GENERAL NOTES

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT DOCUMENTS. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

THE GENERAL CONTRACTOR (GC) SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND/OR BUILDING. REPORT ANY DIMENSIONS THAT DEVIATE OR ARE MISSING FROM THE CONTRACT DOCUMENTS TO ARCHITECT TO DETERMINE IF DIFFERENCES WILL AFFECT DESIGN. DO NOT SCALE THESE DRAWINGS

THE ARCHITECT IS NOT RETAINED TO SUPERVISE THE WORK, GC IS TO REPORT DISCREPANCIES TO ARCHITECT.

THE GC SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED BY GC TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT. GC SHALL EXAMINE PREMISES BEFORE SUBMITTING A PROPOSAL. NO ALLOWANCE WILL BE MADE FOR LACK OF FULL KNOWLEDGE OF CONDITION OF PREMISES.

THE GC SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OF ALL TRADES, OR TO MAKE PARTS FIT TOGETHER WITHOUT COMPROMISING THE QUALITY OF THE WORK.

WOOD FRAMING TO BE HEMLOCK, CONSTRUCTION GRADE, 1450 PSF, OR APPROVED EQUAL. FRAMING TO COMPLY WITH SPECIFICATIONS STRUCTURAL ENGINEER.

OFFICIAL GRADE MARKS MUST BE AFFIXED ON LUMBER BEFORE DELIVERY TO

METAL FRAMING TO MEET STANDARDS BY THE LOCAL BUILDING CODE, ASTM AND AISI. GALVANIZED STEEL STUDS TO BE 16 GA. @ 16" O.C. WITH DEPTHS AS INDICATED ON PLANS

THE GC SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND MIS-ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF

10. DRYWALL IN BATHROOM TO BE 5/8" MOISTURE RESISTANT GYPSUM BOARD AS PER 486-39SM. USE CEMENTITIOUS 1/2" BACKER BOARD WHEN TILE SURFACES ARE IN CONTACT WITH WATER, U.O.N.

 FIRE-RETARD ALL COMBUSTIBLE MATERIAL WITHIN ONE FOOT OF COOKING APPARATUS; MAINTAIN TWO FOOT CLEARANCE ABOVE COOKING APPARATUS.

BATHROOMS TO HAVE TILE FLOORS WITH 6" SANITARY BASE MINIMUM. SEE ELEVATIONS FOR HEIGHTS OF TILE ON WALLS.

15. THE GC SHALL NOT INSTALL SUSPENDED OR FURRED CEILINGS IN AREAS WHERE PIPES ARE TO BE CONCEALED (HEATING, PLUMBING) UNTIL THE PIPING HAS BEEN TESTED.

16. THE GC SHALL COORDINATE THE INSTALLATION OF PLUMBING FIXTURES PRIOR TO THE CONSTRUCTION OF PARTITIONS BEHIND SUCH FIXTURES USING SPEC SHEETS AND INSTALLATION INSTRUCTIONS FROM MANUFACTURER.

17. THE GC SHALL EXTEND FLOORING MATERIAL INTO ALL WARDROBES AND CLOSETS. CONSULT ARCHITECT ABOUT AREAS IN QUESTION.

DEMOLITION NOTES

ADDITIONAL COST TO THE OWNER.

INTEGRITY OF THE EXISTING STRUCTURE.

18. ALL ELECTRICAL INDICATIONS ON ARCHITECTURAL DRAWINGS ARE FOR CODE COMPLIANCE BUT ARE GENERALLY PLACED FOR LOCATION PURPOSES ONLY. CONSULT ARCHITECT FOR LOCATION OF FIXTURES, DEVICES, SECURITY ITEMS, ETC. IN QUESTION.

CONTRACTOR SHALL PERFORM ALL DEMOLITION AND REMOVAL INDICATED

ON THE DRAWINGS AND AS REQUIRED BY THE WORK. ALL WORK SHALL BE DONE

RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT

SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE

SHALL BE LEFT BROOM CLEAN DURING AND AT THE COMPLETION OF DEMOLITION.

AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR

DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF BUILDING CODE.

NEW STRUCTURAL ELEMENTS AS REQUIRE TO PROTECT THE STABILITY AND

ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF

NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS

ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY

NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS

CAREFULLY AND NEATLY. IN A SYSTEMATIC MANNER. OVERSEEN BY GC

PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL

THE GC SHALL COORDINATE OPENINGS IN THE FOUNDATION AND EXTERIOR WALLS FOR THE INSTALLATION OF CONDUITS AND BOXES FOR ELECTRICAL EQUIPMENT.

WHERE MANUFACTURES' NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. SUBSTITUTIONS OF OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.

FIRESTOPPING SHALL BE INSTALLED AT ALL PENETRATIONS OF FIRE RATED CONSTRUCTION AS PER SPECIFICATIONS. MATERIAL IS TO BE APPROPRIATE FOR THE ASSEMBLY AND SHALL HAVE AN MEA NUMBER.

SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.

THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE PROGRESS OF HIS WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL IT HAS BEEN DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED, THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL UNCOVER ALL SUCH WORK SO THAT IT CAN BE PROPERLY INSPECTED, AND AFTER SUCH INSPECTION, HE SHALL PROPERLY REPAIR AND REPLACE ALL SUCH WORK. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE ARCHITECT.

25. THE CONTRACTOR SHALL GUARANTEE THE WORK AGAINST DEFECTS IN MATERIALS OF WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT OF COMPLETED WORK BY OWNER, AND HE SHALL AT HIS OWN EXPENSE, AND WITHOUT COST TO THE OWNER. CORRECT ANY DEFECTS WHICH MAY DEVELOP DURING SUCH ONE YEAR PERIOD AND CORRECT ANY DAMAGE TO OTHER WORK CAUSED BY SUCH DEFECTS.

26. ALL DIMENSIONS ARE TAKEN FROM FINISH TO FINISH, OTHER THAN ROUGH OPENINGS FOR WINDOWS. DOOR DIMENSIONS ARE SHOWN TO INSIDE OF JAMB

27. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD. REPORT ANY DIMENSIONS THAT DEVIATE FROM CONTRACT DOCUMENTS TO ARCHITECT.

METHODS, MEANS AND MATERIALS SUBMISSIONS: THE GC SHALL BE RESPONSIBLE FOR SUBMITTING HIS AND HIS SUBCONTRACTOR'S SPECS, LITERATURE, MANUFACTURER'S CUTSHEETS OF EQUIPMENT, SHOP DRAWINGS WHERE APPLICABLE, AND SAMPLES OF MATERIALS THAT ARE SHOWN ON THE DRAWINGS OR OF AN EQUAL SUBSTITUTION IF REQUESTED. HE SHALL FIRST REVIEW THE SUBMISSION FOR COMPLETENESS AND COMPLIANCE BEFORE PASSING IT ON TO THE ARCHITECT FOR THEIR APPROVAL. THIS WOULD ALSO HOLD FOR ADDITIONAL CHANGES TO THE WORK THAT ARE MADE DURING THE PROGRESS OF THE JOB. THE OWNER, ARCHITECT AND GC SHALL DISCUSS THIS PARAGRAPH FOR COMPLIANCE WITH

29. FOR ANY ITEMS PURCHASED BY OWNER OR GC, THE GC SHALL OBTAIN AND SUBMIT FOR THE ARCHITECT'S REVIEW AND APPROVAL, ANY SHOP DRAWINGS OR PRODUCT CUTSHEETS, ALONG WITH MANUFACTURER'S NAMES, CATALOG NUMBERS, INSTALLATION INSTRUCTIONS, AND WARRANTEES, SPECIFIED IN THE CONTRACT DOCUMENTS, OR AS THE GC REQUESTS. THE G.C. SHALL ALSO RETAIN ALL INVOICES FOR ALL PURCHASES RELATED TO CONSTRUCTION, AND THE GC SHALL BE RESPONSIBLE FOR RECEIVERSHIP AND SAFEKEEPING OF ALL ITEMS THEREAFTER. SUBSTITUTIONS SHALL ALSO FOLLOW THE ABOVE PROCEDURES.

REGARD TO ANY SUBCONTRACTOR HIRED DIRECTLY BY THE OWNER TO DETERMINE

PROCEDURES TYPICAL FOR THE PROJECT.

THE CONSTRUCTION DOCUMENTS, THAT THE OWNER APPROVES, AND G.C. BUILDS FROM, SHALL SHOW THE DESIGN CONCEPT. THE GC IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THE GC SHALL SUBMIT FOR THE ARCHITECT'S REVIEW AND APPROVAL, SHOP DRAWINGS AND PRODUCT CUTSHEETS, WITH MANUFACTURER'S NAMES. CATALOG NUMBERS. INSTALLATION INSTRUCTIONS AND WARRANTEES, EITHER SPECIFIED IN THE CONTRACT DOCUMENTS, OR AS REQUIRED BY D. THE GC OR OWNER. THE GC SHALL ALSO PRODUCE FOR THE ARCHITECT'S APPROVAL, GRAPHIC DETAILS SHOWING ANYTHING HE PLANS TO CONSTRUCT, WHICH DEVIATES FROM THE SIGNED SET OF CONSTRUCTION DOCUMENTS. SUBSTITUTIONS SHALL ALSO FOLLOW THE ABOVE PROCEDURES

REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL

LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. GC TO ASK OWNER IF

BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.

ANY ITEMS ARE TO BE SAVED AND SAFELY STORED.

PROJECT HAS PROGRESSED ENOUGH TO REQUIRE IT.

ORDER TO DO THE WORK HEREIN DESCRIBED.

EQUIPMENT AFFECTED BY THE REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR

THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY

THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION

FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF

WEATHER OR WATER PENETRATION, GC TO SUPPLY HEAT IN COLD WEATHER IF

THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL

PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN

11. GC TO ASK OWNER IF ANY ITEMS ARE TO BE SAVED AND SAFELY STORED.

31. RESPONSIBILITIES FOR MEANS AND METHODS: THE ARCHITECT SHALL MAKE PROJECT VISITS AS APPROPRIATE TO JOB PROGRESS, TO GENERALLY DETERMINE THAT THE WORK IS IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS AND RELATED DOCUMENTS THAT MAKE UP THE GENERAL CONTRACTOR'S AGREEMENT WITH THE OWNER. THE ARCHITECT SHALL NOT. IN ANY WAY, DIRECT THE CONSTRUCTION MEANS, METHODS, PROCEDURES, SCHEDULING OR SAFETY PROGRAM, NOR SHALL THE ARCHITECT BE RESPONSIBLE FOR ANY OMISSION OR JOB CONDUCT BY ANYONE UNDER CONTRACT TO THE GENERAL CONTRACTOR, HIS

32. GC RESPONSIBLE TO THE OWNER FOR COORDINATING INSTRUCTIONS ON RUNNING THE SYSTEMS THAT ARE INSTALLED (AS THE OWNER MUST TAKE OVER THE BUILDING AFTER CONSTRUCTION IS COMPLETED.) UPON PROJECT COMPLETION, THE GC SHALL SCHEDULE SEPARATE MEETINGS BETWEEN THE OWNER AND EACH OF HIS MECHANICAL AND ELECTRICAL CONTRACTORS (HVA/CP+E) INCLUDING THE GC, TO: FULLY EXPLAIN THE RUNNING OF THEIR RESPECTIVE INSTALLATIONS (IE. HEATING, PLUMBING, AIR-CONDITIONING, ELECTRICAL, MEDIA, SECURITY, COMMUNICATIONS, ETC.)

AGENTS OR EMPLOYEES INCLUDING THOSE OF HIS SUBCONTRACTORS.

AT THOSE SEPARATE MEETINGS WITH EACH OF THE GC'S SUBCONTRACTORS, TRANSMIT TO THE OWNER, ALL MANUFACTURER'S PRODUCT CUTS, INSTRUCTION MANUALS, MANUFACTURER'S USE AND CARE GUIDELINES AND WARRANTIES FOR ALI PRODUCTS AND EQUIPMENT THE GC AND THE SUBCONTRACTORS HAVE INSTALLED. THEREFORE THE GC MUST INFORM ALL PARTIES UNDER ITS CONTRACT FOR CONSTRUCTION, TO COLLECT AND SAVE THIS INFORMATION AT THE START OF CONSTRUCTION. THE GC SHALL DISCUSS WITH THE OWNER, HOW TO COORDINATE OTHER CONTRACTOR'S DIRECTLY HIRED BY THE OWNER AND WHO SHALL ALSO

THE GC SHALL BE RESPONSIBLE TO HAVE

COLLECT THE DATA INDICATED ABOVE.

HIS PLUMBER TAG ALL SHUT OFF VALVES ANY CELLAR VALVES IN THE HEATING SYSTEM NEEDING TAGGING HAVE THE ELECTRICIAN IDENTIFY. BY MECHANICAL PRINT, ALL CIRCUITRY IN ALL

ELECTRICAL PANELS AND SUB-PANELS. (HAND PRINTING IS NOT PERMITTED)

TAG ANY VALVES FOR THE AIR-CONDITIONING SYSTEM

TAG ANY OUTLETS OR JACKS INSTALLED BY ANY OTHER TRADE TAG ANY CABLES GOING INTO ANY CELLAR BOARD (IE SECURITY, MEDIA, COMMUNICATIONS, ETC.)

36. THE GC SHALL SUBMIT TO THE OWNER AND ARCHITECT A CALENDAR WORK SCHEDULE PRIOR TO THE START OF CONSTRUCTION. THE WORK SCHEDULE SHALL SHOW THE PHASING IN OF ALL TRADES FROM THE DATE OF THE START OF CONSTRUCTION TO THE DATE OF SUBSTANTIAL COMPLETION. IT SHALL BE UPDATED PERIODICALLY BUT NOT LESS THAN MONTHLY, UNLESS OTHERWISE AGREED TO BY MUTUAL CONSENT OF THE PARTIES UNDER CONTRACT. THIS SCHEDULE SHALL INCLUDE MAJOR MATERIAL DELIVERIES AND GOVERNMENTAL INSPECTIONS, DATE OF COMMENCEMENT, SUBSTANTIAL COMPLETION.

GC SHALL ENSURE ELECTRICIAN INSTALLS RECEPTACLES, PER CODE, IN ALL ROOMS WHERE WORK OCCURS.

MECHANICAL VENTILATION NOTES:

INTERIOR BATHROOMS TO HAVE FOUR AIR CHANGES PER HOUR. DUCTWORK TO BE 24 GA. STEEL.

SMOKE/CARBON DIOXIDE DETECTORS:

DWELLING SHALL BE EQUIPPED WITH APPROVED TYPE SMOKE DETECTOR DEVICE RECEIVING PRIMARY POWER FROM BUILDING WIRING AND NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.

SUCH SMOKE DETECTORS MUST BE EITHER IONIZATION CHAMBER TYPE OR **PHOTOELECTRIC**

SMOKE DETECTORS SHALL BE INSTALLED WITHIN 15 FEET OF THE ENTRANCE TO ANY SLEEPING ROOM. THE DEVICE MUST BE WALL OR CEILING MOUNTED AS

INDICATED ON THE DRAWINGS. ALL CARBON DIOXIDE DETECTORS MUST BE INSTALLED WITHIN 15 FEET OF THE ENTRANCE TO ANY SLEEPING ROOM.

DRAWING LIST

Sheet Number	Sheet Name	
G001.00	GENERAL, DOB & DEMOLITION NOTES	
G004.00	SURVEY	
Z100.00	ZONING ANALYSIS	
EN001.00	ENERGY CODE REQUIREMENTS	
DM101.00	DEMO PLANS	
A100.00	SITE PLAN	
A101.00	FLOOR PLANS - FIRST FLOOR	
A102.00	FLOOR- AND ROOFPLANS	
A103.00	ROOF PLAN	
A201.00	JILDING ELEVATIONS - FRONT & REAR	
A202.00	JILDING ELEVATIONS - SIDES	
A203.00	JILDING ELEVATIONS - SIDES	
A301.00	BUILDING SECTIONS	
A501.00	CONSTRUCTION DETAILS	
A601.00	WINDOW- AND DOOR SCHEDULES	
E101.00	RCP AND ELECTRICAL PLANS	
M101.00	MECHANICAL PLANS	

SCOPE OF WORK

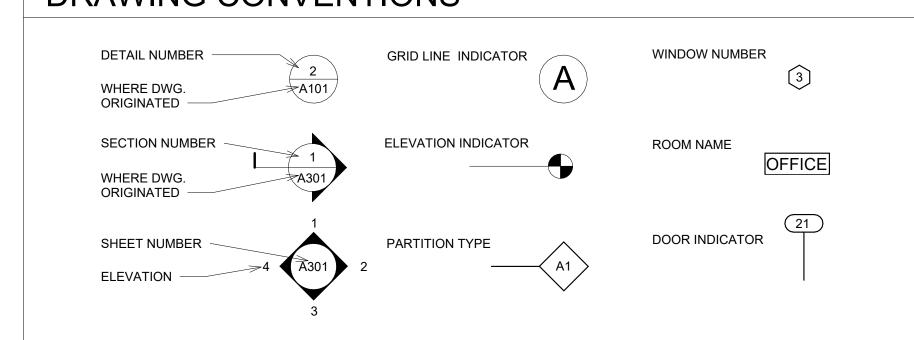
PROPOSED NEW ADDITION CONNECTED WITH BREEZEWAY TO EXISTING ONE-FAMILY HOUSE. ALL RELATED APPLICATIONS WILL BE FILED SEPARATELY. THIS BUILDING WILL BE REVIEWED UNDER 2022 CONNECTICUT STATE BUILDING

ABBREVIATIONS

A		G		R	
ADJ.	- ADJACENT	GA.	- GAUGE	r.	- RADIUS
A.F.F.	- ABOVE FINISHED	GALV.	- GALVANIZED	RAD.	- RADIATOR
FLOOR		G.C.	- GENERAL CONTRACTOR	RCP.	- REFLECTED CEILING PLAN
APP'D	- APPROVED	GLS.	- GLASS	REMV.	- REMOVE
&	- AND	G.V.	- GAS VALVE	REQ'D.	- REQUIRED
& @ B	- AT	GYP.BD./GWD.	- GYPSUM BOARD	RM.	- ROOM
В		Н		S S	- 1100111
B.C.	- BY CONTRACTOR	HGT,	- HEIGHT	SECT.	- SECTION
BLDG.	- BUILDING	HR.	- HOUR	SHELV'G	- SHELVING
B.O.	- BY OWNER	1		SHT.	- SHEET
С		INSUL.	- INSULATION	SIM.	- SIMILAR
CL	- CENTER LINE	L		SPEC.	- SPECIFICATION
CL.	- CLOSET	LAV.	- LAVATORY	SQ. FT./S.F.	- SQUARE FEET
CLG.	- CEILING	LGT.	- LIGHT		STAINLESS STEEL
CONT.	- CONTINUOUS	M		STD.	- STANDARD
CONC.	- CONCRETE	MANF.	- MANUFACTURER	STL.	- STEEL
CU/FT	- CUBIC FEET	MAT.	- MATERIAL	STOR.	- STORAGE
D	- DEPARTMENT	MAX.	- MAXIMUM	STRUCT.	- STRUCTURAL
DET.	- DETAIL	MECH.	- MECHANICAL	SQ./YD	- SQUARE YARD
DIM.	- DIMENSION	MIN.	- MINIMUM	T	- SQUARE TARD
DN.	- DOWN	MTL.	- METAL	TBD	- TO BE DETERMINED
DR.	- DOOR	N		TEL.	- TELEPHONE
DWG.	- DRAWING	N.I.C.	- NOT IN CONTRACT	THK.	- THICK/THICKNESS
E		NO.	- NUMBER	TOT.	- TOTAL
EL./ ELEV.	- ELEVATION	NOM.	- NOMINAL	TYP.	- TYPICAL
ELEC.	- ELECTRIC	N.T.S.	- NOT TO SCALE	ur. U	- ITFICAL
ENCL.	- ENCLOSURE	0		U.O.N.	- UNLESS OTHERWISE NOTED
ENT.	- ENTRANCE	O.C.	- ON CENTER	0.0.N. V	- UNLESS OTHERWISE NOTED
EQ.	- EQUAL	OP'G.	- OPENING	v V.I.F.	- VERIFY IN FIELD
EQUIP.	- EQUIPMENT	Р		v.i.r. W	- VERIFT IN FIELD
EXIST.	- EXISTING	PART.	- PARTITION	WAINS.	- WAINSCOT
F		PL/PLAS.	- PLASTER	W.I.C.	- WALK IN CLOSET
FIN.	- FINISH	P.L.	- PROPERTY LINE	۷۷.I.G.	- WALK IN CLUSE I
FL./FLR.	- FLOOR				

DRAWING CONVENTIONS

- FIREPROOFING



264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA Bowerbird Architects, PLLC 124 9th St. Suite 250 Brooklyn NY 11215 Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Structural Engineer

Melissa A. O'Leary, PE Proper & O'Leary Engineering, dpc PO Box 246, Troy, NY 12181 518.610.8331 www.po-eng.com

Window Restoration

Emily Majer White Clay Kill Preservation, LLC PO Box 25, Tivoli, NY 12583 Tel: 845.757.5525 emily@whiteclaykillpreservation.com

CONSTRUCTION SET 07/12/2024

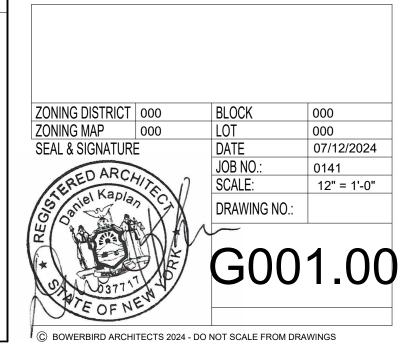
DOB EXAMINER - SEAL & SIGNATURE

DATE **REVISION**

PROJECT

264 TACONIC RD. SALISBURY, CT 06068

GENERAL, DOB & **DEMOLITION NOTES**



BUILDING DEPARTMENT NOTES

GENERAL CONSTRUCTION TO COMPLY WITH STATE OF CT BUILDING CODE.

WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES. REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY PORTIONS OF THE WORK, IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.

ALL MATERIALS, ASSEMBLIES, FORMS METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS: THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF

THE CODE THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE RESCRIBED TEST METHODS BY THE COMMISSIONER (OR) APPROVED BY THE OFFICE OF TECHNICAL CERTIFICATION AND RESEARCH (OTCR)ARCHITECT FOR LOCATION OF FIXTURES, DEVICES, SECURITY ITEMS, ETC. IN QUESTION

MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING: THEY SHALL CONFORM WITH A.I.S.G. "FIRE RESISTANCE RATING", DATED 1985 (OR)

STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE COMMISSIONER (OR) THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF

THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119,

THE CODE. 4.d. APPROVED BY OTCR ALL MASONRY UNITS SHALL CONFORM TO THE BUILDING CODE.

THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE,

MEETING CODE REQUIREMENT FOR FLAME SPREAD RATINGS.

BUILDING AND SANITARY CODES. THE GC IS TO BE RESPONSIBLE FOR ANY

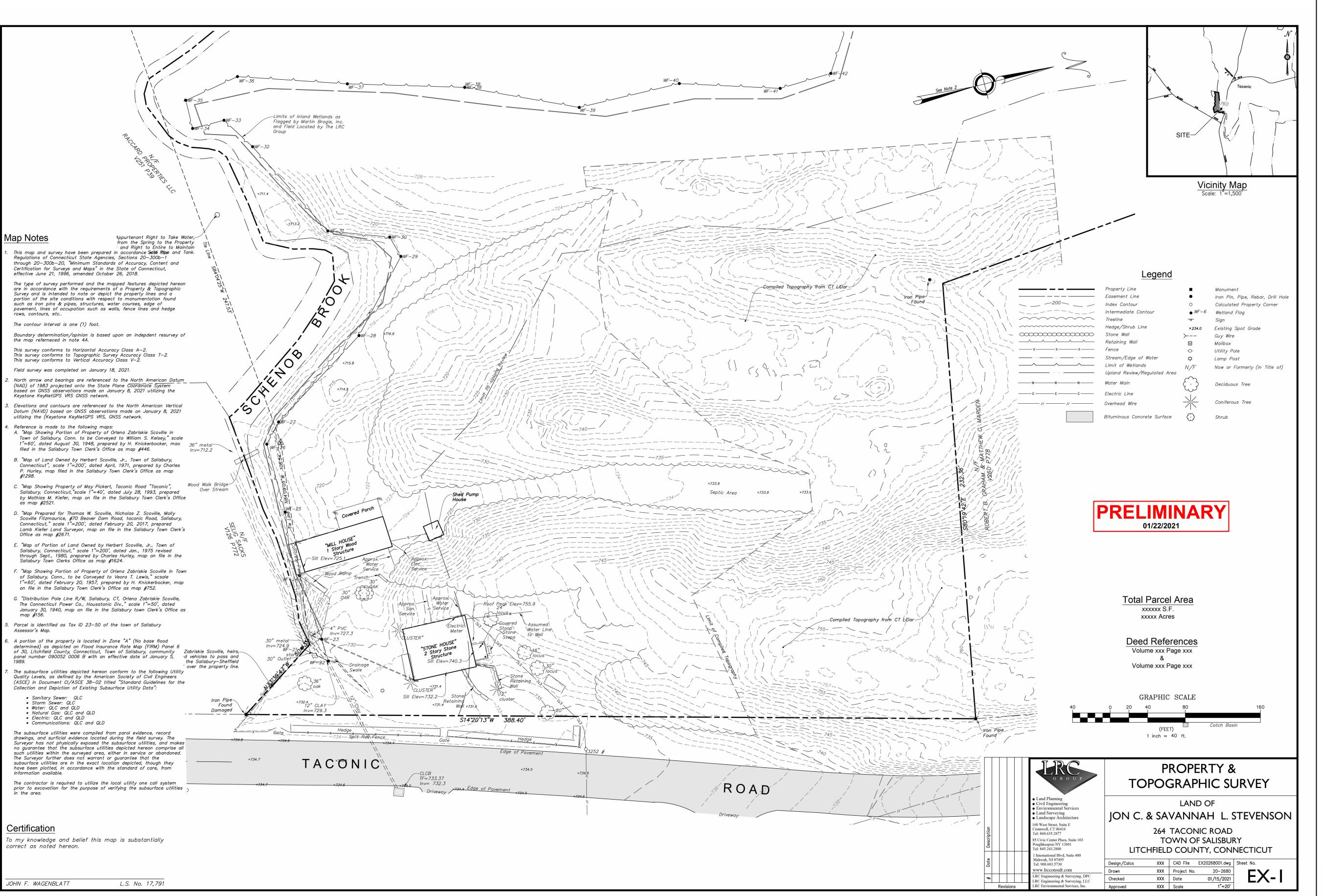
THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF INFORMATION AND BELIEF MEET THE REQUIREMENTS OF THE BLDG. CODE.

ALL WORK SHALL COMPLY WITH ANSI 117.1

ALL NEW WORK SHALL COMPLY WITH INTERNATIONAL ENERGY CODE.

ALL NEW INTERIOR FINISHES SHALL BE CONSTRUCTED OF MATERIALS

ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN VIOLATIONS OF THE SAME AND SHALL MAKE ALL WORK ACCEPTABLE TO THE



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Architect

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Emily Majer
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Tel: 845.757.5525
emily@whiteclaykillpreservation.com

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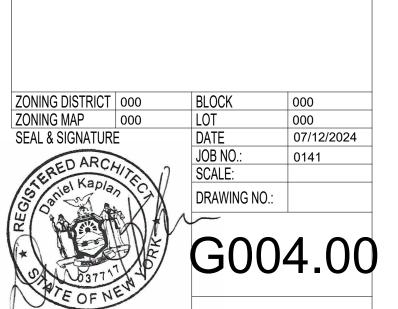
DATE	REVISION

PROJECT

264 TACONIC RD. SALISBURY, CT 06068

TITLE

SURVEY



© BOWERBIRD ARCHITECTS 2024 - DO NOT SCALE FROM DRAWINGS

ZONING NOTES AREAS REGULATED BY OTHER AGENCIES **ZONING MAP** ZONING OVERLAY DISTRICTS **ZONING DATA** Town of Salisbury STREET ADDRESS: 264 TACONIC RD., SALISBURY, CT 06068 Zoning Map MAP BLOCK LOT: 23-50 PROJECT **PROJECT** LAND USE: 1-1, RES LAND MDL-01 LAND CLASS: R LOCATION LOCATION PROJECT **ZONING DISTRICT: RR-1** LOCATION LOT AREA: 5AC (321,729 SF) ZONING OVERLAY DISTRICTS: N/A AREAS REGULATED BY OTHER AGENCIES: N/A SALISBURY HISTORIC DISTRICT COMMISSION (SHDC): YES, OLD STONE HOUSE SALISBURY ZONING REGULATIONS COMPLIES REQUIRED PROPOSED MIN. LOT AREA 8,000 SF 5 ACRE (EX'G) YES MIN. FRONT YARD SETBACK 71 FEET YES 40 FEET MIN. SIDE YARD SETBACK 1 30 FEET 617 FEET YES MIN. SIDE YARD SETBACK 2 30 FEET 75 FEET 309 FEET MIN. REAR YARD SETBACK 30 FEET YES MAX. BUILDING COVERAGE 0.96% (3,088 / 321,729) YES MAX. BUILDING HEIGHT YES 30/35 FEET 10.5 FEET MIN. SETBACK FROM WATERCOURSE 75 FEET 75 FEET -PRINCIPAL BUILDING MIN. SETBACK FROM WATERCOURSE 50 FEET N/A -ACCESSORY BUILDING Outer Housatonic River Corridor Water Tax Lot Lines Data Sources: CT DEEP 2016, 2010; ESRI 2011; FEMA 1996 (1989); Town of Salisbury 2014 Date of Revision: 7.30.20 Date of Revision: 7.9.20 Areas Regulated By Other Agencies Zoning Overlay Districts TOWN OF SALISBURY, CT, PLANNING & ZONING COMMISSION TOWN OF SALISBURY, CT, PLANNING & ZONING COMMISSION (not the Salisbury Planning and Zoning Commission) PLOT PLAN SCALE: 1" = 100' SITE PLAN SCALE 1/16" = 1' - 0" **ZONING DIAGRAM** REAR YARD SETBACK FRONT YARD SETBACK 742 TOP OF ROOF 20' - 8 3/4" LEVEL 3 16' - 1 3/8" 737 TACONIC RD. LEVEL 2² 735 PROPOSED FLOOR LEVEL 1;" EX'G SE^{0'} - 0" FLOOR 0" 734 NEW ADDITION 733 MILL WORK LEVEL 2 EX'G FB/-6' - 8 1/2"? -8' - 2":" -732 20' - 6" EXISTING OLD STONE HOUSE 75 FEET SETBACK FROM WATERCOURSE <u>LEGEND</u> ADDITION

PROPOSED ADDITION

EXISTING BUILDING

27' - 8 3/4"

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

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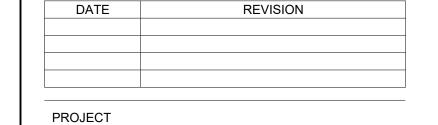
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TITLE

ZONING ANALYSIS

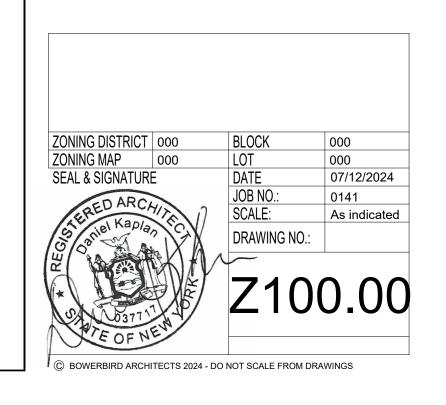


TABLE R-VALUES R-VALUE CONCRETE 60 POUNDS PER 0.52 PER CUBIC FOOT AT 1" THICKNESS INCH CONTINUOUS RIGID 5 PER POLYSTYRENE (EXTRUDED) INCH CONTINUOUS SEMI-RIGID 4.3 PER STONE WOOL OPEN CELL SPRAY FOAM 3.5 PER INSULATION CLOSED CELL SPRAY FOAM 6.5 PER INSULATION 5/8" SHEETROCK FIRECODE C CORE POIL BACKED GYP. BD. 0.2 PER STUCCO INCH 5/8" DENSEGLASS SHEATING 0.67 AIR GAP

TABLE 2021 IECC

	CHAPTER R4 RESID	DENTIAL ENERGY EFFICIENCY - CL	IMATE ZONE 5
DET	TABLE R402.1.3 INSULA AILS SEE SHEET EN002.00 FOR TYPICAL FLOOF	ATION AND FENESTRATION REQUIREMENTS E R, FOUNDATION AND WALL DETAILS, SEE SHE	
ITEM ITEM DESCRIPTION PROPOSED DESIGN VALUE CODE VALUE AND CITATION (ZOI			
1	FENESTRATION U-FACTOR	U-0.30	U-0.30 (Zone 5)
2	SKYLIGHT U-FACTOR	U-0.55	U-0.55 (Zone 5)
3	GLAZED FENESTRATION SHGC	0.40	0.40 (Zone 5)
4	CEILING R-VALUE	R-60	R-60 (Zone 5)
5	WOOD FRAME WALL R-VALUE	R-32.5	R-30 OR R-13 + 10ci (Zone 5)
6	MASS WALL R-VALUE	N/A	R-13 / 17 (Zone 5)
7	FLOOR R-VALUE	N/A	R-30 (Zone 5)
8	BASEMENT WALL R-VALUE	N/A	R-15ci (Zone 5)
9	SLAB R-VALUE & DEPTH	R-10ci	R-10ci, 4 FEET (Zone 5)
10	CRAWL SPACE WALL R-VALUE	N/A	R-15ci (Zone 5)
11	PIPE	R-3	R-3 (R403.4)
12	LIGHTING	100% OF LIGHTING FIXTURES TO BE HIGH EFFICIENCY	100% HIGH EFFICIENCY (R404.1)

IECC COMPLIANCE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE COMPLIANCE WITH 2021 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE, USING CHAPTER 4 [RE].

AS SHOWN ON PLAN SET

See proposed ERV on

M101.00 and M102.00

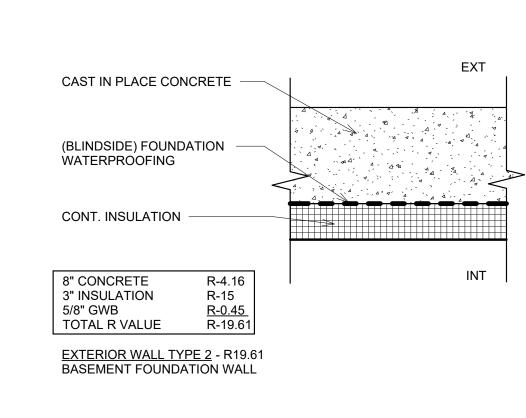
Electrical Legend note 4

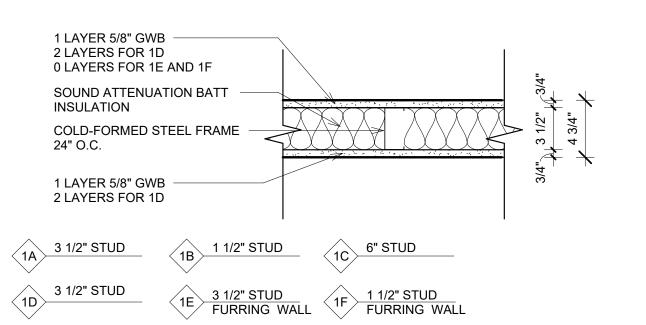
on E101.00 and E102.00

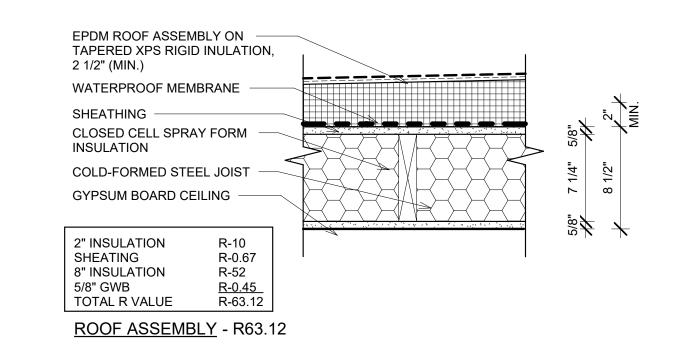
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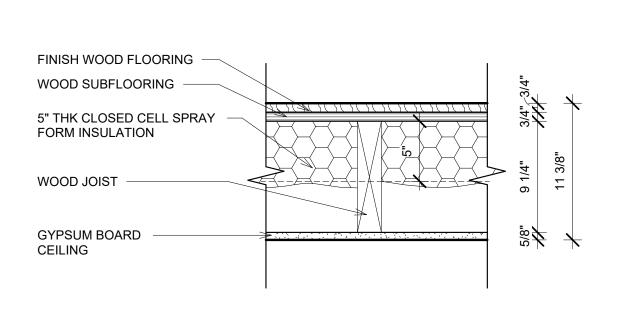
CODE CITATION	AS SHOWN ON PLAN SET	CODE CITATION	AS SHOWN ON PLA
R401.2 Application Residential Buildings Shall comply with R402.1.5 and R401.2.1 R401.2.1 Prescriptive Compliance Option The prescriptive compliance option requires compliance with R401 through R404	See this schedule	R403.6 Mechanical ventilation The buildings complying with section R402.4.1 shall be provided with ventilation that complies with the requirements of section M1505 of the International Residential Code or International Mechanical Code, as applicable or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating	See proposed ERV o Mechanical plans M101.00-M102.00
R401.3 Certificate A permanent certificate shall be completed by the builder and installed at the location indicated on Floor Plan A101.00	See note A101.00	R403.7 Equipment sizing and efficiency rating Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved	See HVAC notes on Mechanical Plans M101.00 and M102.0
R402.1.1 Vapor Retarder Wall assemblies in the building thermal envelope shall comply with the vapor retarder requirements of R702.7 of the international residential code per wall assembly details on EN001.00	See Wall, floor and roof types on sheet EN001.00	heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.	
R402.1.3 R-Value Alternative R-Values and fenestration shall meet the requirements in Table R402.1.3 as specified on	See Wall, floor and roof types and table R402.1.3	R403.10 Energy consumption of pools and spas The energy consumption of pools and permanent spas shall be controlled by the requirements in section R403.10.1 through R403.10.3	See note on A102.00
this sheet. R402.1.5 Additional Energy Efficiency According to section R408.2.2 More efficient HVAC equipment performance option 2a greater or equal to 10HSPF/16SEER air source heat pump is installed	on sheet EN001.00 See Mechanical Equipment schedule on M101.00	R403.5 Lighting Equipment All permanent installed lighting fixtures shall contain only high efficacy lighting sources	Electrical Legend note on E101.00 and E102
R402.2 Specific Insulation Requirements Insulation shall meet specific requirements of Section R402.2.1 through R402.2.12	See construction details on A501.00 - A503.00		
R402.4 Air Leakage The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.4.1 through R402.4.5.	See construction details on A501.00 - A503.00		
R402.4.1.2 Testing The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding three air changes per hour. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals).	THE HOUSE WILL REQUIRE A BLOWN DOOR TEST AT COMPLETION OF WORK		
R402.4.3 Fenestration Air Leakage Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m2), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m2), when tested according to NFRC 400 or AAMA/WDMA/CSA 101/I.S.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.	See note on A601.00		
R403.1 Controls At least one thermostat shall be provided for each separate heating and cooling system.	See mechanical plans on M101.00 and M101.00		
R403.1.1 Programmable Thermostat The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day and different days of the week. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).	See notes about smart thermostat on mechanical plans on M101.00 and M102.00		
R403.1.2 Heat Pump Supplementary Heat Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.	No electric resistance heat proposed. See note 7 on Mechanical Plans M101.00 and M102.00		
R403.2 Hot water boiler temperature reset The manufacturer shall equip each gas, oil and electric boiler (other than a boiler equipped with a tankless domestic water heating coil) with automatic means of adjusting the water temperature supplied by the boiler to ensure incremental change of the inferred heat load will cause an incremental change in temperature of the water supplied by the boiler. This can be accomplished with outdoor reset, indoor reset or water temperature sensing.	See note on P101.00		
R403.3 Ducts Ducts and air handlers shall be installed in accordance with sections R402.3.1 through R403.3.7	See HVAC notes on Mechanical Plans M101.00 and M102.00		
R403.4 Mechanical System Piping Insulation Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.	See HVAC notes on Mechanical Plans M101.00 and M102.00		
R403.5 Service Hot Water Systems Energy conservation measures for service hot water systems shall be in accordance with Sections R403.5.1. through R403.5.3	See water riser diagram on P101.00 and plumbing notes on P102.00		

WALL, FLOOR AND ROOF TYPES









FLOOR ASSEMBLY - R-32.5 (R-6.5 X 5")

EXT. FINISH TBD

5/8" DENSEGLASS

INSULATION

WOOD STUDS

PAINTED INTERIOR

WATER RESISTIVE BARRIER

CLOSED CELL SPRAY FOAM

5/8" TYPE X GYPSUM BOARD

EXTERIOR WALL TYPE 3 - R32.5 (R6.5 X 5")

