

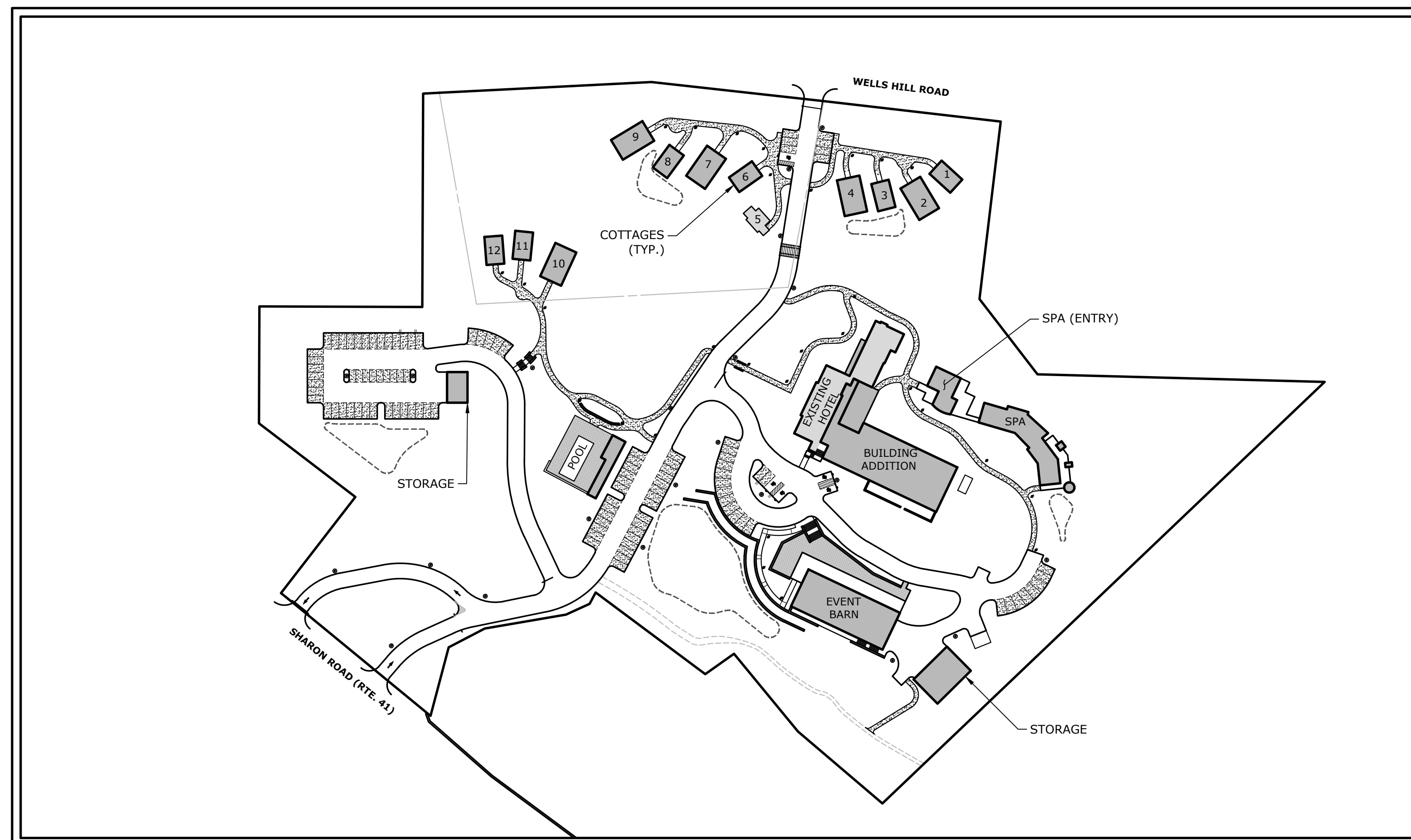
WAKE ROBIN INN REDEVELOPMENT

104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT

