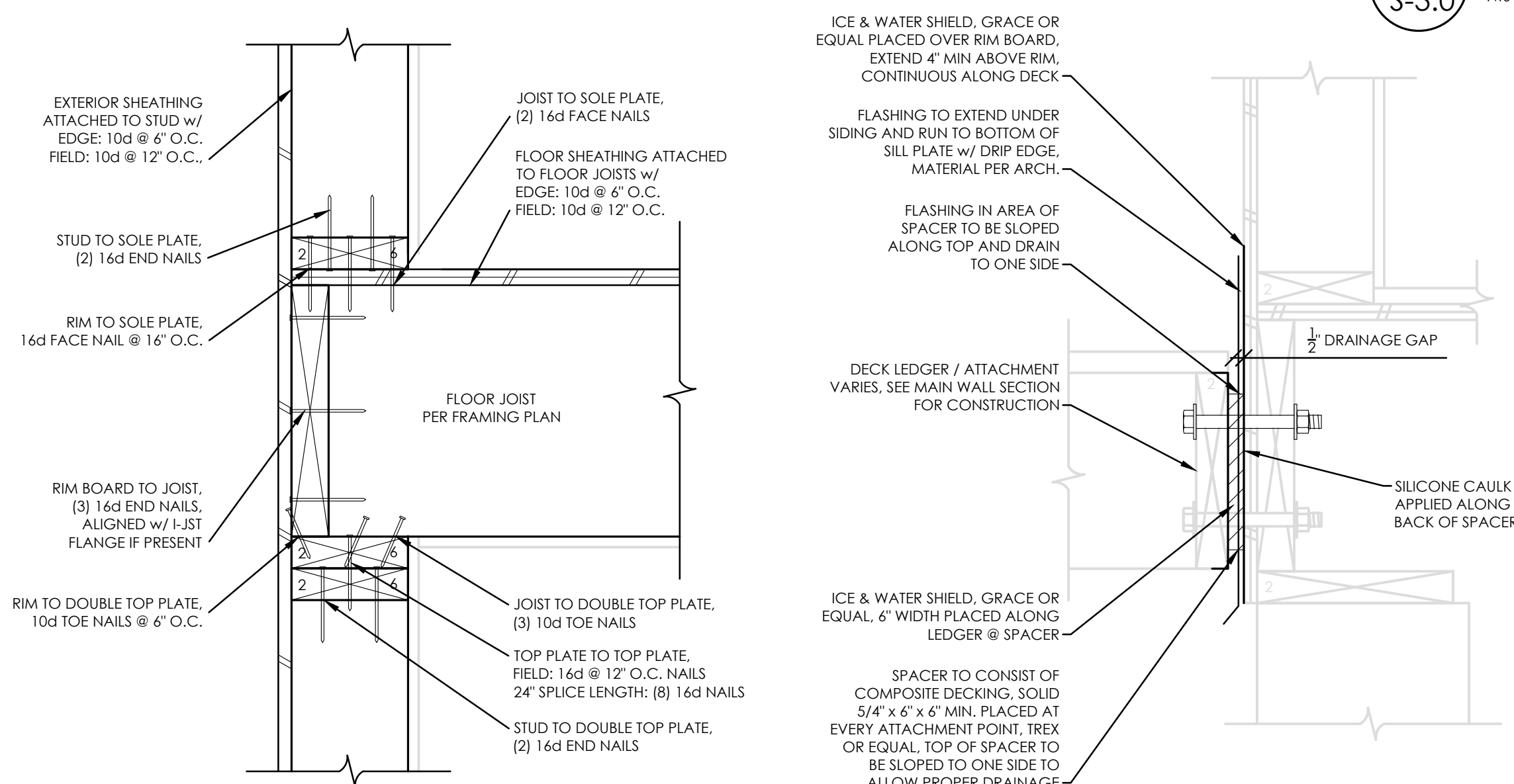
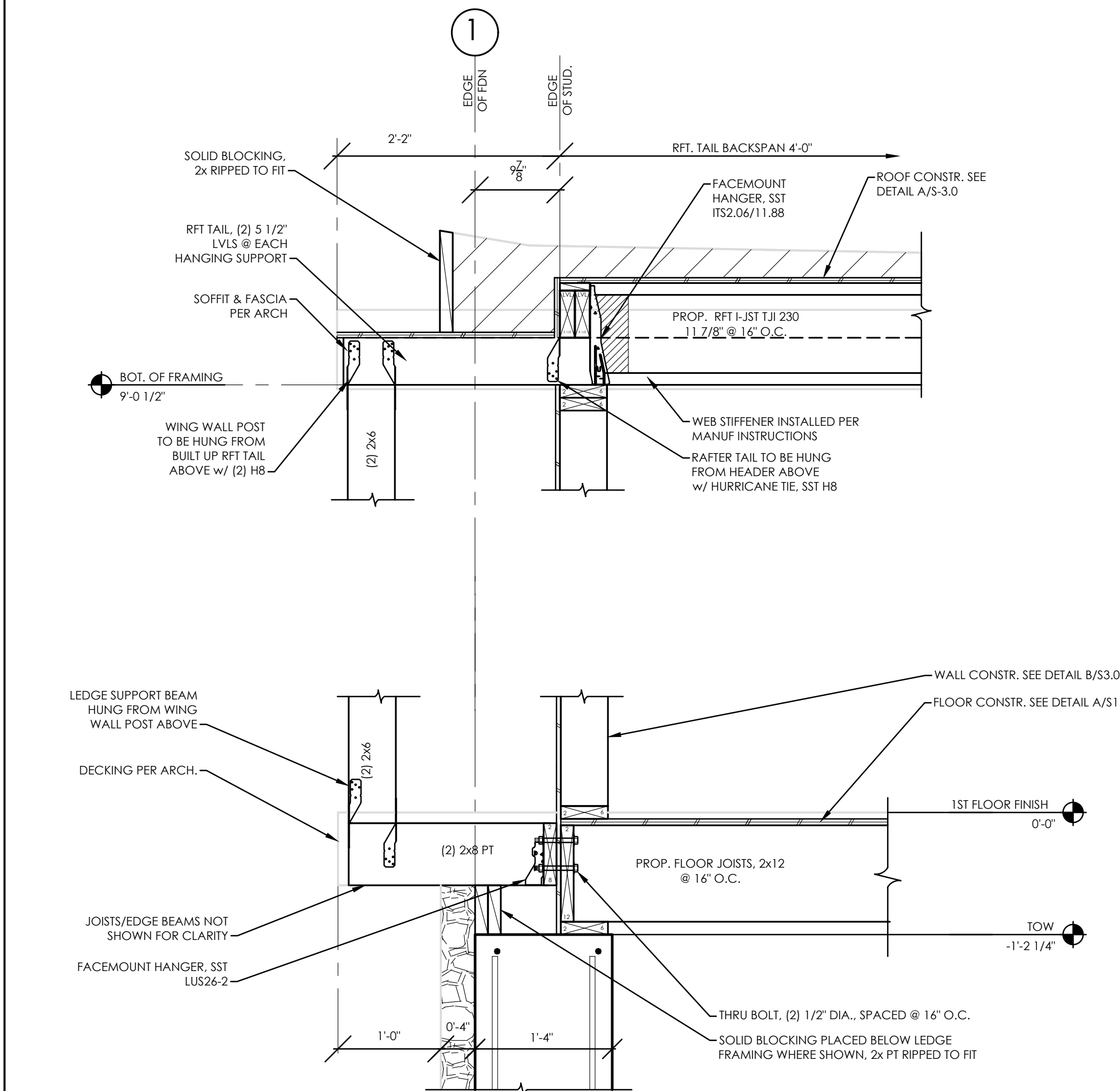
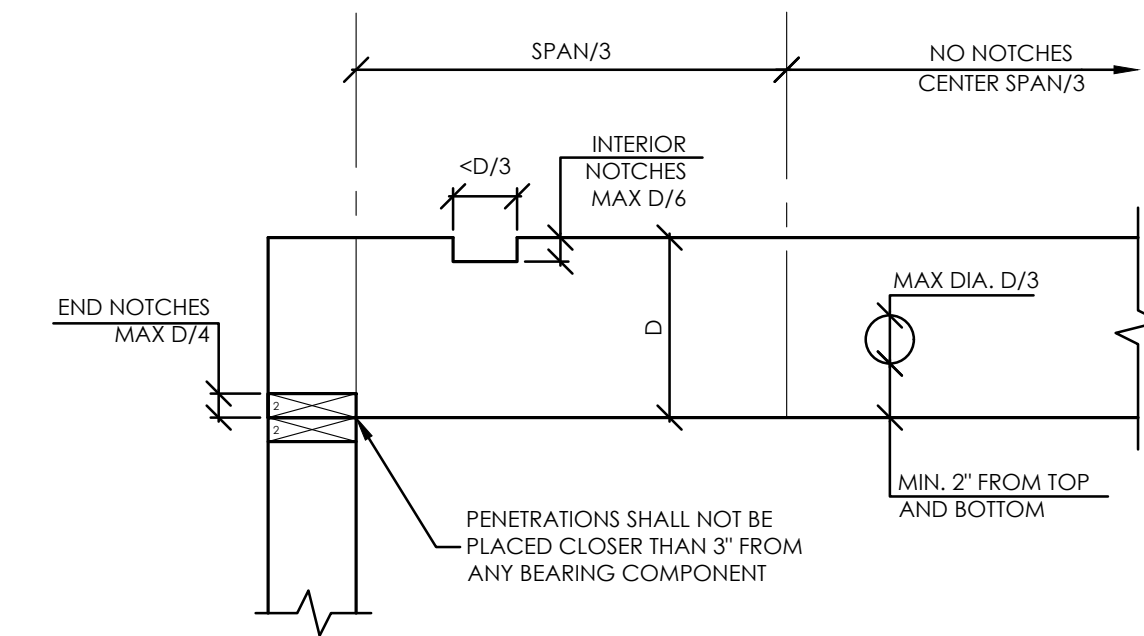
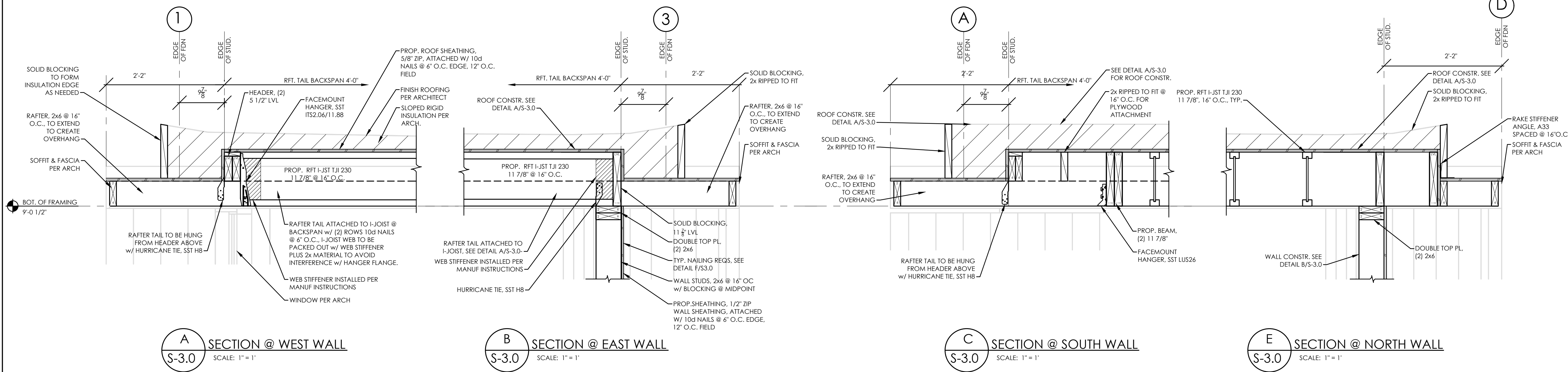
ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	6/18/2024
		JOB NO.:	24035.0
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

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6/28/2024

DOB EXAMINER - SEAL & SIGNATURE



DATE	REVISION

PROJECT
**264 TACONIC RD.
SALISBURY, CT 06068**

TITLE
STRUCTURAL DETAILS

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	6/18/2024
		JOB NO.:	24035.0
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

S3.0