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA Bowerbird Architects, PLLC 124 9th St. Suite 250 Brooklyn NY 11215 Tel: 917.447.7855

Owner

EXT

AREK FEREDJIAN & ELINA TUNYAN

Structural Engineer

Melissa A. O'Leary, PE Proper & O'Leary Engineering, dpc PO Box 246, Troy, NY 12181 518.610.8331 www.po-eng.com

Window Restoration

Emily Majer White Clay Kill Preservation, LLC PO Box 25, Tivoli, NY 12583 Tel: 845.757.5525 emily@whiteclaykillpreservation.com

CONSTRUCTION SET 07/12/2024

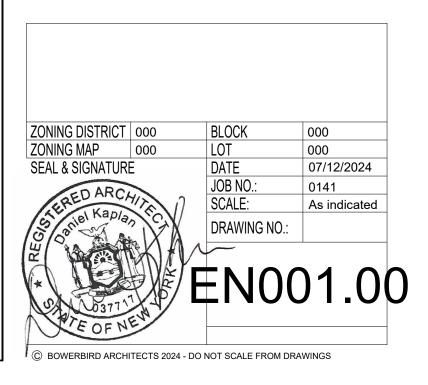
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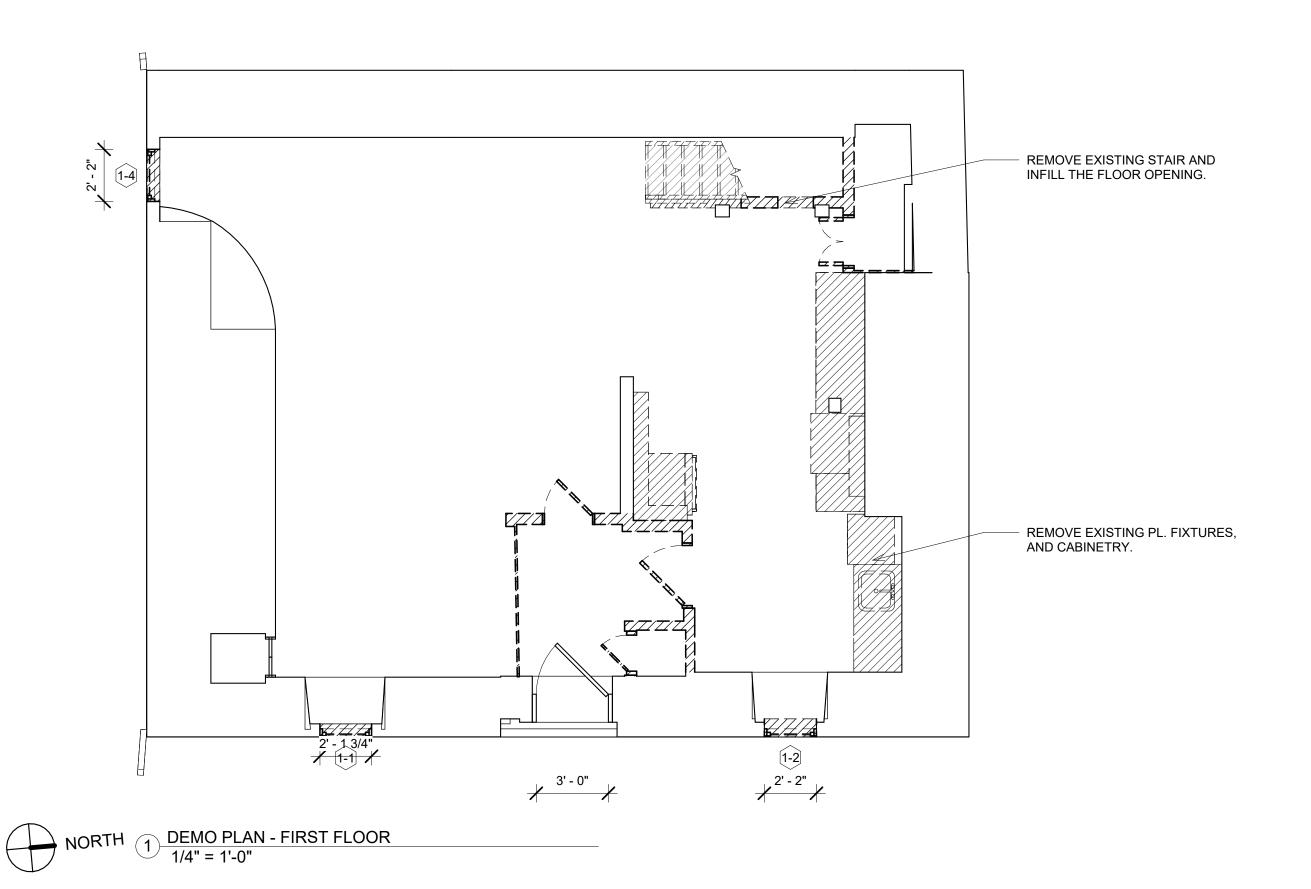
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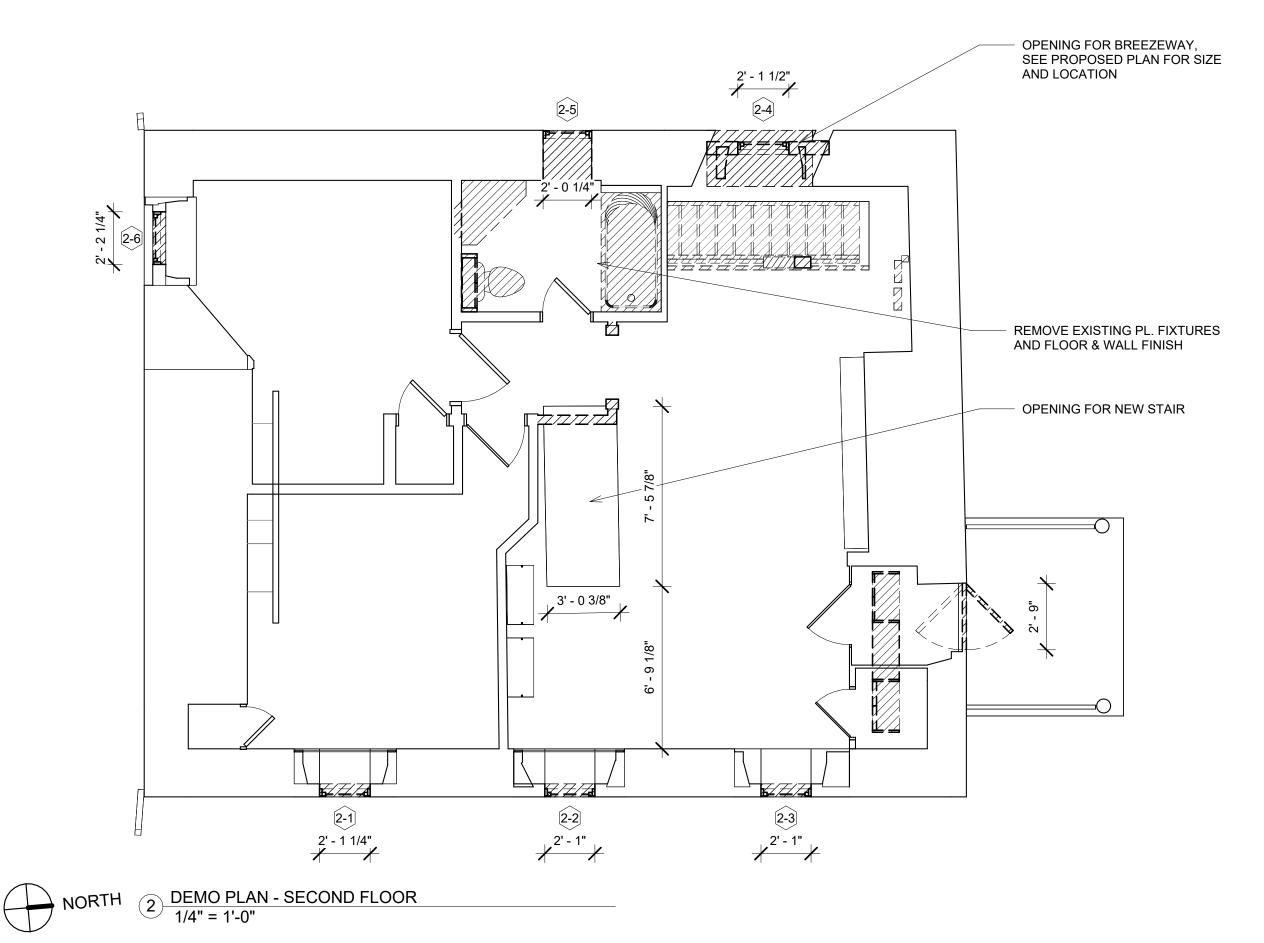
PROJECT

264 TACONIC RD. SALISBURY, CT 06068

ENERGY CODE REQUIREMENTS







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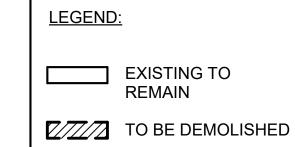
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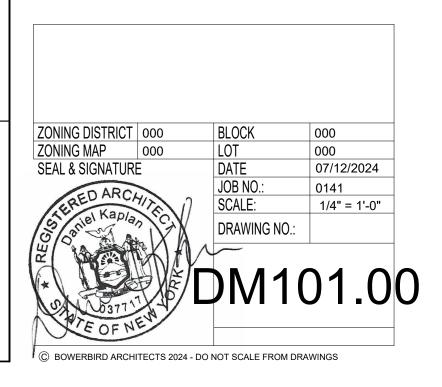
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DEMO PLANS



- REMOVE EXISTING PARTITIONS, DOORS, FLOORING, WINDOWS, PLUMBING FIXTURES, MECHANICAL EQUIPMENTS,
- CASEMENT, STAIRS AND ETC., AS INDICATED.
- ALL WINDOWS TO BE REPLACED
 ALL EXISTING FLOOR JOIST FRAMING WILL BE REMAIN
 UNLESS MINOR PLACEMENT IF REQUIRED DURING
 CONSTRUCTION







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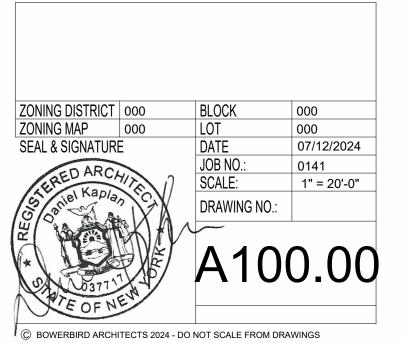
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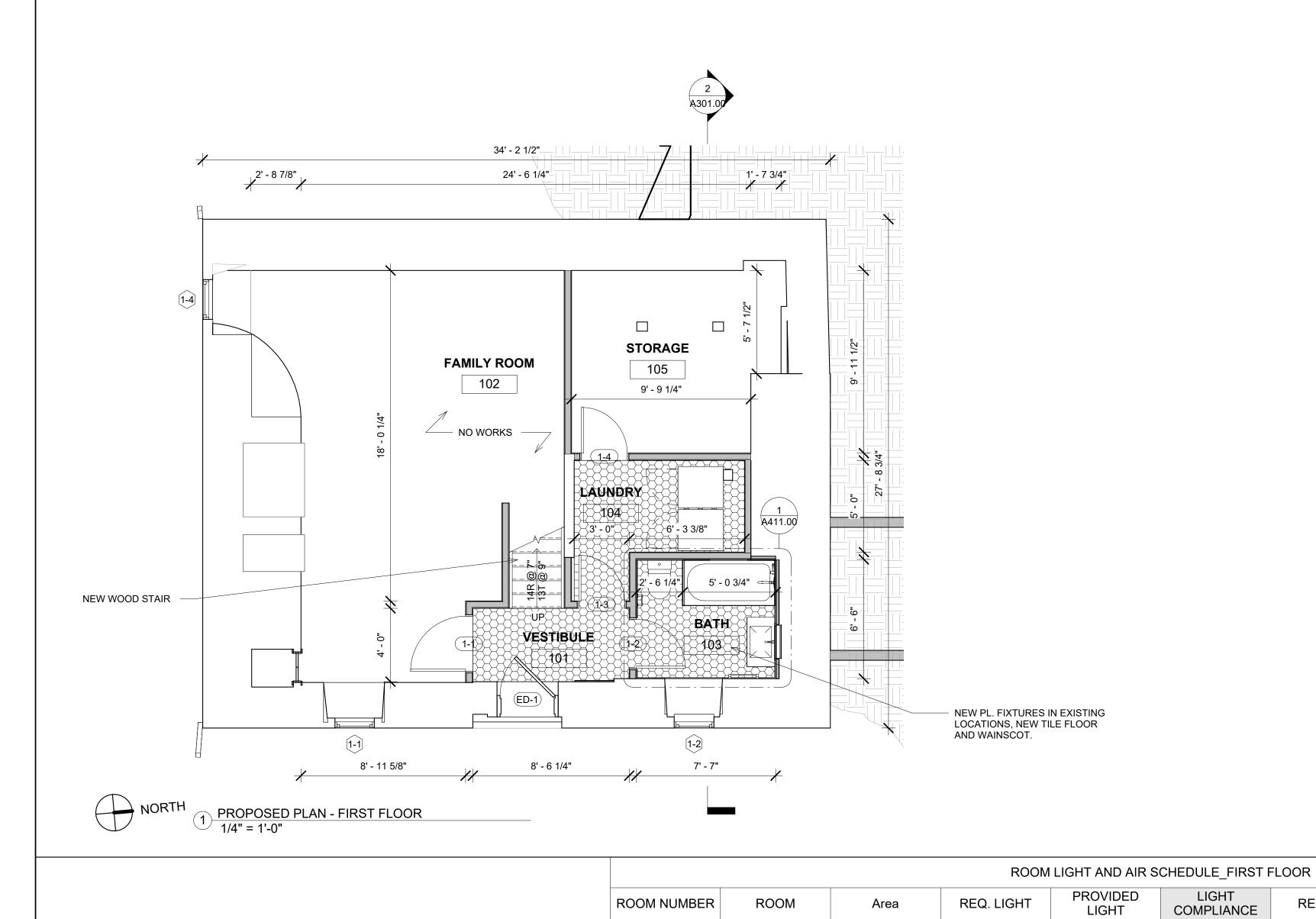
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SITE PLAN





EX'G FIRST FLOOR

102

FAMILY ROOM

324 SF

32 SF

18 SF

264 TACONIC RD.

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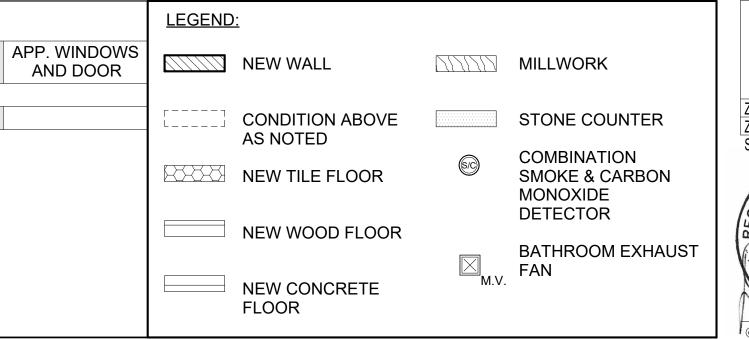
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TITL