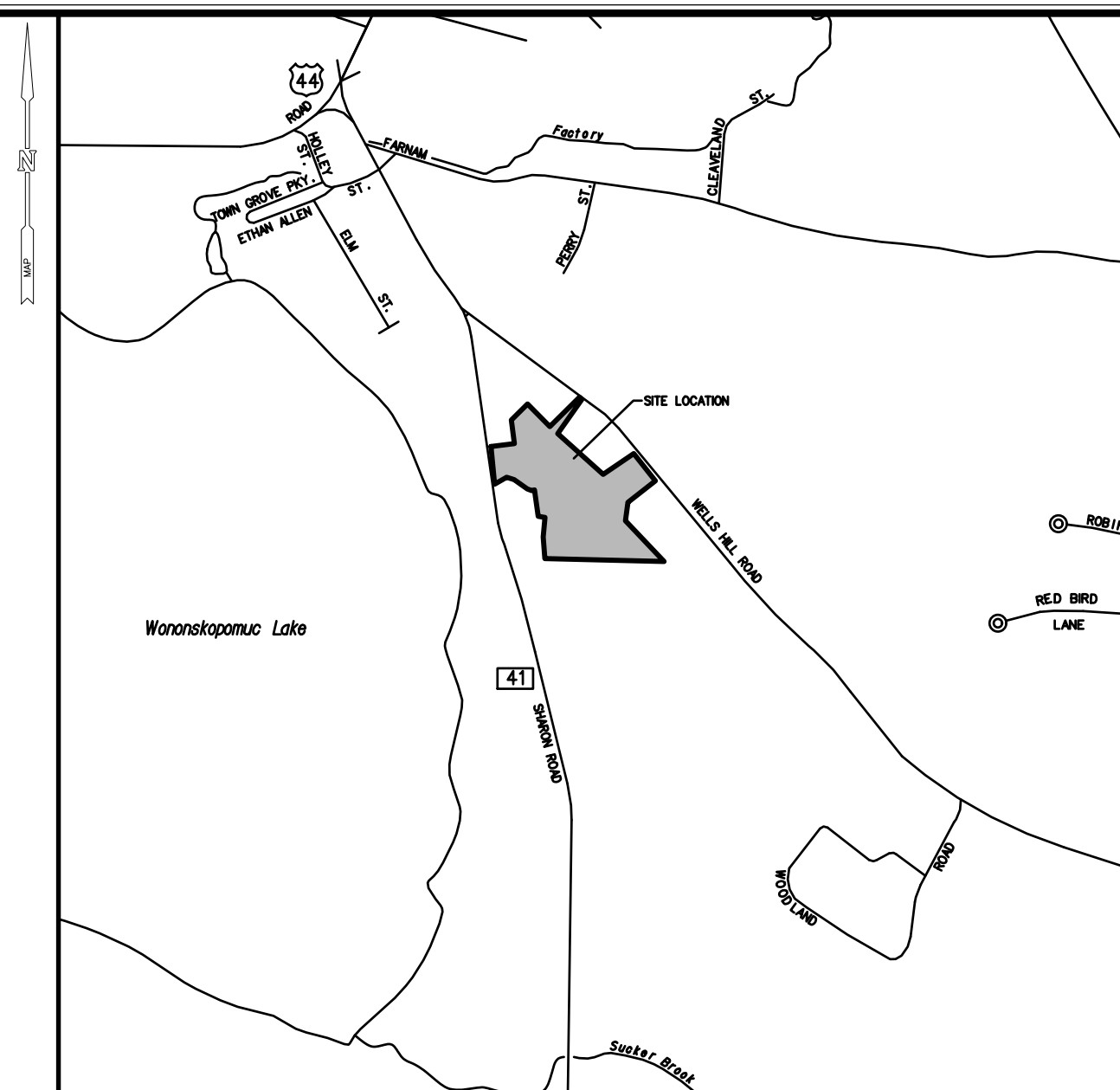
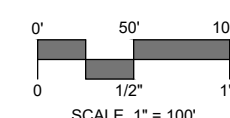
SLR# 22100.00001
JULY 29, 2024
AUGUST 1, 2024
SEPTEMBER 6, 2024
NOVEMBER 6, 2024