FLOOR PLANS - FIRST FLOOR



AIR COMPLIANCE

No

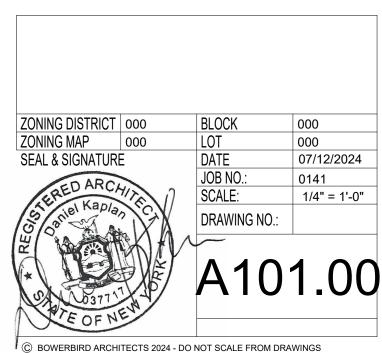
REQ. AIR

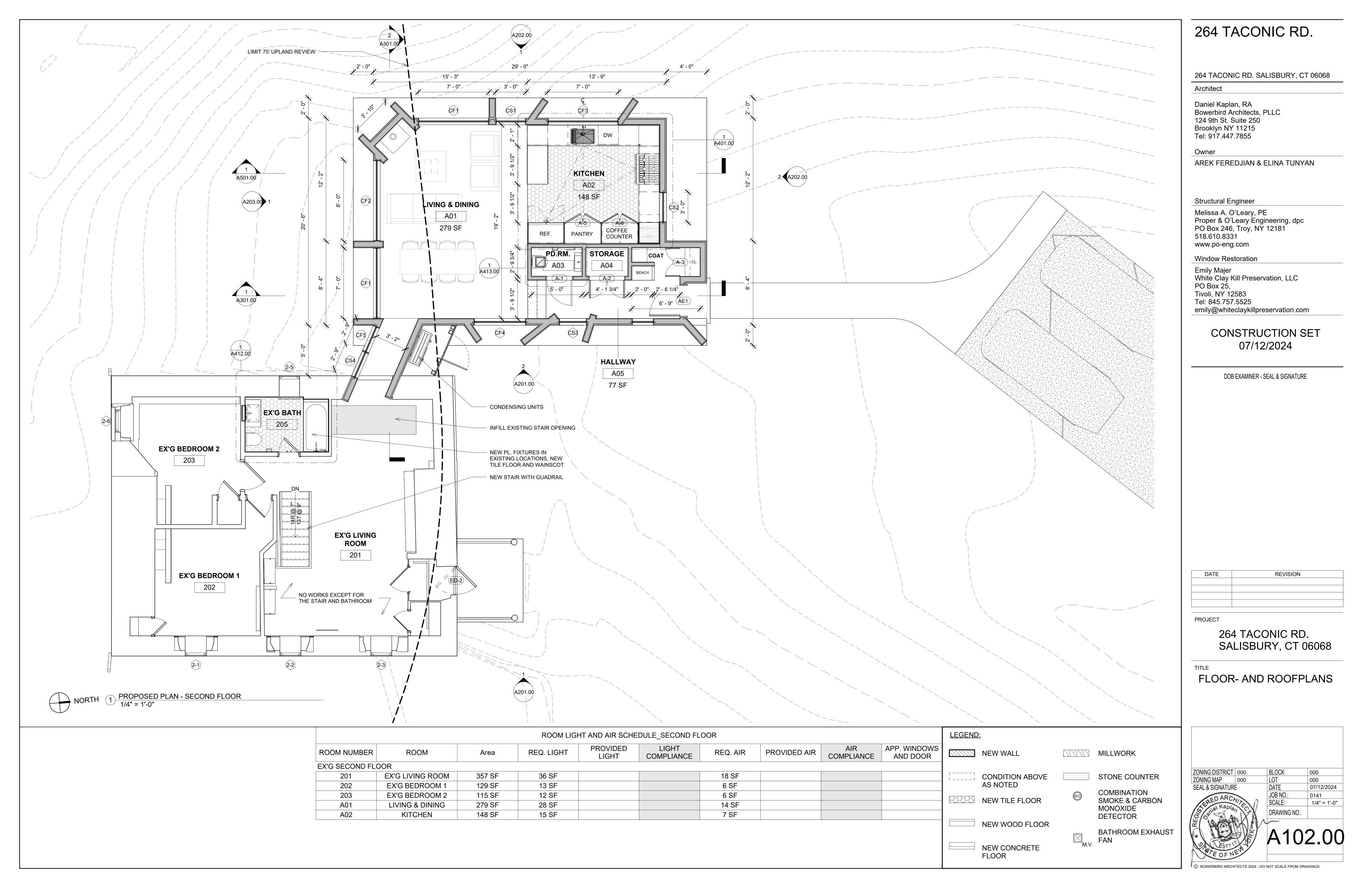
16 SF

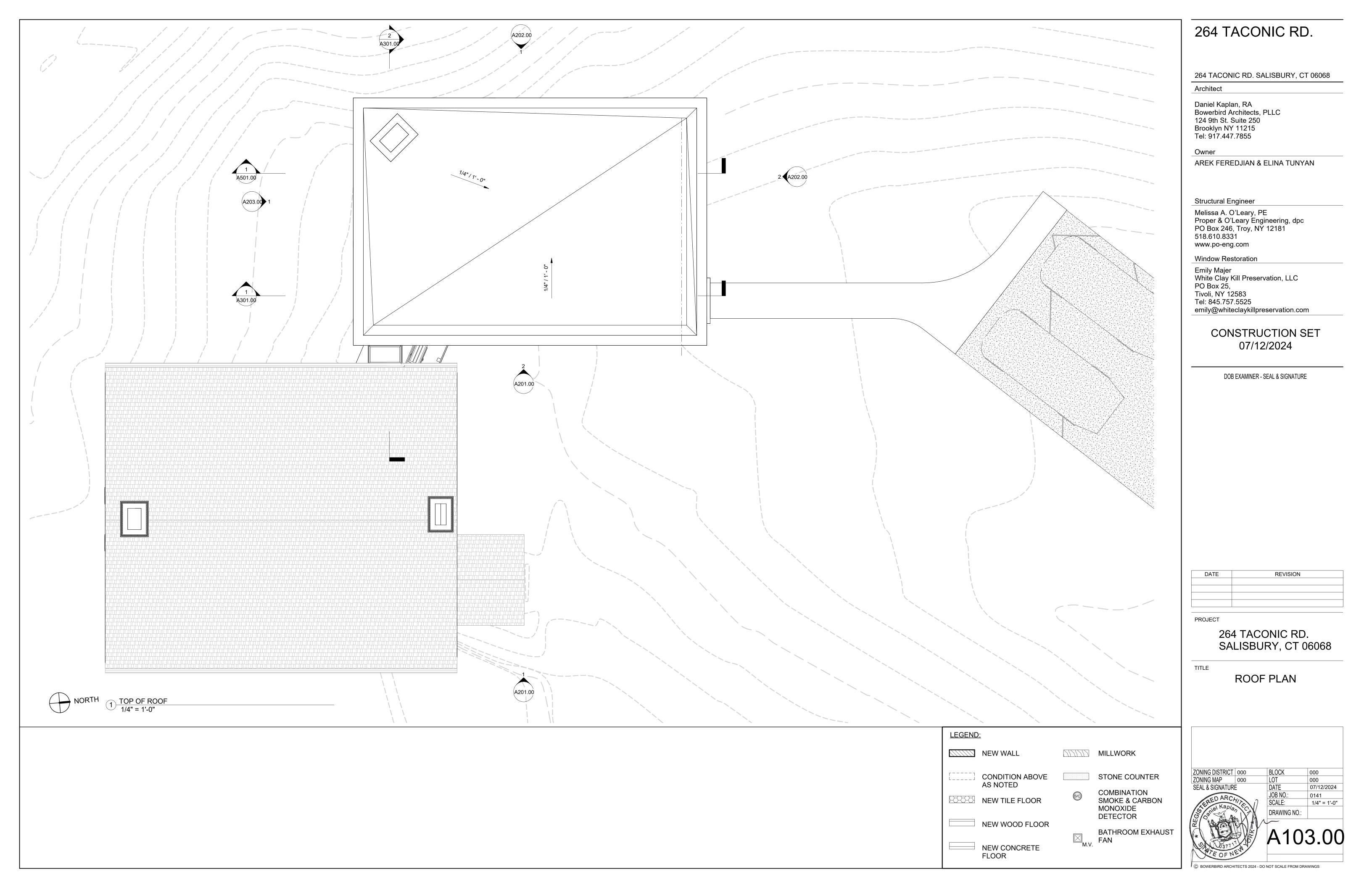
No

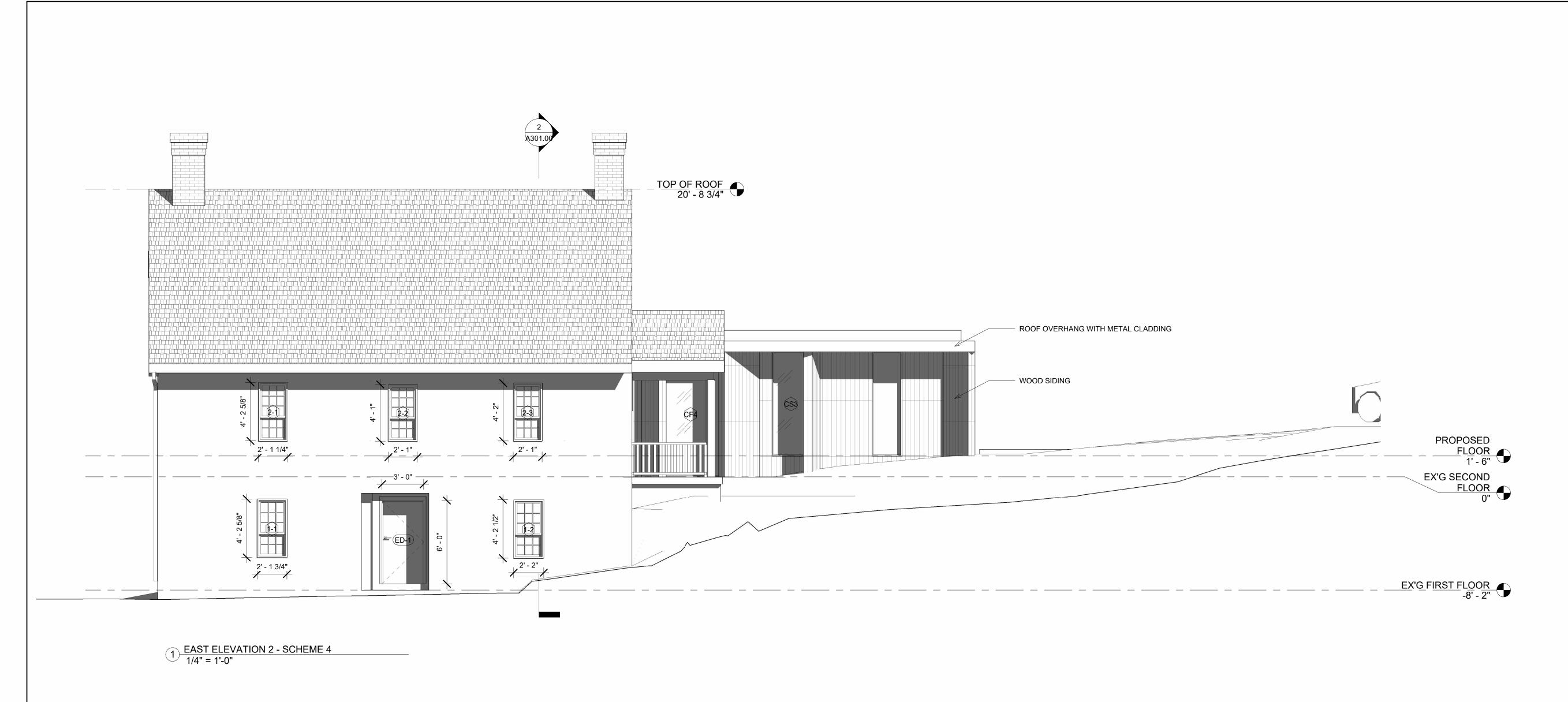
PROVIDED AIR

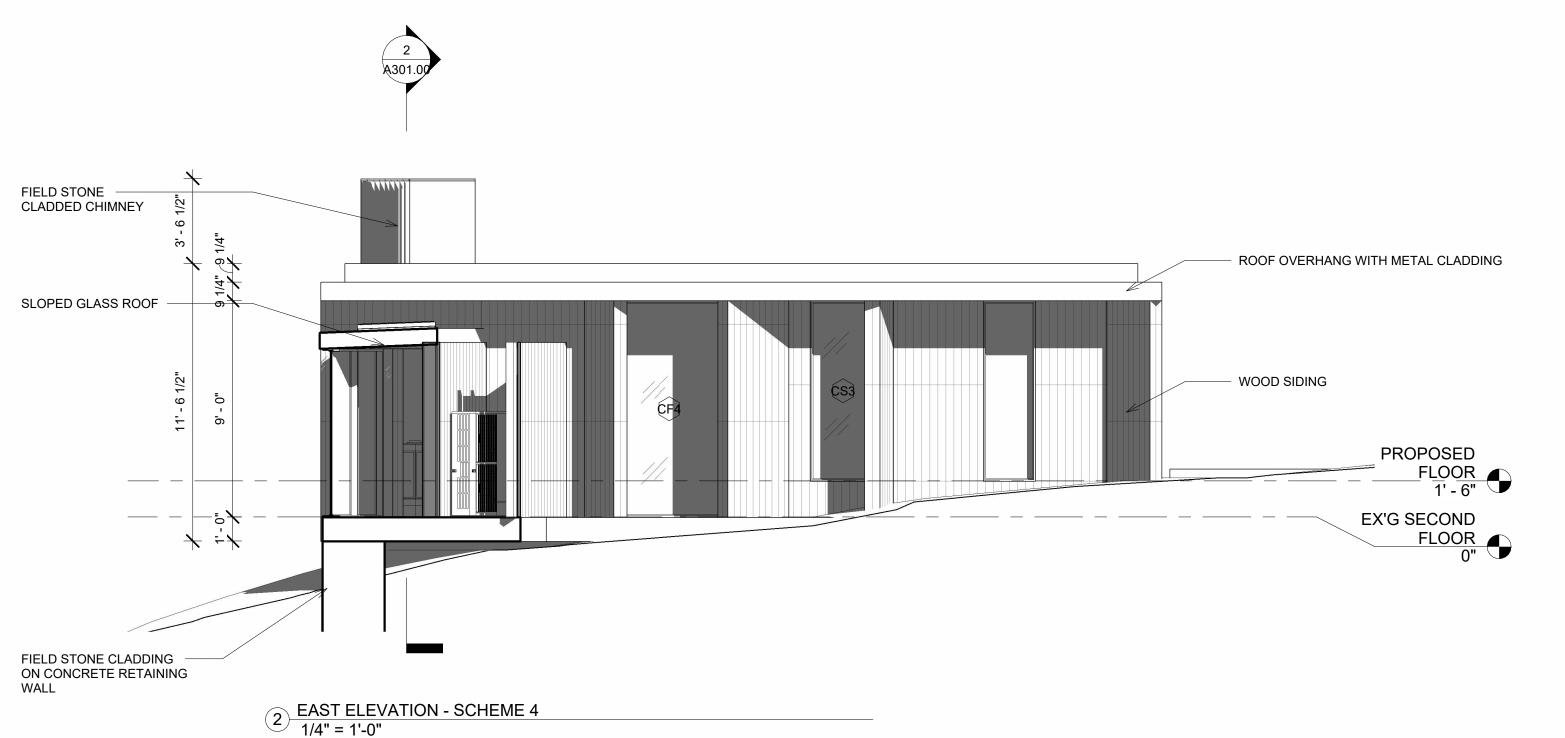
8 SF











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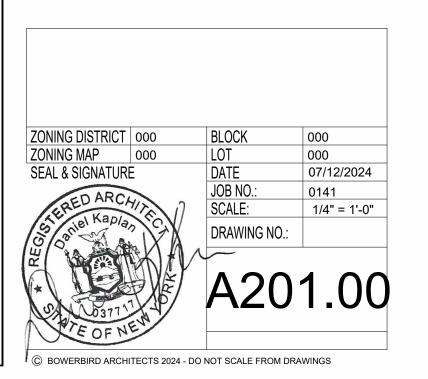
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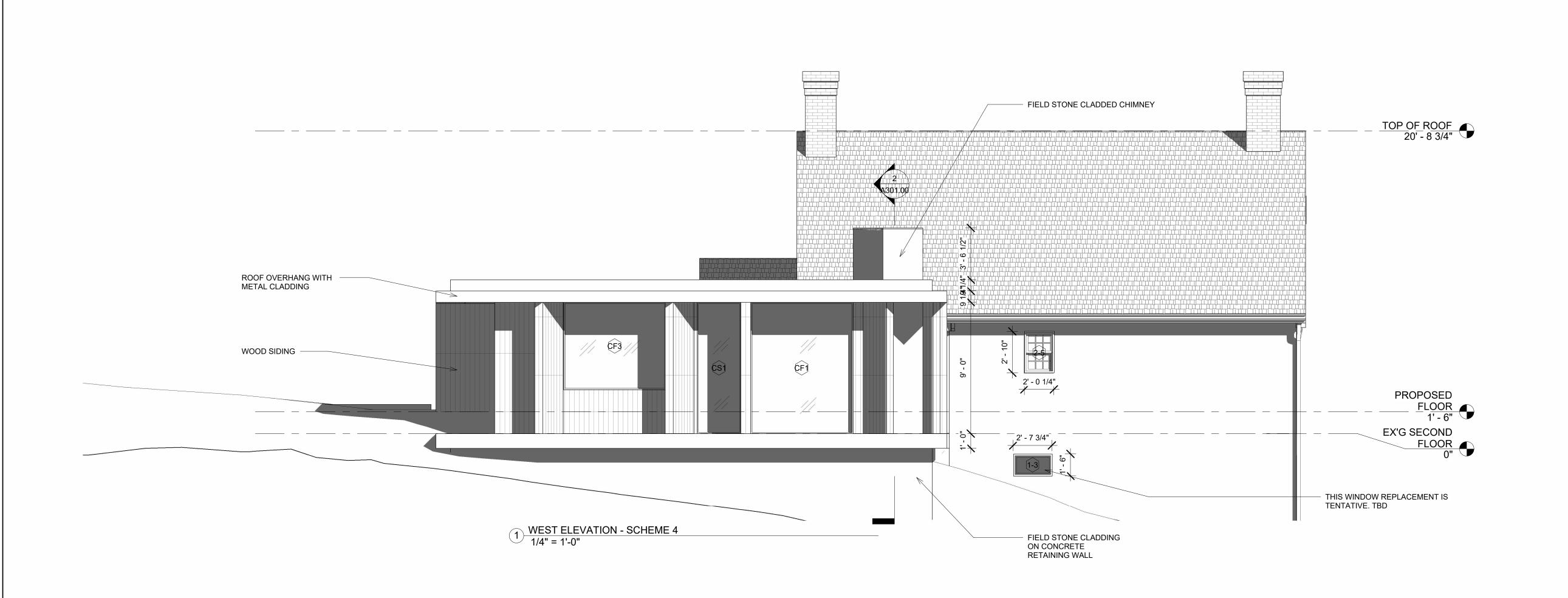
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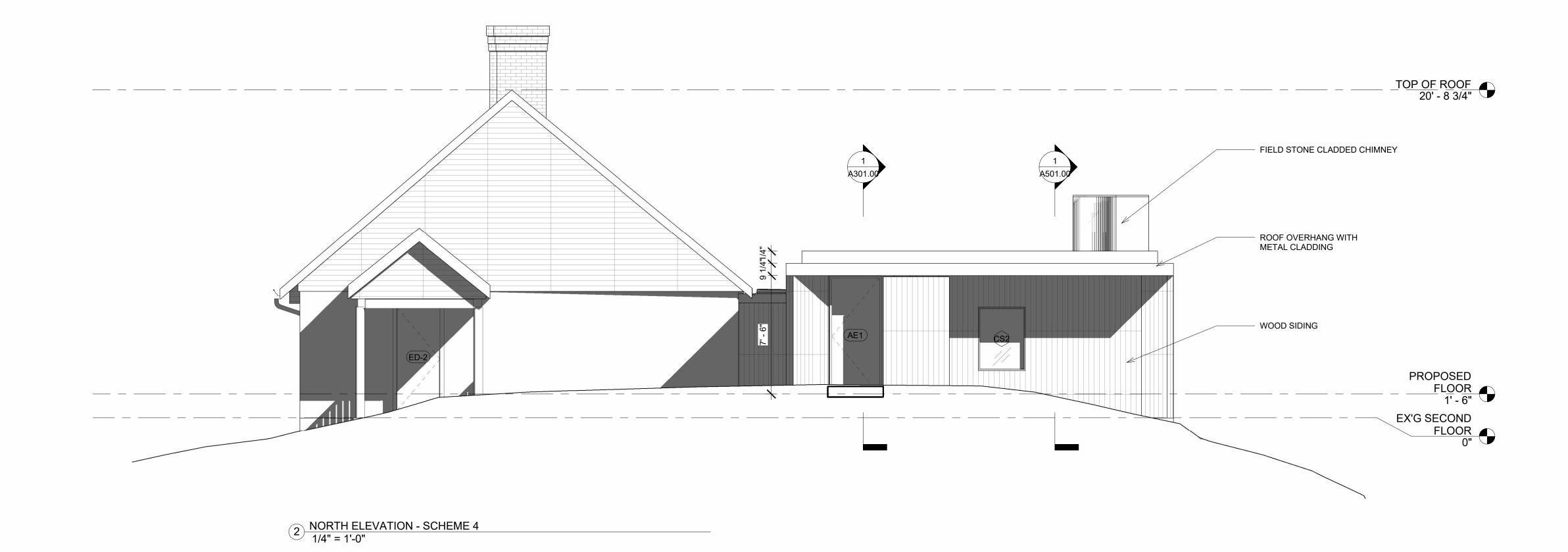
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264 TACONIC RD. SALISBURY, CT 06068

BUILDING ELEVATIONS -FRONT & REAR







264 TACONIC RD. SALISBURY, CT 06068

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Window Restoration

Emily Majer White Clay Kill Preservation, LLC PO Box 25, Tivoli, NY 12583 Tel: 845.757.5525 emily@whiteclaykillpreservation.com

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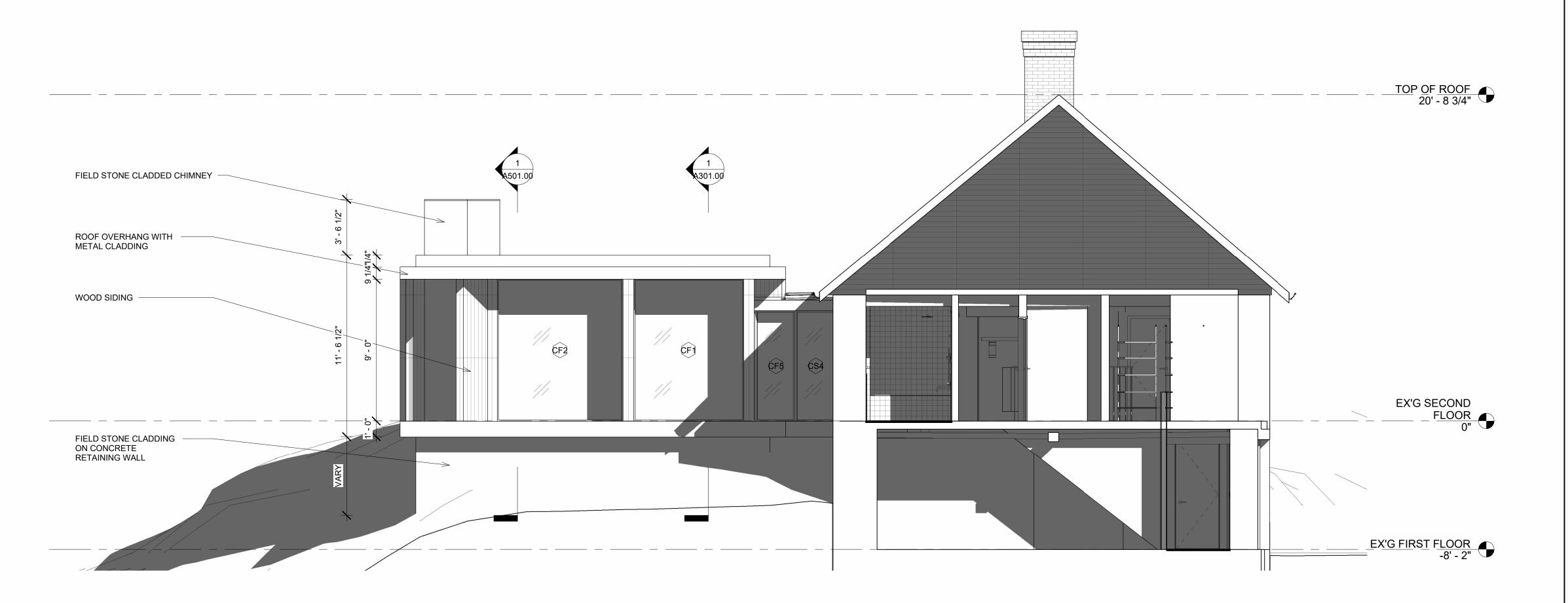
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TITL

BUILDING ELEVATIONS -SIDES





1 SOUTH ELEVATION - SCHEME 4 1/4" = 1'-0"

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

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Owner

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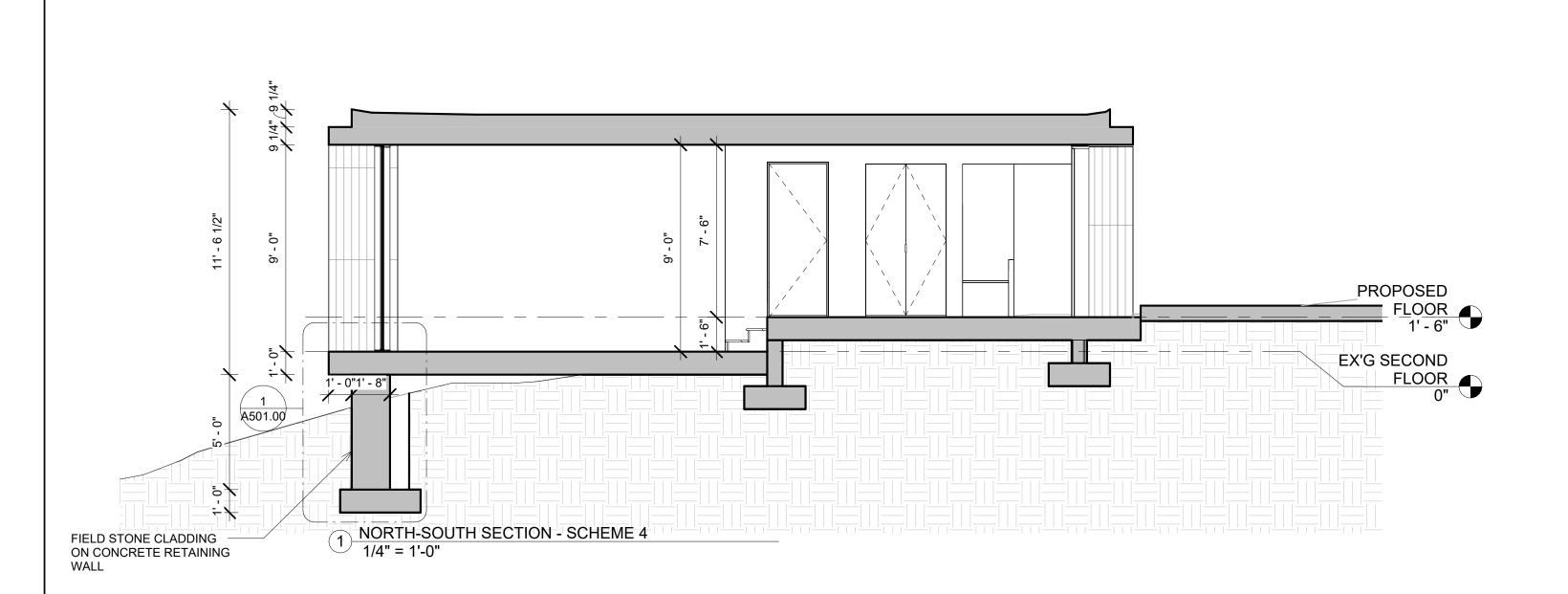
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TITL

BUILDING ELEVATIONS -SIDES







264 TACONIC RD. SALISBURY, CT 06068

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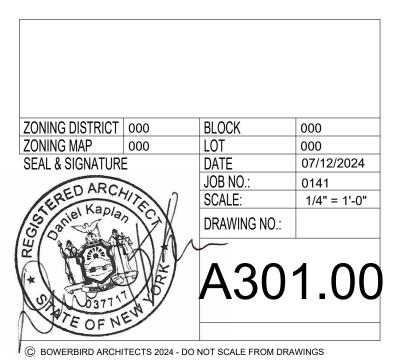
REVISION

PROJECT

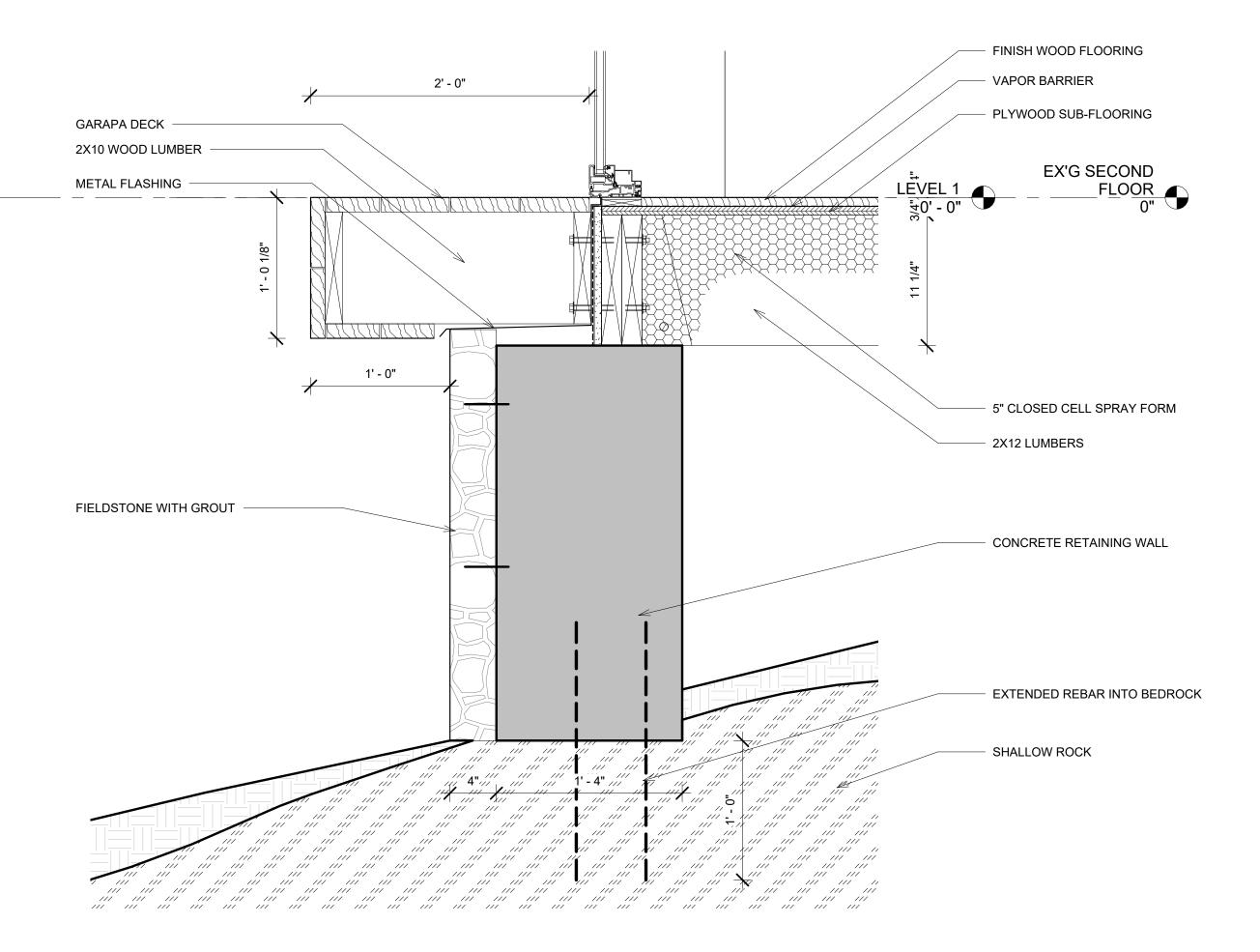
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TITL

BUILDING SECTIONS



* SEE STRUCTURAL DRAWINGS FOR MORE DETAILS



1 SECTION DETAIL - PLINTH
1 1/2" = 1'-0"

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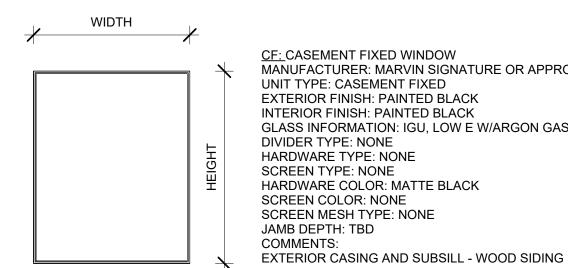
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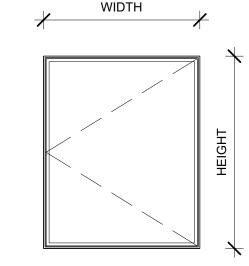
CONSTRUCTION DETAILS



	WINDOW SCHEDULE (SEE EXTERIOR ELEVATIONS FOR TAGS)										NTE	RIOR	DOOR	SCH	EDUL	.E									
MARK	COUNT	TYPE	WIDTH	HEIGH	IT SILL HEIGH	DESCRIPTIONS	PROVIDED LIGHT	PROVIDED INT F	FINISH EX	T FINISH GLASS	SHG	C U-FACT	OR AIR LEAKAGE	MARK TYPE MARK	TYPE	WIDTH	HEIGH	T THICKNE SS	DESC.	DOOR MATERIAL	DOOR FINISH	DOOR TYPE	FRAME MATERIAL	FRAME FINISH	FRAME TYPE HARD WARE
CF1	2	CASEMENT FIXED	7' - 0"	9' - 0"	0"	LIVING & DINING IN ADDITION	63 SF	0 SF ALUM.	PTD ALU	1. PTD Insulated - Low E3- Argon	0.19	0.28	0.06	EX'G FIRST FLOOR		•				•					
CF2	1	CASEMENT FIXED	8' - 0"	9' - 0"	0"	LIVING IN ADDITION	72 SF	0 SF ALUM.	PTD ALUM	1. PTD Insulated - Low E3- Argon	0.19	0.28	0.06	1-1 83 SING	LE FLUSH DOOR	3' - 0"	7' - 0"	1 3/8"							
CF3	1	CASEMENT FIXED	7' - 0"	6' - 0"	3' - 0"	KITCHEN IN ADDITION	42 SF	0 SF ALUM.	PTD ALUM	1. PTD Insulated - Low E3- Argon	0.19	0.28	0.06	1-2 59 SING	LE FLUSH DOOR	2' - 8"	7' - 0"	1 3/8"					,	1	
CF4	1	CASEMENT FIXED	5' - 2"	9' - 0"	0"	DINING IN ADDITION	47 SF	0 SF ALUM.	PTD ALUM	1. PTD Insulated - Low E3- Argon	0.19	0.28	0.06	1-3 265 SING	LE FLUSH DOOR	2' - 6"	7' - 0"	1 1/2"							
CF5	1	CASEMENT FIXED	2' - 9"	7' - 0"	0"	HALLWAY OPERABLE IN ADDITION	19 SF	0 SF ALUM.	PTD ALUM	1. PTD Insulated - Low E3- Argon	0.19	0.28	0.06	1-4 265 SING	LE FLUSH DOOR	2' - 6"	7' - 0"	1 1/2"					1	1	
CS1	1	CASEMENT SWING-IN	3' - 0"	9' - 0"	0"	LIVING OPERABLE IN ADDITION	27 SF	27 SF ALUM.	PTD ALUI	/I. PTD Insulated - Low E3- Argon	0.19	0.28	0.2	EX'G SECOND FLOO	₹										
CS2	1	CASEMENT SWING-IN	3' - 0"	4' - 0"	3' - 0"	KITCHEN OPERABLE IN ADDITION	12 SF	12 SF ALUM.	PTD ALU	1. PTD Insulated - Low E3- Argon	0.19	0.28	0.2	A-5 DD DOUI	BLE FLUSH DOOR	3' - 7"	7' - 0"	1 3/8"					7	1	
CS3	1	CASEMENT SWING-IN	2' - 9"	7' - 6"	1' - 6"	HALLWAY OPERABLE IN ADDITION	21 SF	21 SF ALUM.	PTD ALUI	/I. PTD Insulated - Low E3- Argon	0.19	0.28	0.2	A-6 DD DOUI	BLE FLUSH DOOR	3' - 7"	4' - 0"	1"							
CS4	1	CASEMENT SWING-IN	2' - 9"	7' - 0"	0"	HALLWAY OPERABLE IN ADDITION	19 SF	19 SF ALUM.	PTD ALUI	/I. PTD Insulated - Low E3- Argon	0.19	0.28	0.2	PROPOSED FLOOR				· ·		·				·	
CS5	1	CASEMENT SWING-IN	2' - 2"	7' - 6"	1' - 6"	HALLWAY OPERABLE IN ADDITION	21 SF	21 SF ALUM.	PTD ALUI	/I. PTD Insulated - Low E3- Argon	0.19	0.28	0.2	A-1 SD SING	LE FLUSH DOOR	2' - 6"	6' - 8"	1 3/8"					7	1	
														A-2 DD DOUI	BLE FLUSH DOOR	3' - 6"	6' - 8"	1 3/8"						1	



CF: CASEMENT FIXED WINDOW MANUFACTURER: MARVIN SIGNATURE OR APPROVED EQUAL UNIT TYPE: CASEMENT FIXED **EXTERIOR FINISH: PAINTED BLACK** INTERIOR FINISH: PAINTED BLACK GLASS INFORMATION: IGU, LOW E W/ARGON GAS DIVIDER TYPE: NONE HARDWARE TYPE: NONE SCREEN TYPE: NONE HARDWARE COLOR: MATTE BLACK



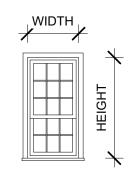
CS: CASEMENT SWING-IN WINDOW MANUFACTURER: MARVIN SIGNATURE OR APPROVED EQUAL UNIT TYPE: CASEMENT SWING-IN **EXTERIOR FINISH: PAINTED BLACK** INTERIOR FINISH: PAINTED BLACK GLASS INFORMATION: IGU, LOW E W/ARGON GAS DIVIDER TYPE: NONE HARDWARE TYPE: SASH LOCK, HANDLE SCREEN TYPE: ALUMINUM SCREEN HARDWARE COLOR: MATTE BLACK SCREEN COLOR: MATCHES FRAME COLOR SCREEN MESH TYPE: BETTERVUE SCREEN CLOTH JAMB DEPTH: TBD

EXTERIOR CASING AND SUBSILL - WOOD SIDING

COMMENTS:

OLD STONE HOUSE WINDOW SCHEDULE (SEE EXTERIOR ELEVATIONS FOR TAGS)

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MARK	COUNT TYPE	WIDTH	HEIGHT	SILL HEIGHT	DESCRIPTIONS	PROVIDED LIGHT	PROVIDED AIR	INT FINISH	EXT FINISH	GLASS	SHGC	U-FACTOR	AIR LEAKAGE
1-1	1 SINGLE HUNG	2' - 1 3/4"	4' - 2 5/8"	2' - 4 1/8"	STONE HOUSE FIRST FLOOR FAMILY ROOM	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19		0.2
1-2	1 SINGLE HUNG	2' - 2"	4' - 2 1/2"	2' - 3 5/8"	STONE HOUSE FIRST FLOOR BATH	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
1-3	1 SINGLE HUNG	2' - 7 3/4"	1' - 6"	5' - 3 1/4"	STONE HOUSE FIRST FLOOR FAMILY ROOM	3 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
1-4	1 SINGLE HUNG	2' - 2"	4' - 3"	2' - 4 3/4"	STONE HOUSE FIRST FLOOR FAMILY ROOM	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-1	1 SINGLE HUNG	2' - 1 1/4"	4' - 2 5/8"	2' - 7"	STONE HOUSE SECOND FLOOR BEDROOM 1	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-2	1 SINGLE HUNG	2' - 1"	4' - 1"	2' - 6 7/8"	STONE HOUSE SECOND FLOOR LIVING	7 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-3	1 SINGLE HUNG	2' - 1"	4' - 2"	2' - 7"	STONE HOUSE SECOND FLOOR LIVING	7 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-5	1 SINGLE HUNG	2' - 0 1/4"	2' - 10"	4' - 2"	STONE HOUSE SECOND FLOOR BATH	5 SF	2 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2
2-6	1 SINGLE HUNG	2' - 2 1/4"	4' - 4"	2' - 6 3/8"	STONE HOUSE SECOND FLOOR BEDROOM 2	8 SF	3 SF	PTD	MATCH EX'G	INSULATED - LOW E3- ARGON	0.19	0.28	0.2



SING HUNG WINDOW (EX'G REPLACEMENT)

MANUFACTURER: MARVIN SIGNATURE OR APPROVED EQUAL UNIT TYPE: SINGLE HUNG EXTERIOR FINISH: NON-CLAD (ALL WOOD)

SPECIES: DOUGLAS FIR INTERIOR FINISH: PRIMED GLASS INFORMATION: IGU, LOW E W/ARGON GAS

DIVIDER TYPE: NONE HARDWARE TYPE: SASH LOCK, SASH LIFT SCREEN TYPE: HALF ALUMINUM SCREEN HARDWARE COLOR: SATIN NICKEL SCREEN COLOR: MATCHES FRAME COLOR

SCREEN MESH TYPE: BETTERVUE SCREEN CLOTH JAMB DEPTH: 4 9/16"

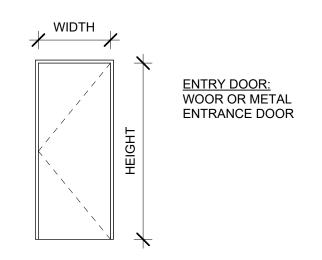
EXTERIOR CASING AND SUBSILL - CUSTOME BRICK MOLD

NOTE:

GENERAL CONTRACTOR SHALL PROVIDE PRICING FOR MATERIALS AND INSTALLATION OF WINDOW REPLACEMENTS AT "OLD STONE HOUSE" AND "MILL HOUSE." GC SHALL CONSULT WITH ARCHITECT AND OWNER ABOUT WINDOW OPTIONS WITH RESPECT TO HISTORIC DISTRICT COMMISSION AND PRICING

GC SHALL MEASURE "MILL HOUSE WINDOWS." INCLUDING MUNTINS, FOR REPLACEMENT OPTIONS

EXTERIOR DOOR SCHEDULE SHGC U-FACTOR LEAKAGE TYPE MARK PROVIDED LIGHT FRAME COUNT TYPE WIDTH DESCRIPTION PROVIDED AIR DOOR MATERIAL/ FINISH HEIGHT MATERIAL EX'G SECOND FLOOR ENTRY DOOR @ STONE HOUSE 1ST STONE HOUSE FIRST FLOOR ENTRY DOOR WOOD WOOD 0.35 ENTRY DOOR @ STONE HOUSE 2ND 18 SF WOOD WOOD 0.2 STONE HOUSE SECOND FLOOR ENTRY DOOR 2' - 9" 6' - 6" PROPOSED FLOOR **NEW ENTRY DOOR** 3' - 0" ENTRY DOOR @ ADDITION 20 SF METAL DOOR METAL 0.35 0.2 7' - 4"



GENERAL CONTRACTOR SHALL PROVIDE PRICING FOR MATERIALS AND INSTALLATION OF EXTERIOR DOOR REPLACEMENTS AT "OLD STONE HOUSE" AND "MILL HOUSE." GC SHALL CONSULT WITH ARCHITECT AND OWNER ABOUT DOOR OPTIONS WITH RESPECT TO HISTORIC DISTRICT COMMISSION AND PRICING.