GENERAL NOTES

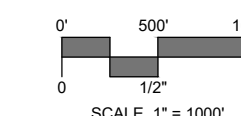
- BOUNDARY AND TOPOGRAPHIC INFORMATION HAVE BEEN TAKEN FROM SURVEY ENTITLED "EXISTING CONDITIONS MAP", PREPARED BY ARTHUR H. HOWLAND & ASSOCIATES, P.C., PREPARED FOR ARADEV LLC, DATED AUGUST 1, 2024, SCALED 1"=60'.
- NORTH ARROW AND BEARINGS ARE BASED UPON THE CONNECTICUT GRID SYSTEM (CTGS).
- ELEVATIONS, CONTOUR AND BENCHMARKS ARE BASED UPON NAVD 1988.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- INLAND WETLANDS AND WATERCOURSES ON SITE WERE DELINEATED IN THE FIELD ON APRIL 25 AND MAY 21, 2024 BY MATTHEW J. SANFORD, REGISTERED SOIL SCIENTIST FROM SLR CONSULTING.
- A CTDEEP STORMWATER GENERAL PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION, SANITARY SEWER AND PUBLIC WATER ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL STORM PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) UNLESS OTHERWISE NOTED.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL GRAVITY SANITARY SEWER PIPE SHALL BE SDR35 UNLESS OTHERWISE NOTED.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS USED ON SITE SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA DURING NON-WORK HOURS.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ANY UTILITIES INCLUDING IRRIGATION PIPES PRIOR TO THE START OF CONSTRUCTION.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL - 2023, AS AMENDED, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL AND BE SEEDED WITH SPECIFIED SEED MIX, AS SHOWN ON THE PLANS.
- IN ALL CASES, TOPSOIL AND OTHER CONSTRUCTION MATERIALS SHALL BE DRAWN FROM THE ON-SITE STOCKPILES OF EXISTING MATERIAL. ONLY WHEN ON-SITE STOCKPILES HAVE BEEN USED SHALL MATERIAL BE IMPORTED TO THE SITE.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF SALISBURY REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, FORM 819 AND ADDENDUMS.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND PERMITEE.
- THESE PLANS HAVE BEEN PREPARED FOR REGULATORY APPROVAL ONLY. THEY ARE NOT INTENDED FOR USE DURING CONSTRUCTION.
- THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) THE EROSION CONTROLS UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.



PROJECT SITE VICINITY MAP:



LOCATION MAP:



LEGEND

EXISTING		PROPOSED
—	STREET LINE	—
—	PROPERTY LINE	—
- - -	EASEMENT	—
- - -	SETBACK LINE	—
- - -	NDDB BOUNDARY	—
- - -	MAJOR CONTOUR	70
- - -	MINOR CONTOUR	68
x 70.5	SPOT GRADE	+70.5
- - -	WETLANDS	
- - -	75' WETLANDS SETBACK	
- - -	AQUIFER PROTECTION AREA BOUNDARY	
—	TREE LINE	
—	TREE/SHRUB	
—	STONEWALL	
—	SITE LIGHT	
—	HYDRANT	
—	WATER METER	
—	WATER VALVE	
—	GAS VALVE	
—	CATCH BASIN	
—	MANHOLE/YARD DRAIN	
—	SANITARY SEWER SERVICE/MAIN	
—	STORM DRAIN W/CATCH BASIN	
—	WATER MAIN	
—	ELECTRICAL CONDUIT	
—	OVERHEAD WIRE	
—	UTILITY POLE	
—	TRAFFIC SIGN	
—	MONUMENT	
—	EDGE OF PAVEMENT W/CURB	

PREPARED FOR:

ARADEV LLC
352 ATLANTIC AVENUE, UNIT 2
BROOKLYN, NY 11217

LIST OF DRAWINGS

NO.	NAME	TITLE
01	--	TITLE SHEET
02	EX	EXISTING CONDITIONS
03	RP	SITE PLAN - REMOVALS
04	LA	SITE PLAN - LAYOUT
05	LS	SITE PLAN - LANDSCAPING
06	GR	SITE PLAN - GRADING
07	UT	SITE PLAN - UTILITIES
08	PP-1	PHASING PLAN
09	PP-2	PHASING PLAN NOTES
10	SE-1	SEDIMENT & EROSION CONTROL PLAN
11	SE-2	SEDIMENT & EROSION CONTROL NOTES & DETAILS
12-18	SD-1 - SD-7	SITE DETAILS
19	STR-1	STRUCTURAL DETAILS