GC SHALL MEASURE "MILL HOUSE DOORS," FOR REPLACEMENT OPTIONS

HARDWARE NOTE:

LEVER: EMTEK STUTTGART LEVER W/ DISK ROSETTE IN FLAT BLACK

HARDWARE SETS A. PRIVACY LOCKSET: EMTEK STUTTGART LEVER W/ DISK ROSETTE B. PASSAGE LOCKSET: EMTEK STUTTGART LEVER W/ DISK ROSETTE C. DUMMY LOCKSET: EMTEK STUTTGART LEVER W/ DISK ROSETTE (ONE SIDE ONLY - NO LATCH -PR W/ ROLLER BALL CATCH)

A-3 | DD | DOUBLE FLUSH DOOR | 2' - 10" | 6' - 8" | 1"

- ALL NEW SLAB DOORS SHALL RECEIVE :SET TYPE A, B, C (SEE SCHEDULE FOR SET TYPES)
- ALL FLUSH SLAB DOORS INSTALLED AS INVISIBLE DOORS TO RECEIVE CONCEALED HINGES; G.C. TO PROVIDE NUMBER OF AND SIZE OF HINGE PER MANUF. RECOMMENDATION PER DR HEIGHT &
- ALL FLUSH DOORS NOT INSTALLED AS INVISIBLE DOORS SHALL RECEIVE SQUARE BALL BEARING HINGES. THREE PER DOOR
- ALL LOCKSETS TO INCLUDE CORES
- GC WILL INSTALL DOORS STOPS AT ALL ROOM ENTRY DOORS (CLOSETS NOT INCLUDED)

- USE MILGO/BUFKIN "DSLR 025/050 SINGLE LEG REVEAL" GYP. BOARD BEAD FOR ALL FLUSH DOORS W/1/4" REVEAL. PAINT REVEAL SAME COLOR AS ADJACENT WALL
- THE FINISH FOR EACH DOOR HARDWARE SET HINGES & LOCKSET -SHALL MATCH
- G.C. TO VERIFY FINISHED OPENINGS ON SITE & WITH DOOR MANUFACTURER
- ALL NEW HINGES TO BE COORDINATED WITH HEIGHT & WEIGHT OF
- DOORS; MIN. 2 /DR ALL DOORS TO BE 3/4" UNDERCUT
- ALL FLUSH WOOD DOORS TO BE SOLID CORE
- ALL REFURBISHED ORIGINAL DOORS TO BE SANDED AND PUTTIED -PREPPED FOR NEW FINISH
- ALL NEW DOORS SHALL HAVE A 2 3/8" BACKSET GC TO CONFIRM BACKSET AT ALL REFURBISHED ORIGINAL DOORS

WIDTH

<u>SD:</u> SINGLE FLUSH

SWING DOOR

<u>SP:</u> SINGLE POCKET

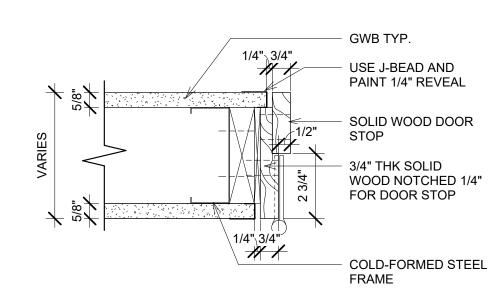
WIDTH

DOUBLE FLUSH

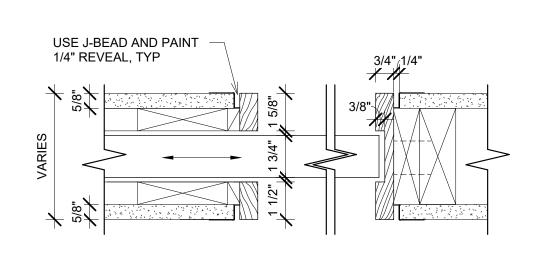
SWING DOOR

SINGLE BI-FOLD BAR DOOR

INTERIOR DOOR DETAILS

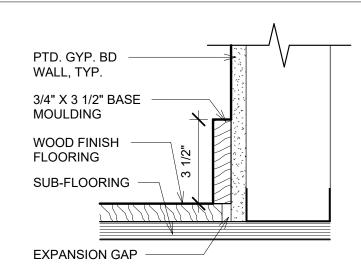


PLAN DETAIL - DOOR FRAME W/REVEAL Scale: 3" = 1'-0"



PLAN DETAIL - TYP. POCKET DOOR Scale: 3" = 1'-0"

INTERIOR BASE MOULDING DETAIL



SECTION DETAIL - TYP. NEW BASE MOULDING Scale: 3" = 1'-0"

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA Bowerbird Architects, PLLC 124 9th St. Suite 250 Brooklyn NY 11215 Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Structural Engineer

Melissa A. O'Leary, PE Proper & O'Leary Engineering, dpc PO Box 246, Troy, NY 12181 518.610.8331 www.po-eng.com

Window Restoration

Emily Majer White Clay Kill Preservation, LLC PO Box 25, Tivoli, NY 12583 Tel: 845.757.5525 emily@whiteclaykillpreservation.com

CONSTRUCTION SET 07/12/2024

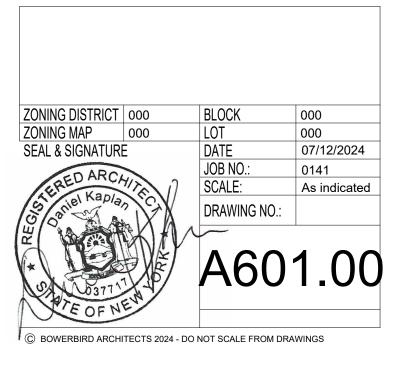
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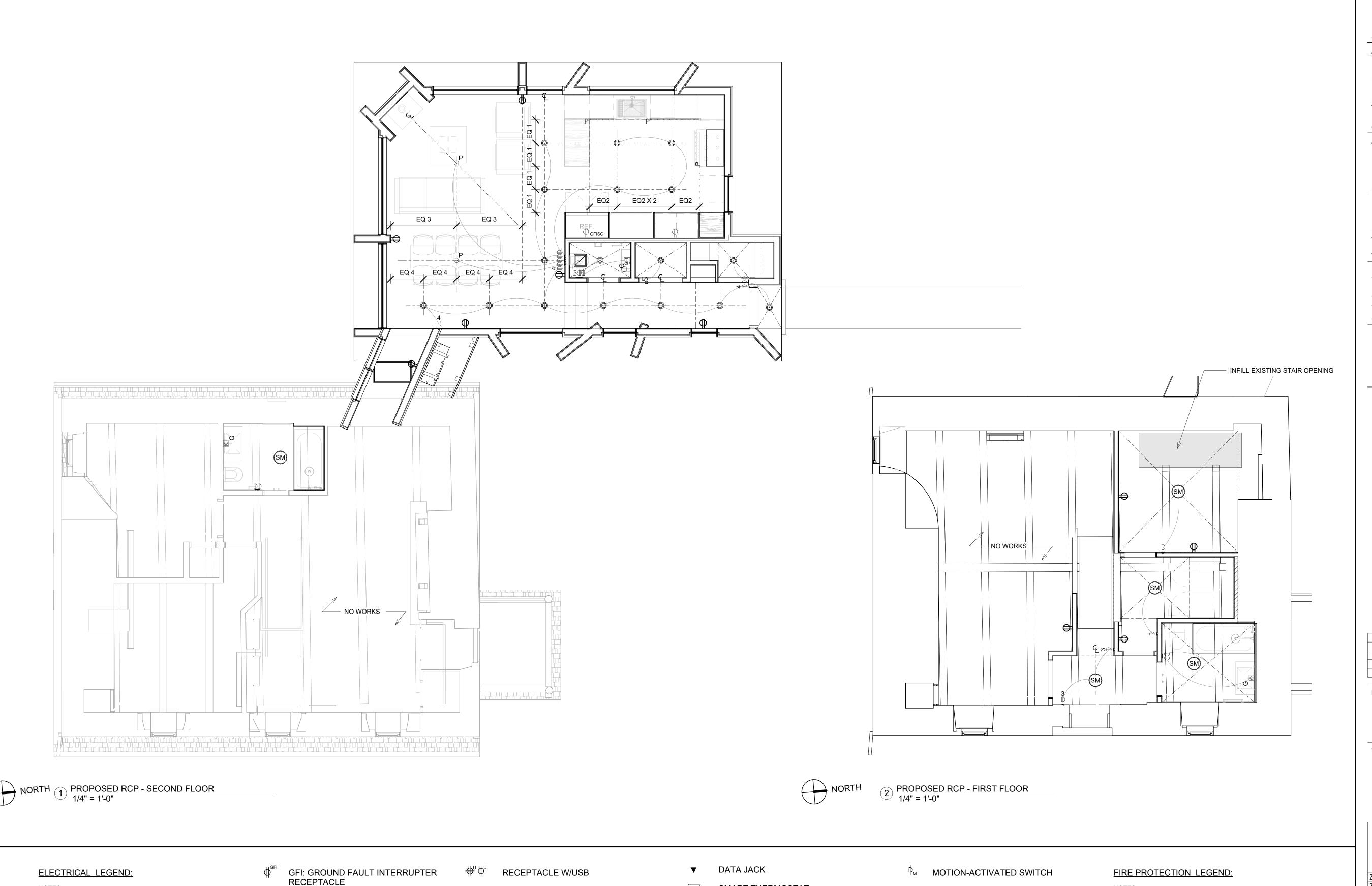
DATE **REVISION**

PROJECT

264 TACONIC RD. SALISBURY, CT 06068

WINDOW- AND DOOR **SCHEDULES**





264 TACONIC RD. SALISBURY, CT 06068

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RCP AND ELECTRICAL **PLANS**

ZONING DISTRICT 000 BLOCK 000 **ZONING MAP** SEAL & SIGNATURE 07/12/2024 1/4" = 1'-0" DRAWING NO.:

1. ELECTRICIAN SHALL COMPLY WITH CODE TO ENSURE

2. ALL WALL MOUNTED RECEPTACLES, INCLUDING BUT NOT

LIMITED TO GFI, AND DUPLEX RECEPTACLE BOXES TO BE

MOUNTED HORIZONTALLY. SEE INTERIOR ELEVATIONS.

DIMMERS AND MULTI WAY SWITCHES TO BE MOUNTED

3. ALL WALL SWITCHES, INCLUDING BUT NOT LIMITED TO

RECEPTACLES WITH REQUIRED SPACING O.C.

VERTICALLY. SEE INTERIOR ELEVATIONS

♦ ♦ QUAD RECEPTACLE 12" AFF, UNLESS OTHERWISE NOTES

SEPARATE CIRCUIT

∯_{FLR} FLOOR RECEPTACLE

PLUG MOLD ⊕_{FLR} QUAD FLOOR RECEPTACLE

 ϕ_{ext} EXTERIOR RECEPTACLE 30" AFF GFI IN WP BOX ON SEP. CIRCUIT

▼ I.C. INTERCOM

CABLE JACK

SMART THERMOSTAT

\$\$₃\$₄ WALL SWITCH: TWO WAY, THREE WAY, FOUR WAY

DIMMER SWITCH: TWO WAY, THREE $\phi \phi_3 \phi_4$ WAY, FOUR WAY

SWITCHED TO DOOR BUCK

©_F 4" RECESSED LIGHT FIXTURE HALO LED MODEL #HLB4069FS1EMWR

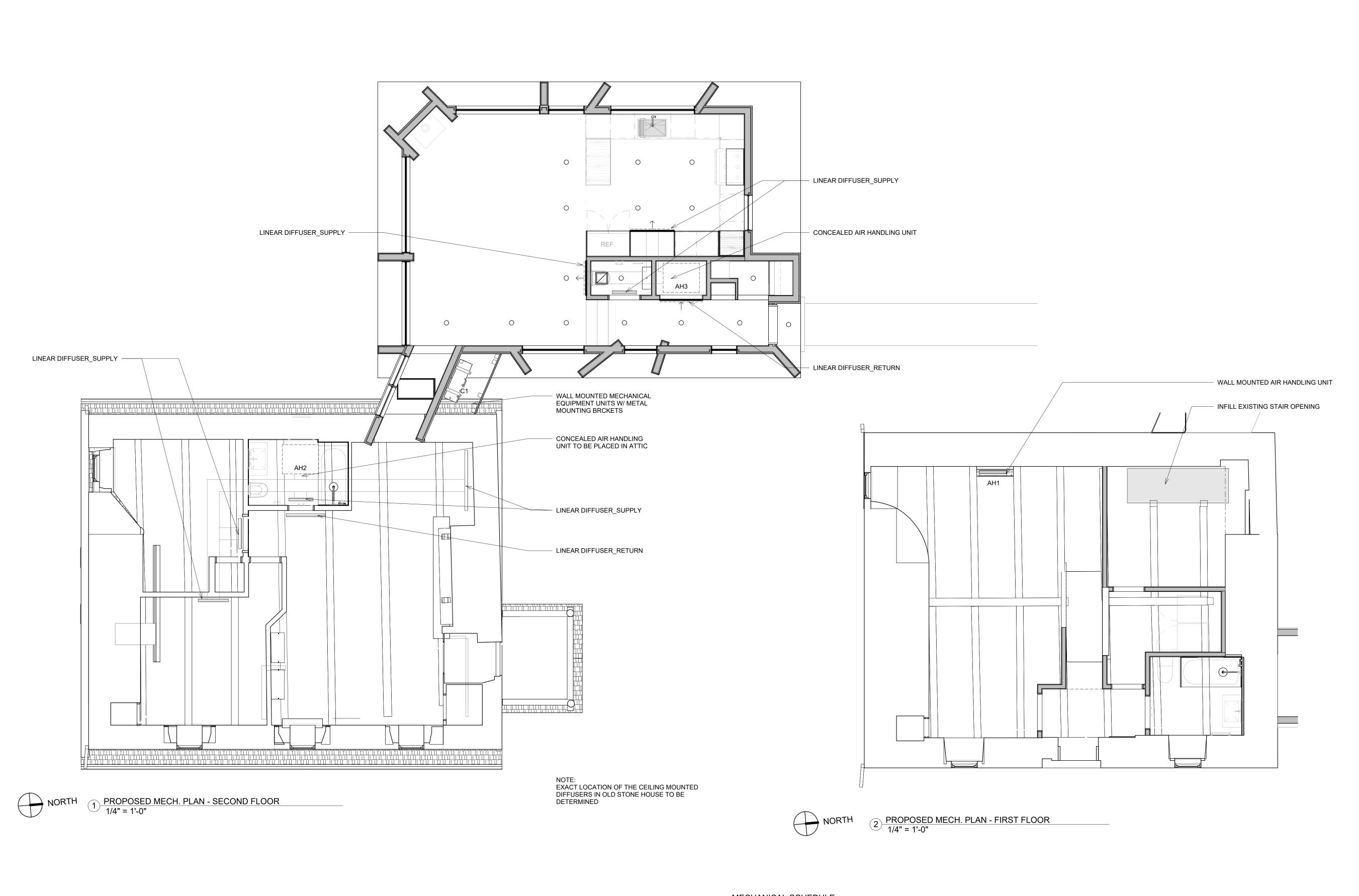
© CEILING MOUNTED LIGHT PENDANT

WALL MOUNTED LIGHT FIXTURE

SURFACE MOUNTED LIGHT FIXTURE

1. ALL SMOKE AND SMOKE/CARBON MONOXIDE DETECTORS TO BE HARD-WIRED WITH BATTERY BACK-UP MEETING REQUIREMENTS OF NFPA 72, PER NJAC 5:23-632(F) AND IBC 907.2.10.1.2

> COMBINATION SMOKE & CARBON MONOXIDE DETECTOR (WALL MOUNTED ABOVE DOORS WHEREVER POSSIBLE, U.O.N.)



MECHANICAL SCHEDULE

٦	HANICAL SCHEDULE										
	ITEM	QTY	MANUFACTURER/MODEL	LOCATION	AREA SERVED	BTU/H	<u>SEER</u>	<u>HSPF</u>	WXLXH (INCHES)	WEIGHT (LBS)	
	CONDENSING UNIT	1	MITSUBISHI MXZ-SM48NAMHZ2	OUTDOOR	ADDITION	<u>48,000</u>	<u>23</u>	<u>12</u>	41 11/32" X 13" X 52 11/16"	278	
	AIR HANDLING UNIT -WM	1	MITSUBISHI MSZ-EF12NAW-U2	ADDITION	ADDITION	<u>12,000</u>	<u>N/A</u>	<u>N/A</u>	34 13/16" X 7 11/16" X 11 3/4"	26	V
	AIR HANDLING UNIT	1	MITSUBISHI PEAD-A18AA9	ADDITION	ADDITION	18,000	N/A	<u>N/A</u>	35 7/16" X 28 7/8" X 9 7/8"	60	
	AIR HANDLING UNIT	1	MITSUBISHI PEAD-A18AA9	ADDITION	ADDITION	18,000	N/A	N/A	35 7/16" X 29 7/8" X 9 7/8"	60	1

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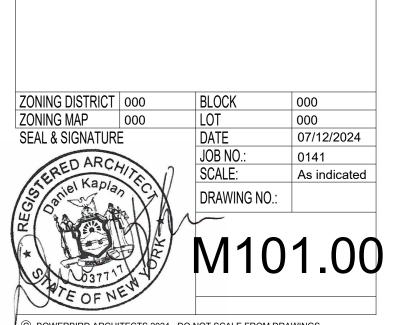
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PROJECT

264 TACONIC RD. SALISBURY, CT 06068

MECHANICAL PLANS



GENERAL NOTES

- 1. BUILDING CLASSIFICATION TYPE: 5b, CONSTRUCTION IN WHICH THE WALLS, PARTITIONS, FLOORS, AND ROOF ARE WHOLLY OR PARTLY OF WOOD OR OTHER COMBUSTIBLE MATERIAL.
- 2. OCCUPANCY CLASSIFICATION OF BUILDING R RESIDENTIAL.

GROUND SNOW LOAD:

DURING CONSTRUCTION.

ATTENTION OF THE ARCHITECT IMMEDIATELY.

3. BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING STRUCTURAL DESIGN LOADS:

33.0 PSF (SLOPE ROOF LOAD)
WIND LOAD: 115 MPH, EXP. B, Iw = 1.0

SIMPLIFIED METHOD, WOOD SHEARWALLS

SEISMIC DESIGN CATEGORY:

B, SOIL CONDITION = D, Ie = 1.0
WOOD SHEARWALLS

LIVE LOAD: 40 PSF (LIVING SPACE)

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE EDITION OF THE INTERNATIONAL BUILDING CODE. ANY DISCREPANCIES BETWEEN THE NYS BUILDING CODE AND THESE

- DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING.

 5. THE STRUCTURAL DESIGN OF THIS BUILDING IS BASED ON THE FULL INTERACTION OF ALL OF ITS COMPONENT PARTS, WITH NO PROVISIONS MADE FOR CONDITIONS OCCURRING DURING
- 6. THESE PLANS SHALL BE EXECUTED IN CONJUNCTION WITH THE ARCHITECTURAL PLANS CREATED BY DANIEL KAPLAN ARCHITECT, RECEIVED 6/14/2024 ANY AND ALL CONFLICTS SHOULD BE BROUGHT TO THE

CONSTRUCTION. THEREFORE IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE BRACING

- 7. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON PLANS SHALL BE TAKEN AS APPROXIMATE, AND CHECKED AGAINST THE ARCHITECTURAL PLANS AS WELL AS BEING FIELD VERIFIED PRIOR TO CONSTRUCTION.
- 8. THE CONTRACTOR SHALL ADHERE TO THE CONSTRUCTION SPECIFICATIONS AS PROVIDED WITH THE ARCHITECTURAL PLANS, UNLESS OTHERWISE NOTED ON THESE PLANS.
- 9. OMISSIONS OR DISCREPANCIES BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DOCUMENTS.
 SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH THE
- 10. ALL DETAILS ARE TYPICAL. FOR CONDITIONS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS SIMILAR TO THOSE SHOWN.
- 11. SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ITEMS AND/OR DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS. COORDINATE THIS WORK WITH THE STRUCTURAL WORK. OPENING IN STRUCTURAL COMPONENTS NOT SHOWN ON STRUCTURAL DRAWINGS SHALL BE REVIEWED BY STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK.
- 12. PLANS ARE BASED ON THE ASSUMED ADEQUATE CONDITION OF CONCEALED MEMBERS, UNLESS NOTED. ALL STRUCTURAL COMPONENTS EXPOSED DURING CONSTRUCTION AND DETERMINED TO BE DETERIORATED OR INADEQUATE SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- 13. CONTRACTOR TO VERIFY AND RELOCATE ALL MECHANICAL / ELECTRICAL SYSTEMS THAT INTERFERE WITH THE PROPOSED IMPROVEMENTS. ANY MAJOR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 14. CONSTRUCTION SAFETY PRECAUTIONS SHALL BE CONDUCTED BY THE CONTRACTOR IN ACCORDANCE WITH OSHA STANDARDS AND THE EXISTING BUILDING CODE OF NYS.
- 15. PROPOSED LIFE SAFETY CONCERNS TO BE ADDRESSED BY OTHER IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS. PLANS HAVE BEEN DESIGNED FOR STRUCTURAL REINFORCEMENT AND STABILIZATION ONLY.

WOOD SHEATHING & SUB FLOOR NOTES

- 1. ALL ENGINEERED PLYWOOD AND ORIENTED STRAND BOARD SHALL MEET APA ENGINEERED WOOD PRODUCT ASSOCIATION STANDARDS. ALL EXTERIOR SHEATHING & SUB FLOORING SHALL MEET APA EXPOSURE I CLASSIFICATIONS.
- ALL ROOF SHEATHING SHALL CONSIST OF THE FOLLOWING, UNLESS NOTED:
 5/8" CDX PLYWOOD
- ATTACHED w/ 10d RING SHANK NAILS 6" O.C. EDGE, 12" O.C. FIELD, TYP.
- 3. ALL FLOOR SUB FLOORING SHALL CONSIST OF THE FOLLOWING, UNLESS NOTED:
- 3/4" BC PLYWOODTONGUE & GROOVE
- ATTACHED w/ 10d RING SHANK NAILS, 6" O.C. EDGE, 12" O.C. FIELD, TYP.
 GLUED CONTINUOUSLY w/ DAP BEAT THE NAILS OR EQUAL
- GLOLD CONTINUOUSLY WY DAY BLATTHE WAILS ON EQUAL
- 4. ALL WALL SHEATHING SHALL CONSIST OF THE FOLLOWING, UNLESS NOTED:
 1/2" CDX PLYWOOD
- ATTACHED w/ 10d RING SHANK NAILS, 6" O.C. EDGE, 12" O.C. FIELD, TYP.
 NAILING PATTERNS TYP., UNLESS NOTED AT SHEARWALL
- NAILING PATTERNS TTP., UNLESS NOTED AT SHEARWALL
- 5. ACCEPTABLE SUBSTITUTIONS INCLUDE:
- ROOF SHEATHING: 5/8" ADVANTECH OSB OR ZIP SYSTEM ROOF SHEATHING
 FLOOP SUB FLOOPING: 3/4" ADVANTECH OSB TONICUE & GPOOVE FLOOPING
- FLOOR SUB FLOORING: 3/4" ADVANTECH OSB TONGUE & GROOVE FLOORING
 WALL SHEATHING: 7/16" ADVANTECH OSB OR ZIP SYSTEM WALL SHEATHING
- WALL SHEATHING: //16" ADVANTECH OSB OR ZIP SYSTEM V
 WITH 1/2" THICKNESS REQUIRED AT SHEARWALLS ONLY
- 6. HANDLING AND STORAGE IN ACCORDANCE W/ APA THE ENGINEERED WOOD ASSOCIATION

WOOD NOTES

- ALL WOOD MEMBERS SHALL CONSIST OF SPRUCE PINE FIR (SOUTH) GRADE NO. 2 (KILN DRIED) OR EQUIVALENT STRENGTH MATERIAL, IN ACCORDANCE WITH THE CURRENT NDS LUMBER SPECIFICATIONS; ALLOWABLE GRADING AGENCIES CONSIST OF NELMA, NSLB, WCLIB, & WWPA AND MUST BE CLEARLY IDENTIFIED ON THE MEMBER GRADE STAMP; 17% MOISTURE CONTENT MAX.; UNLESS OTHERWISE NOTED.
- 2. ALL PRESSURE TREATED LUMBER PLACED IN CONTACT WITH SOIL SHALL BE 0.60 ACQ. ALL OTHER PRESSURE TREATED LUMBER TO BE 0.40 ACQ. MOISTURE CONTENT OF P.T. LUMBER TO BE 19% MAX.
- 3. ALL LAMINATED VENEER LUMBER (LVL) SHALL BE LOUISIANA PACIFIC (2950 Fb-2.0E SOUTHERN PINE) OR AN APPROVED EQUAL.
- 4. ALL DIMENSIONAL LUMBER SHALL BE KILN DRIED TO MAX. MOISTURE CONTENT OF 17%.
- 5. ALL WOOD MEMBERS TO BE REJECTED FOR EXCESSIVE AND / OR STRUCTURALLY UNSOUND KNOTS, OR OTHER FLAWS INCLUDING BUT NOT LIMITED TO BARK, PITCHING, CHECKING, TWISTING, AND YARD
- 6. ALL CARPENTRY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL DESIGN STANDARDS FOR WOOD CONSTRUCTION AND THE NEW YORK STATE BUILDING CODE.
- 7. PROVIDE DOUBLE JOISTS BENEATH ALL PARTITIONS THAT RUN PARALLEL TO JOISTS AND SPAN MORE THAN 1/3 THE JOIST'S SPAN.
- 8. BLOCKING TO BE PLACED AT ALL BEARING POINTS OF JOISTS. BLOCKING SIZE TO BE EQUIVALENT TO JOIST SIZE UNLESS OTHERWISE SPECIFIED.
- 9. ALL MULTIPLE PLY LVL MEMBERS TO BE CONNECTED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- 10. ALL METAL CONNECTORS FOR WOOD (SIMPSON STRONG TIE / UPS OR EQUAL) SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL HAVE G 185 HDG COATING PER ASTM A-65 3, SIMPSON "ZMAX" OR EQUAL.
- 11. NAILS, SPIKES AND STAPLES, FOR ROUGH CARPENTRY, TO BE DOUBLE HOT DIPPED GALVANIZED CONFORMING TO ASTM A-153, SPIRAL SHANK: SIZE AND TYPE TO SUIT APPLICATION AND MEET ASTM F 1667 SPECIFICATIONS MAZE NAILS OR EQUAL.
- 12. ALL LAG BOLTS TO BE HOT DIPPED GALVANIZED CONFORMING TO ASTM A-153 WITH WASHERS UNLESS OTHERWISE SPECIFIED AND TO MEET ANSI/ASME STANDARD B18.2.1-1981 SPECIFICATIONS.
- 13. ALL THROUGH BOLTS TO BE HOT DIPPED GALVANIZED CONFORMING TO ASTM A-153 WITH WASHERS UNLESS OTHERWISE SPECIFIED AND TO MEET ASTM A307 SPECIFICATIONS.
- 14. ALL LAG BOLTS WITH DIAMETER GREATER THAN 3/8" TO HAVE PRE-DRILLED LEAD HOLES PRIOR TO INSTALLATION. LEAD HOLE DIAMETER SHALL BE 40% 70% OF LAG BOLT DIAMETER. LEAD HOLE LENGTH SHALL BE NO LESS THAN THE LENGTH OF THE THREADED PORTION OF THE LAG BOLT.
- 15. ALL THROUGH BOLT HOLES TO BE DRILLED 1/16" LARGER THAN BOLT DIAMETER.
- 16. ALL HEADERS AND BEAMS TO BE SUPPORTED BY DOUBLE JACK STUDS, (2) 2x6, UNLESS NOTED.
- 17. ALL WOOD & ENGINEERED WOOD PRODUCTS SHALL BE PLACED ABOVE GRADE AND COVERED WITH TARPS, OR EQUIVALENT MEANS, TO PREVENT DETERIORATION BY SUNLIGHT, WATER, AND WIND ONCE AT THE SITE. ALL DETERIORATED MEMBERS CAN BE REJECTED BASED ON THE DECISION OF THE ENGINEER.
- 18. ALL ENGINEERED PLYWOOD AND ORIENTED STRAND BOARD SHALL MEET APA ENGINEERED WOOD PRODUCT ASSOCIATION STANDARDS. ALL EXTERIOR SHEATHING SHALL MEET APA EXPOSURE 1 CLASSIFICATIONS
- 19. ALL NAIL SIZES AND SPACING TO BE IN ACCORDANCE W\ PRESCRIPTIVE NYS BUILDING CODE REQUIREMENT, CH. 23 WOOD, PART 2304.9 GENERAL CONSTRUCTION REQUIREMENTS FOR CONNECTIONS AND FASTENERS, TABLE 2304.91. STAPLES SHALL NOT BE PERMITTED UNLESS NOTES ON BLANK

FOUNDATION NOTES

- 1. FOUNDATION HAS BEEN DESIGNED TO RESIST UPLIFT AND OVERTURNING FORCES WITH OVERBURDEN RESISTANCE THUS CONTRACTOR SHALL NOT PLACE ROOF STRUCTURE WITHOUT PRIOR COMPLETELY INSTALLING BACKFILL AND / OR FOUNDATION SLAB STRUCTURE.
- 2. FOOTINGS HAVE BEEN DESIGNED TO REST ON IN-SITU SOIL, WITH AN ALLOWABLE BEARING CAPACITY OF 2,000 P.S.F. IF ACTUAL CONDITIONS DIFFER THAN WHAT ASSUMED, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, PRIOR TO PROCEEDING WITH WORK.
- 3. ALL SUB BASE MATERIAL SHALL BE COMPACTED TO 95% OF OPTIMUM MODIFIED PROCTOR DRY DENSITY ASTM-D1557, WITH A MOISTURE CONTENT OF ± 2% OF OPTIMUM.
- 4. ALL ORGANIC MATERIAL TO BE REMOVED PRIOR TO PLACEMENT OF SUB-BASE / FOUNDATION.
- 5. ALL SUB GRADE MATERIAL TO BE PROOF ROLLED PRIOR TO PLACEMENT OF FOOTINGS, ANY AREA OBSERVED TO HAVE SPONGY MATERIAL TO BE INSPECTED BY THE ENGINEER PRIOR TO PROCEEDING.
- 6. DO NOT PLACE FOOTINGS IN WATER NOR ON FROZEN GROUND.
- 7. DO NOT ALLOW GROUND BENEATH FOOTINGS TO FREEZE.
- 8. VERIFY SIZE AND LOCATION OF MECHANICAL OPENINGS, PIPING, CONDUIT, AND DUCT PENETRATIONS THROUGH FOUNDATION FOOTINGS, WALLS & SLABS PRIOR TO PLACEMENT OF CONCRETE. ALL PENETRATIONS SHALL BE SLEEVED OR CHASED. NO CORE DRILLING WILL BE PERMITTED, UNLESS APPROVED BY THE ENGINEER.
- 9. ALL EXCAVATIONS SHALL BE CONDUCTED AND BRACED IN ACCORDANCE WITH THE PROVISION OF THE OCCUPANCY SAFETY AND HEALTH ADMINISTRATION "STANDARDS FOR THE CONSTRUCTION INDUSTRY, 29 CFR PART 1926-SUB PART P EXCAVATIONS".
- 10. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UNSUITABLE MATERIAL IS UNCOVERED DURING EXCAVATION. AT THE DISCRETION OF THE ENGINEER, UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH CONTROLLED FILL CONSISTING OF NYSDOT ITEM # 304.11 OR EQUAL. SUBGRADE SHALL BE COMPACTED IN 10" LIFTS TO 95% OF OPTIMUM MODIFIED PROCTOR DRY DENSITY. ALL LIFTS SHALL BE TESTED AT A RATIO OF 1 PER 500 SF OR AT THE DISCRETION OF THE ENGINEER.
- 11. AS PER NYS CODE RULE 753, THE CONTRACTOR SHALL PROVIDE DUE AND TIMELY NOTICE TO "DIG SAFELY NEW YORK" AT 1-800-962-7962 AT LEAST TWO WORKING DAYS PRIOR TO COMMENCING DEMOLITION OR EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE NYS CODE RULE 753. UPON DISCOVERY OF UNKNOWN UNDERGROUND FACILITIES, CABLING, ETC. WORK IN THAT AREA SHALL CEASE. NOTIFY UFPO, OWNER AND ENGINEER IMMEDIATELY. DO NOT PROCEED WITH WORK UNTIL RECEIVING WRITTEN DIRECTION TO DO SO FROM THE OWNER'S PROJECT REPRESENTATIVE.

CONCRETE NOTES

- 1. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE: ACI 318-14 & THE NEW YORK STATE BUILDING CODE w\ EMPHASIS ON CH. 19 CONCRETE.
- 2. CONCRETE SHALL CONSIST OF THE FOLLOWING:
 - READY MIX CONCRETE (ASTM C94)

28 DAY COMPRESSIVE STRENGTH - ASTM C 39/C 39M (UNLESS NOTED)

WALL/PIER 4,000 PSI MAX. WATER / CEMENT RATIO 0.50
INTERIOR SLAB 3,000 PSI 0.0% AIR CONTENT
EXTERIOR SLAB 4,000 PSI MAX. WATER / CEMENT RATIO 0.50

- MAX AGGREGATE CONTENT SIZE OF 3/4 INCH (ASTM C33)

- MAX SLUMP OF 5" + OR AN INCH (ASTM C143)
 FIBERMESH OR APPROVED EQUAL: 1.5 LBS / CUBIC YARD (WHEN INDICATED)
- PORTLAND CEMENT: ASTM-C 150, TYPE 1
- CLEAN POTABLE DRINKING WATER
 AIR CONTENT TO BE 6% +/- 1.5% (INTERIOR SLABS TO HAVE 0% AIR)
- FLY ASH ASTM C-618 (FOR INT. SLAB ONLY WHEN INDICATED)
- 3. REINFORCING STEEL SHALL CONSIST OF THE FOLLOWING:
- REINFORCING BARS: ASTM -A 615 GRADE 60 KSIWELDED WIRE FABRIC: ASTM-A 185
- 4. PROVIDE CONTINUOUS REINFORCING WHEREVER POSSIBLE, PLACE ONLY AS SHOWN OR APPROVED, STAGGER SPLICES WHERE POSSIBLE.
- 5. ALL REINFORCING STEEL AND EMBEDMENT TO BE HELD SECURELY IN PLACE PRIOR TO PLACING CONCRETE PROVIDE SUFFICIENT SUPPORTS TO ALLOW WALKING ON REINFORCEMENT.
- 6. DETAIL ACCORDING TO ACI STANDARD 315, MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE STRUCTURES.
- 7. CONCRETE MEMBERS SHALL NOT BE LOADED UNTIL SATISFACTORY CONCRETE STRENGTH HAS BEEN
- OBTAINED.

8. NO ADMIXTURES MAY BE USED UNLESS PRIOR APPROVAL BY THE OWNER/ENGINEER.

- 9. COLD WEATHER REQUIREMENT SHALL BE USED DURING FREEZING OR NEAR FREEZING WEATHER ACI 306.1-90. COLD WEATHER IS DEFINED AS 3 DAYS WITH AVG. TEMP. BELOW 40F.
- 10. DURING HOT WEATHER CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH ACI 305.
- 11. PROVIDE CORNERS BARS IN ALL WALLS AND FOOTINGS THE SAME SIZE AS ALL CONTINUOUS
- REINFORCEMENT. CORNERS BARS TO BE LAPPED 2'-2" WITH MAIN REINFORCING BARS FOR #3 THRU #6 BARS.
- 12. CONCRETE WALLS TO ATTAIN A MINIMUM STRENGTH OF 70% BEFORE BACKFILLING WITH GRAVEL MATERIAL.
- 13. CONCRETE COVER FOR PLACEMENT OF REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI ?, WHICH IS INDICATED BELOW, UNLESS NOTED ON DRAWINGS.
 CAST AGAINST AND PERMANENTLY WIN CONTACT WITH GROUND: 3"
 EXPOSED TO WEATHER, OR IN CONTACT WITH GROUND
 - #6 BARS AND LARGER 2" #5 BARS AND SMALLER 1 ½"
 - NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND FOR BEAMS & COL: 1
 NOT EXPOSED TO WEATHER FOR SLABS AND WALLS

I JOIST NOTES

- 1. ENGINEERED WOOD I-JOIST TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- 2. WEB STIFFENERS OR SQUASH BLOCKS TO BE INSTALLED AT ALL JOIST BEARING CONNECTIONS.
- 3. POST OR COLUMN LOADS AT FLOOR / WALL JUNCTION SHALL HAVE SOLID BLOCKING FROM SILL PLATE TO BELOW TOP PLATE; LOAD SHALL NOT BE TRANSFERRED THROUGH WEB OF JOISTS.
- 4. ALL MECHANICAL PENETRATION SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- 5. BRACING SHALL BE USED DURING INSTALLATION TO PREVENT TWIST OR BUCKING.
- 6. I-JOISTS ARE NOT MEANT FOR EXTERIOR USE. JOISTS SHALL BE PROTECTED FROM THE WEATHER AT ALL TIMES PRIOR TO PLACEMENT AND SHALL BE PROTECTED UNTIL ROOF HAS BEEN ADEQUATELY INSTALLED ON THE STRUCTURE
- 7. LATERAL RESTRAINT FOR THE BOTTOM FLANGE IN THE FORM OF BRIDGING, BRACING, BLOCKING, OR CEILING MATERIAL SHOULD BE PROVIDED AT 8'-0" OR LESS ON CENTER.

LIST OF ABBREVIATIONS

COL	- COLUMN	MIIN	- MINIMUM
CONN	- CONNECTION	OC	- ON CENTER
CONT	- CONTINUOUS	OCEW	- ON CENTER EACH V
CL	- CL	PT	- PRESSURE TREATED
DET	- DETAIL	PROP	- PROPOSED
DWG	- DRAWING	r	- RIPPED
ELEV	- ELEVATION	RC	- ROUGH CUT
ENG	- ENGINEER	REINF	- REINFORCEMENT
EX	- EXISTING	RFT	- RAFTER
FDN	- FOUNDATION	SST	- SIMPSON STRONG T
FF	- FINISH FLOOR	TBD	- TO BE DETERMINED
FLR	- FLOOR	TOF	- TOP OF FOOTING
FTG	- FOOTING	TOS	- TOP OF SLAB
GALV	- GALVANIZED	TOSH	- TOP OF SHELF
JST	- JOIST	TOW	- TOP OF WALL
LVL	- LAMINATED VENEER	TYP	- TYPICAL
	LUMBER	UN	- UNLESS NOTED
MAX	- MAXIMUM	VIF	- VERIFY IN FIELD

CONCRETE SLAB NOTES

WITH 2'-0" OVERLAP, UNLESS NOTED.

- 1. ALL CONCRETE SLABS TO BE CONSTRUCTED IN ACCORDANCE WITH ACI 302.1R-96, "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION", AND ACI 318-14.
- 2. SUBBASE SHALL CONSIST OF COMPACTED GRAVEL, NYSDOT ITEM # 304.02 OR 304.03 COMPACTED TO 95% OPTIMUM MODIFIED PROCTOR DRY DENSITY. THICKNESS SHALL CORRESPOND TO THAT INDICATED ON PLANS +/- 1". FINISH GRADE SHALL BE SMOOTH WITH NO PROTRUSION OR TIRE MARKS.
- 3. ALL INTERIOR SLABS SHALL HAVE A VAPOR BARRIER PLACED BELOW CONSISTING OF 8 MIL POLYETHYLENE
- 4. ALL INTERIOR SLABS SHALL HAVE STEEL TROWEL FINISH, UNLESS NOTED OTHERWISE. ALL EXTERIOR SLABS TO HAVE BROOM FINISH, UNLESS NOTED.
- 5. CURING PROCEDURE SHALL COMMENCE IMMEDIATELY AFTER FINISHING CONCRETE. CONTRACTOR SHALL VERIFY THAT CURING PROCEDURE UTILIZED IS COMPATIBLE WITH FLOOR COVERING SHOWN ON ARCHITECTURAL PLANS.
- 6. SLABS SHALL BE CURED USING PRE-APPROVED WET CURE METHOD FOR A MINIMUM OF 7 DAYS. OR, IF COMPATIBLE WITH PROPOSED FINISH, LIQUID MEMBRANE CURING COMPOUND, KURSEAL 830 (1 COATS) OR EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 CONSTRUCTION JOINTS SHALL BE SAWN WITHIN 24 HOURS OF PLACEMENT OF CONCRETE. JOINTS SHALL BE INSTALLED WITH THE USE OF CIRCULAR WET SAW AND BE PLACED IN ACCORDANCE WITH THE PATTERN
- 8. SEALER SHALL BE APPLIED TO SLAB IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS WHEN NOTED ON DRAWINGS.

INDICATED ON THE DRAWINGS, TO A MINIMUM DEPTH OF 1/3 SLAB THICKNESS.

- 9. CONSTRUCTION TOLERANCE WITH FLOOR SHALL CONFORM TO REQUIREMENTS SET FORTH IN ACI 117. FLOOR FLATNESS F-NUMBER AND LEVELNESS F-NUMBER SHALL BE 25 AND 20, RESPECTIVELY, UNLESS NOTED.
- 10. SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT.