ZONING DATA TABLE

RURAL RESIDENCE 1 ZONE (RR-1)		
ADDRESS: 104 & 106 SHARON ROAD AND 53 WELLS HILL ROAD		
	REQUIRED/ALLOWED	PROVIDED
MIN. LOT AREA (104 & 106 SHARON ROAD)	80,000 SF	501,362 SF (11.5 ACRES)
MIN. LOT AREA (53 WELLS HILL ROAD)	80,000 SF	99,518 SF (2.3 ACRES)
MIN. LOT AREA (TOTAL)	80,000 SF	600,880 SF (13.8 ACRES)
MIN. BUILDABLE AREA	20,000 SF	> 20,000 SF
MIN. STREET FRONTAGE	25'	> 25'
MIN. FRONT SETBACK	40'	45.3' (COTTAGE 9)
MIN. SIDE SETBACK	30'	36.7' (COTTAGE 1)
MIN. REAR SETBACK	30'	N/A
MIN. SQUARE EACH SIDE	150'	150'
MAX. BUILDING COVERAGE	10%	6.8%
MAX. IMPERVIOUS SURFACE COVERAGE	---	17.2%
MAX. BUILDING HEIGHT (INN)	52' (EXISTING)	< 52' (PROP. ADDITION)
MAX. BUILDING HEIGHT (OTHER)	30' (FLAT ROOF)/35' (OTHER ROOF)	30'/35'
MIN. SEPARATION BETWEEN BUILDINGS	10'	10'

PARKING DATA

	COUNT
PERMANENT PARKING SPACES	111
ACCESSIBLE PARKING SPACES	5
OVERFLOW GREAT LAWN SPACES	39
TOTAL PARKING SPACES	150 (111+39)

PER TABLE 703.11 TABLE OF PARKING REQUIREMENTS
1/ROOM; ADDITIONAL FOR OTHER FACILITIES BASED ON PARKING NEEDS ASSESSMENT

AQUIFER PROTECTION AREA DATA

	AREA (SF)
PROPERTY AREA WITHIN AQUIFER PROTECTION	248,640 SF (5.71 ACRES)
IMPERVIOUS AREA WITHIN AQUIFER PROTECTION	25,300 SF (0.58 ACRES)
PERCENTAGE OF IMPERVIOUS AREA	10.2%

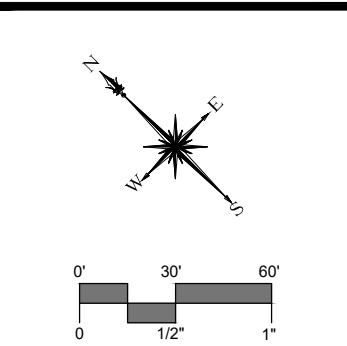
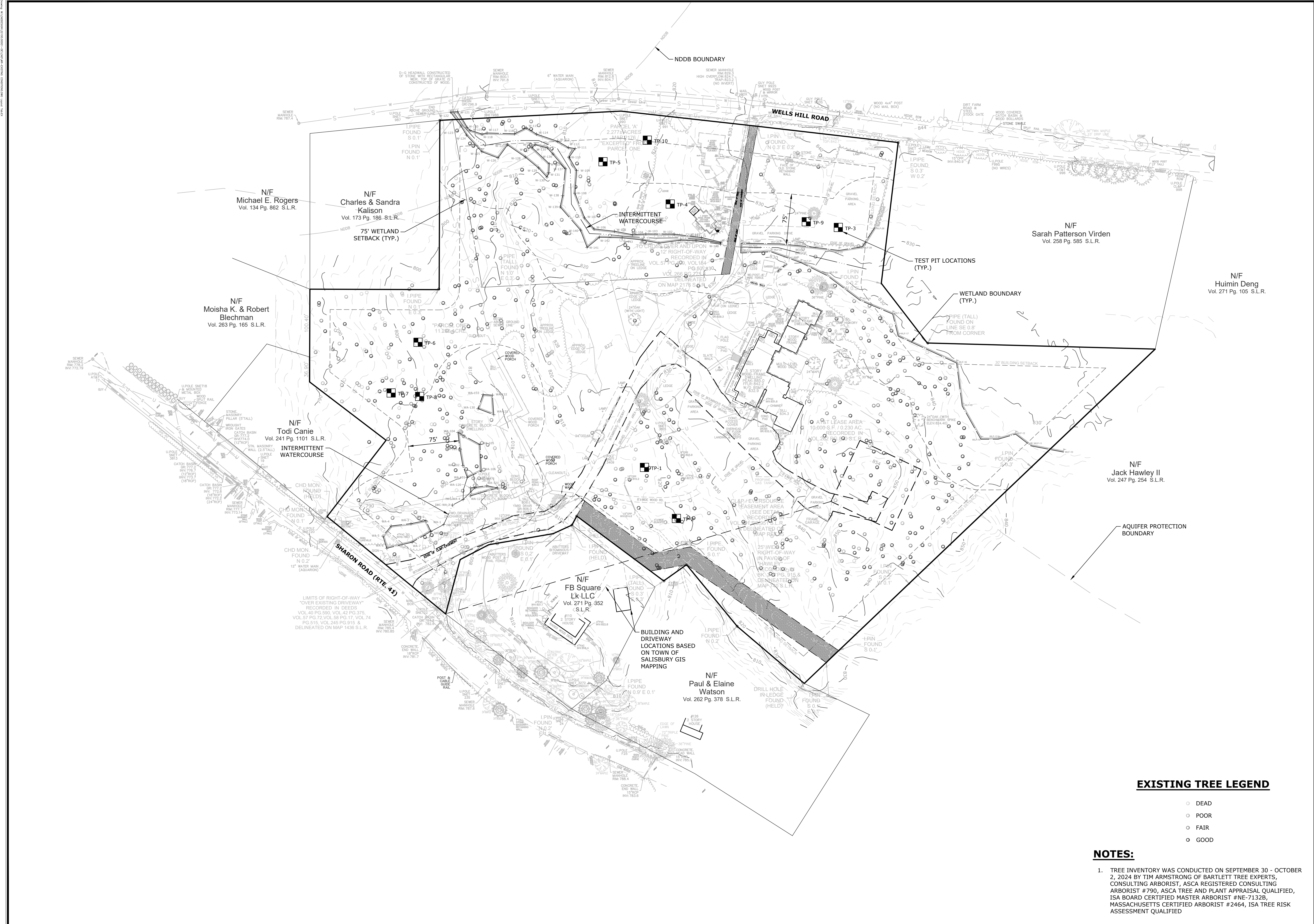
PREPARED BY:



99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM



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 WWW.SLRCONSULTING.COM

DESCRIPTION	DATE	BY
PAZ SUBMISSION	8/1/2024	SM
PEER REVIEW COMMENTS	8/8/2024	DSR
TOWN COMMENTS	11/6/2024	SM

EXISTING CONDITIONS
WAKE ROBIN INN REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

SM	SM	TR
DESIGNED	DRAWN	CHECKED

SCALE: 1"=60'
 DATE: JULY 29, 2024
 PROJECT NO.: 22100.00001
 SHEET NO.: 02 OF 19

EX


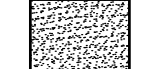
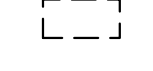

EXISTING TREE LEGEND

- DEAD
- POOR
- FAIR
- GOOD

NOTES:

- TREE INVENTORY WAS CONDUCTED ON SEPTEMBER 30 - OCTOBER 2, 2024 BY TIM ARMSTRONG OF BARTLETT TREE EXPERTS, CONSULTING ARBORIST, ASCA REGISTERED CONSULTING ARBORIST #790, ASCA TREE AND PLANT APPRAISAL QUALIFIED, ISA BOARD CERTIFIED MASTER ARBORIST #NE-7132B, MASSACHUSETTS CERTIFIED ARBORIST #2464, ISA TREE RISK ASSESSMENT QUALIFIED

REMOVALS LEGEND

-  DEMO BUILDING
-  REMOVE BITUMINOUS CONCRETE
-  TEMPORARY DUMPSTER LOCATION
-  REMOVE EXISTING TREE

DISCONNECT AND DECOMMISSION EXISTING SANITARY SERVICE IN ACCORDANCE WITH TAMD AND WPCA REQUIREMENTS

REMOVE EXISTING AT GRADE SANITARY SEWER PIPE

75' WETLAND SETBACK (TYP.)

N/F Michael E. Rogers
Vol. 134 Pg. 862 S.L.R.

N/F Charles & Sandra Kalison
Vol. 173 Pg. 186 S.L.R.

N/F Moisha K. & Robert Blechman
Vol. 263 Pg. 165 S.L.R.