STRUCTURAL DRAWING SUMMARY:

- S-0.0 STRUCTURAL NOTES
- S-1.0 FOUNDATION IMPROV. PLAN
- S-1.1 FOUNDATION DETAILS
- S-2.0 1ST FLOOR IMPROV. PLAN

S-2.1 - ROOF FRAMING IMPROV. PLAN

S-3.0 - STRUCTURAL DETAILS

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA Bowerbird Architects, PLLC 124 9th St. Suite 250 Brooklyn NY 11215 Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

518-610-8331

www.po-eng.com

Structural Engineer
Proper & O'Leary Engineering dpc
1915 5th Avenue
Troy, NY 12180



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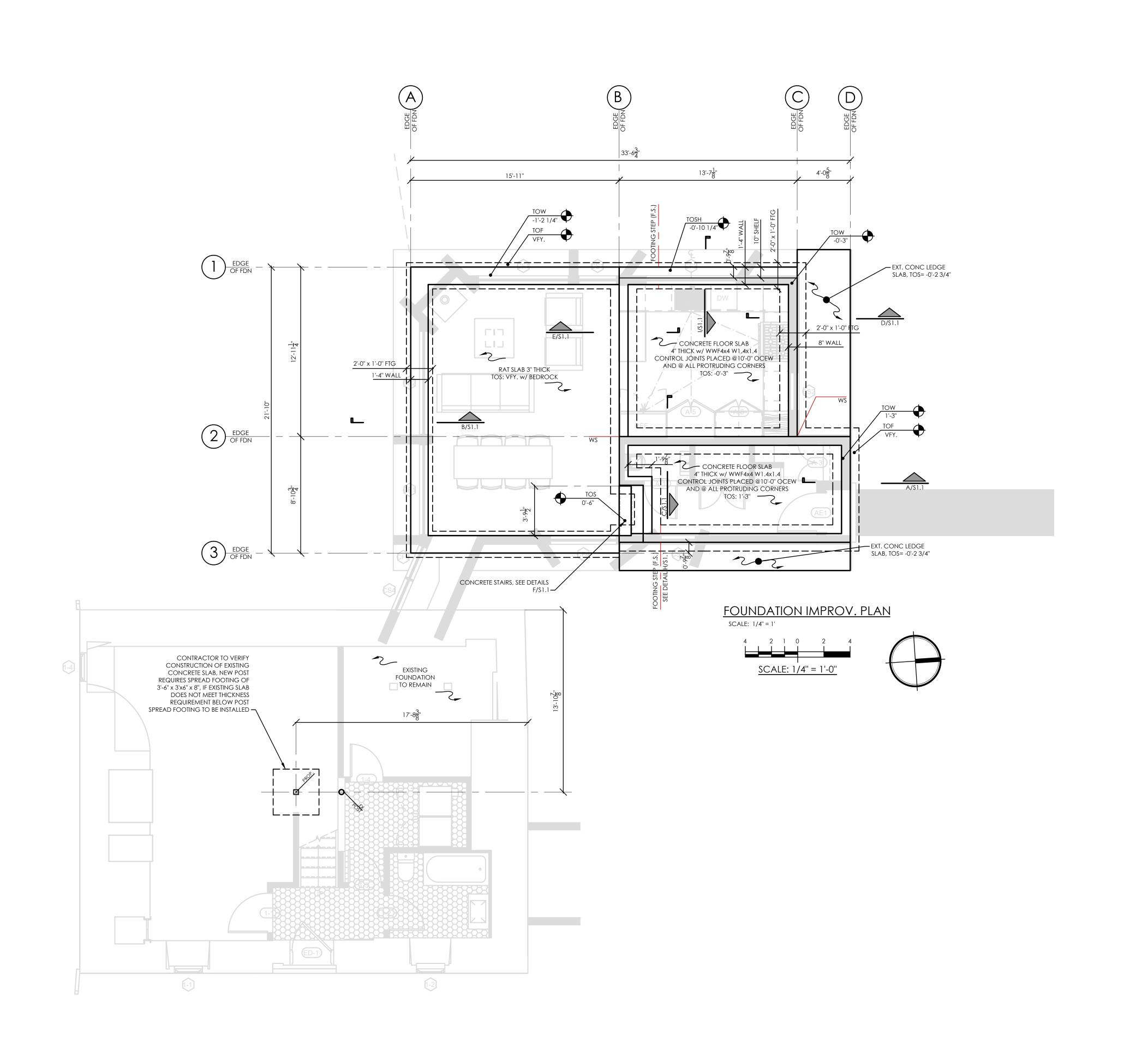
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STRUCTURAL NOTES

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NG MAP	000	LOT	000
& SIGNATURE		DATE	6/18/2024
		JOB NO.:	24035.0
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

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264 TACONIC RD. SALISBURY, CT 06068

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Code Consultant

N/A

Structural Engineer

Proper & O'Leary Engineering dpc 1915 5th Avenue Troy, NY 12180 518-610-8331 www.po-eng.com



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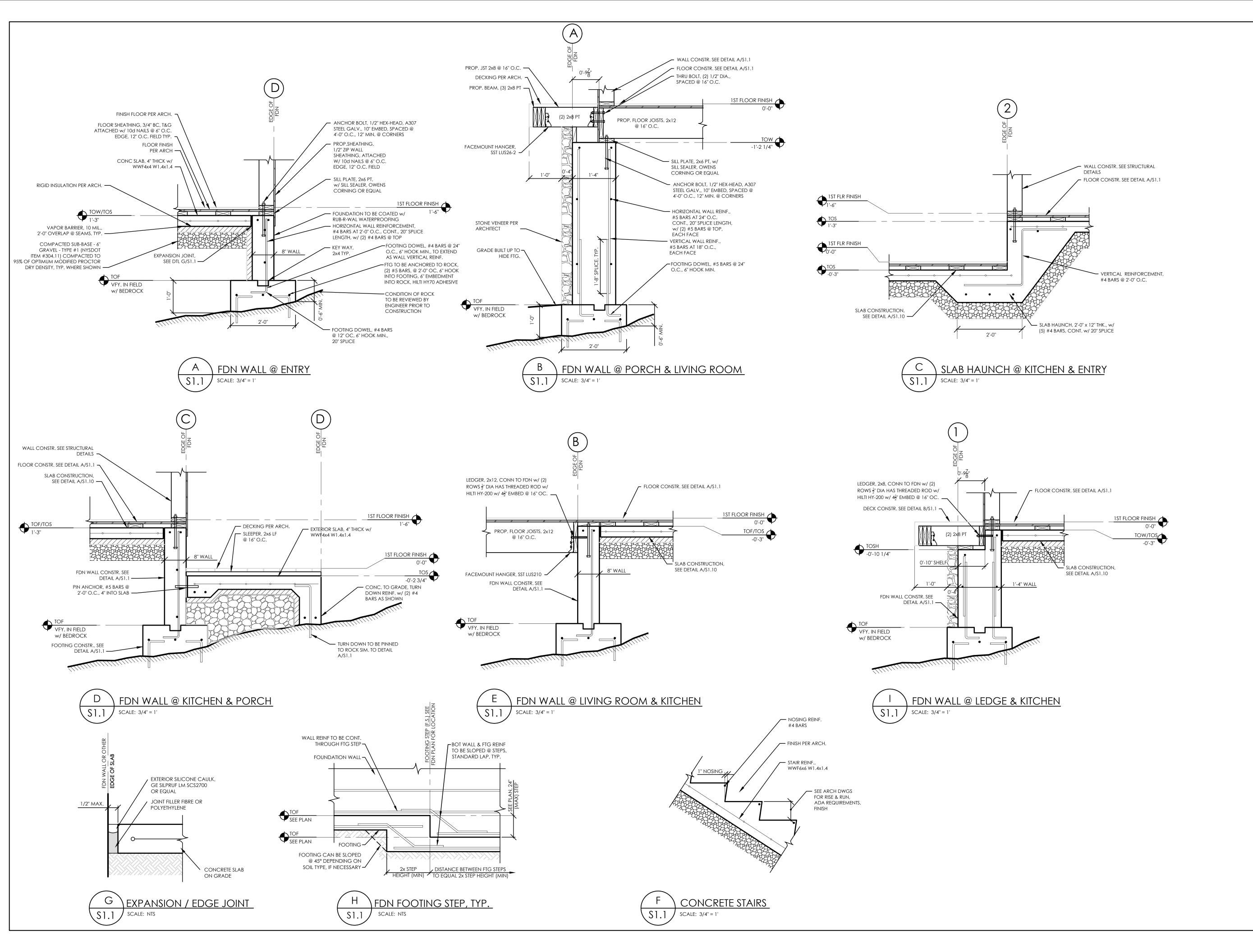
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FOUNDATION IMPROV. PLAN

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ZONING MAP	000	LOT	000
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Architect

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Bowerbird Architects, PLLC
124 9th St. Suite 250
Brooklyn NY 11215
Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

N/A

Structural Engineer

Proper & O'Leary Engineering dpc 1915 5th Avenue Troy, NY 12180 518-610-8331 www.po-eng.com



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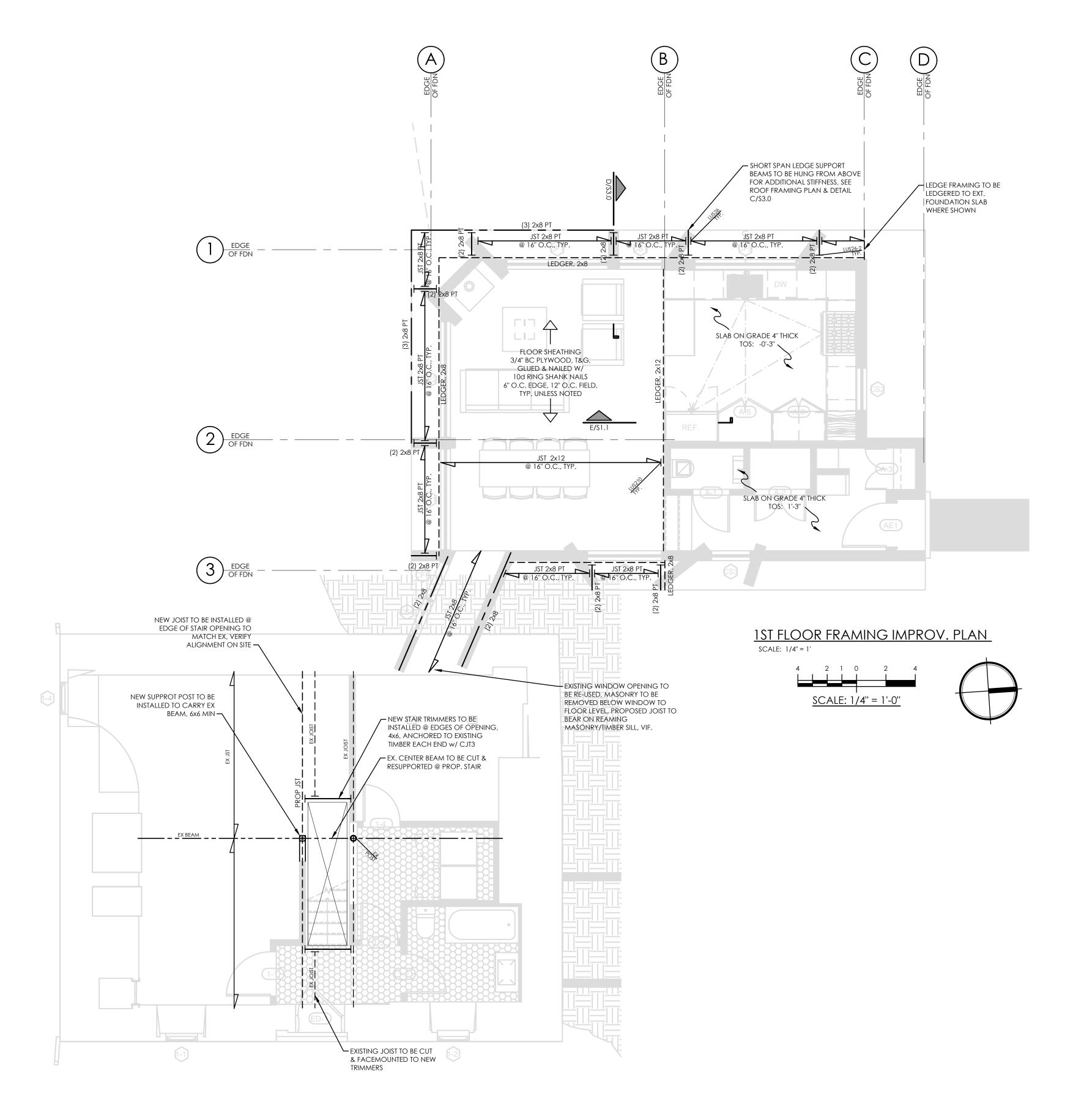
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		SCALE:	1/4" = 1'-0"
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WOOD FRAMING LEGEND

RFT / JST 2x

SIZE AS INDICATED

PROPOSED JOIST / RAFTER - COMMON

EXISTING INDIVIDUAL JOIST / RAFTER

EXISTING BEAM / HEADER

PROPOSED JOIST / RAFTER - COMMON

PROPOSED JOIST / RAFTER - COMMON

PROPOSED JOIST / RAFTER - COMMON

PROPOSED JOIST - DESIGNATION & DEPTH

PROPOSED JOIST / RAFTER OR REINF MEMBER

SIZE AS INDICATED

PROPOSED BEAM / HEADER OR REINF MEMBER

SIZE AS INDICATED

LVL BEAM / HEADER, (#) PLYS & MEMBER DEPTH

BEARING CONNECTION

FACE MOUNTED CONNECTION W/ METAL CONNECTION PLATE, TYPE AS SPECIFIED

Z 🗆 o

STEEL COLUMN

WOOD COLUMN

SHEATHING

264 TACONIC RD.

264 TACONIC RD. SALISBURY, CT 06068

Architect

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Owner

AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

N/A

Structural Engineer

Proper & O'Leary Engineering dpc 1915 5th Avenue Troy, NY 12180 518-610-8331 www.po-eng.com



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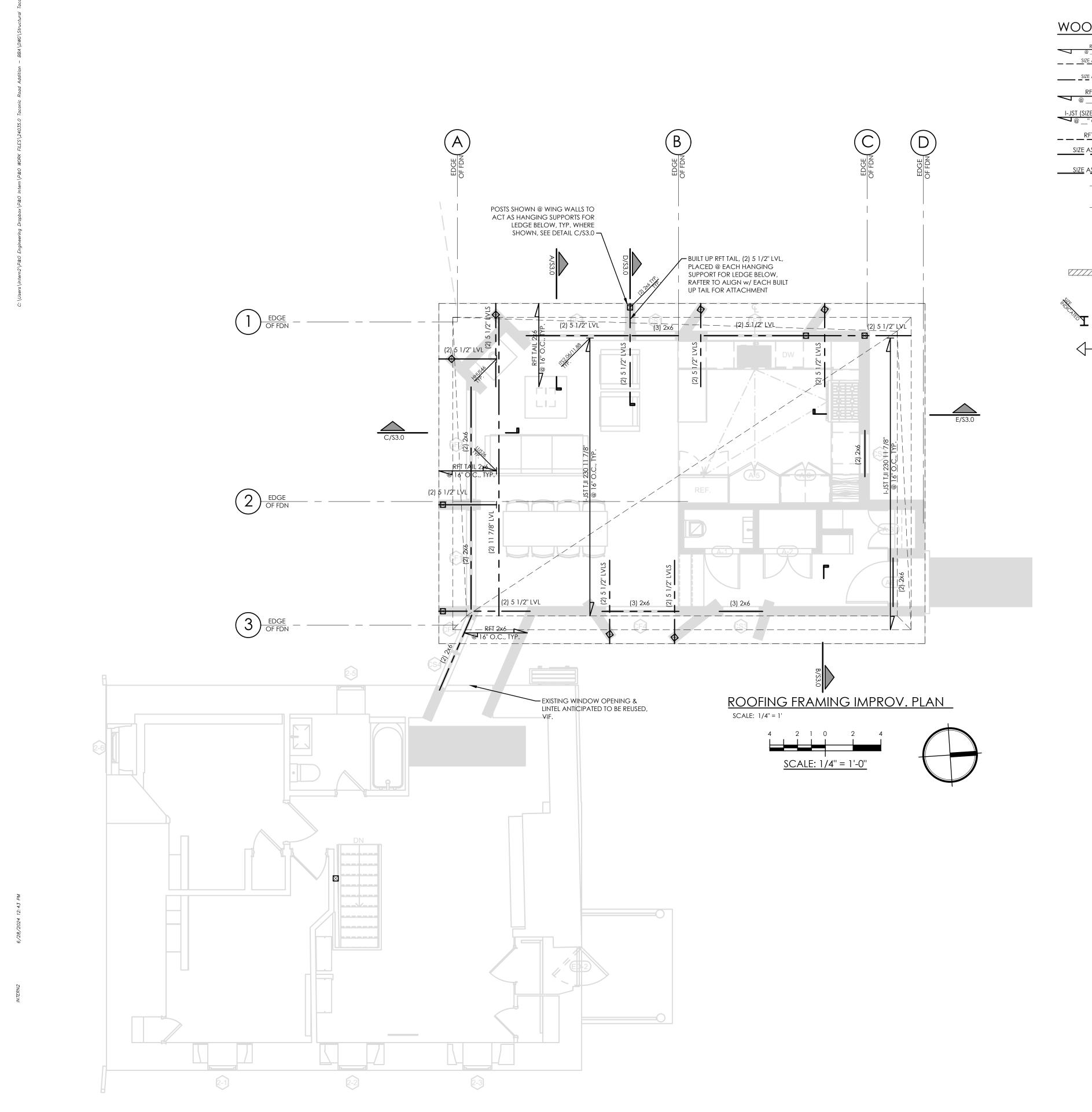
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1ST FLOOR FRAMING IMPROV. PLAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	6/18/2024
		JOB NO.:	24035.0
		SCALE:	1/4" = 1'-0"
		DRAWING NO.:	

S2.0



WOOD FRAMING LEGEND

BEARING CONNECTION

INTERIOR BEARING WALL

FACE MOUNTED CONNECTION W/ METAL CONNECTION PLATE, TYPE AS SPECIFIED

O D Z

STEEL COLUMN

SHEATHING

WOOD COLUMN

 $\downarrow - \downarrow$

264 TACONIC RD.

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Owner

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Code Consultant

N/A

Structural Engineer
Proper & O'Leary Engineering dpc

1915 5th Avenue Troy, NY 12180 518-610-8331 www.po-eng.com

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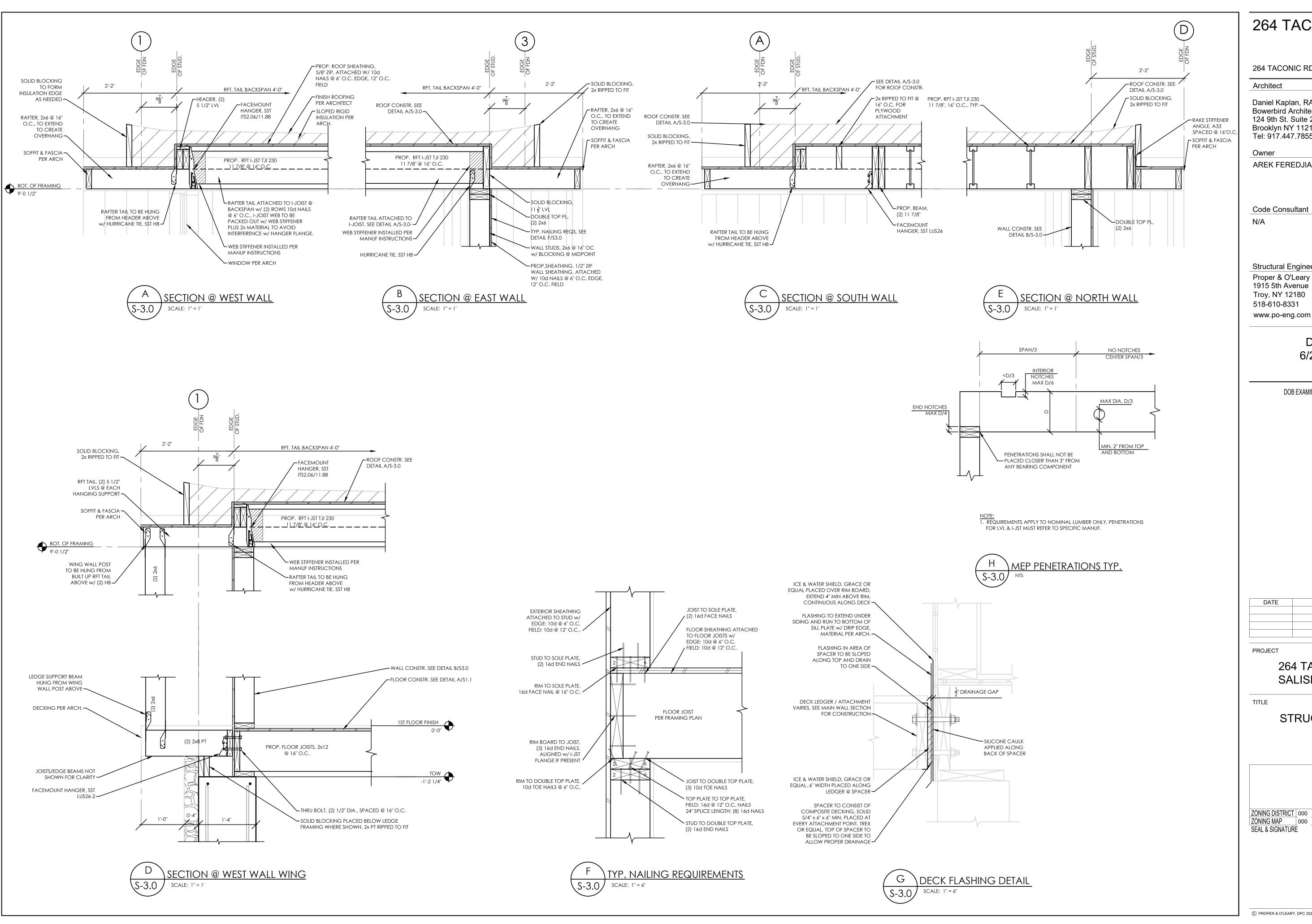
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ROOF FRAMING IMPROV. PLAN

ZONING DISTRICT	000	BLOCK	000
ZONING MAP	000	LOT	000
SEAL & SIGNATURE		DATE	6/18/2024
		JOB NO.:	24035.0
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264 TACONIC RD. SALISBURY, CT 06068

Architect

Daniel Kaplan, RA Bowerbird Architects, PLLC 124 9th St. Suite 250 Brooklyn NY 11215 Tel: 917.447.7855

Owner

AREK FEREDJIAN & ELINA TUNYAN

Code Consultant

Structural Engineer

Proper & O'Leary Engineering dpc 1915 5th Avenue Troy, NY 12180 518-610-8331



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