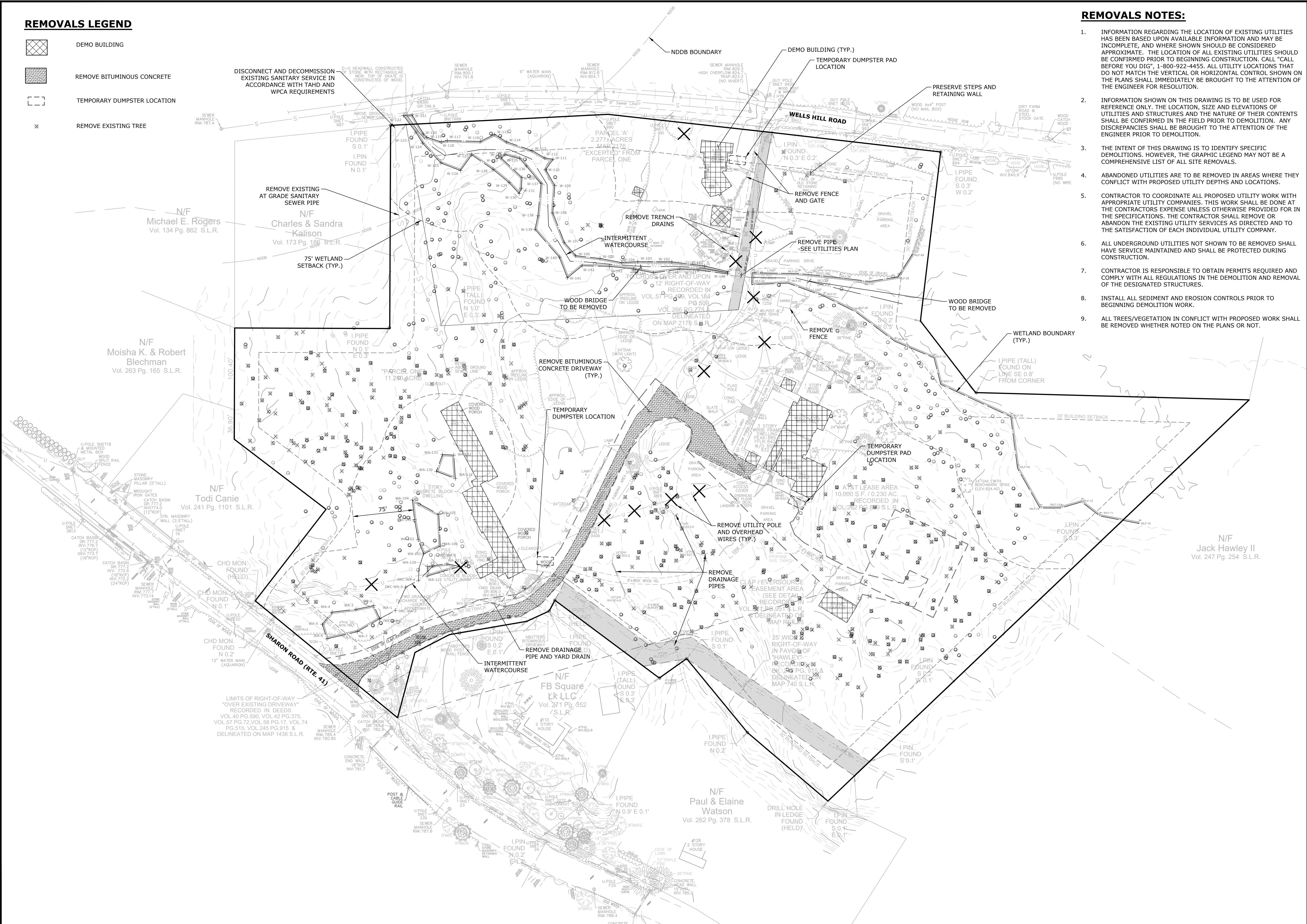
N/F Todi Canie
Vol. 241 Pg. 1101 S.L.R.

N/F Jack Hawley II
Vol. 247 Pg. 254 S.L.R.

N/F FB Square K LLC
Vol. 271 Pg. 652 S.L.R.

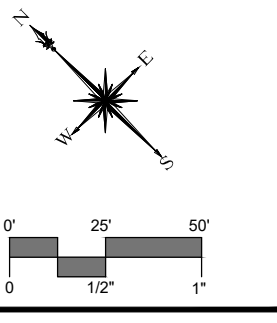
N/F Paul & Elaine Watson
Vol. 262 Pg. 378 S.L.R.

LIMITS OF RIGHT-OF-WAY "OVER EXISTING DRIVEWAY" RECORDED IN DEEDS VOL.40 PG.590, VOL.42 PG.375, VOL.57 PG.72, VOL.58 PG.17, VOL.74 PG.515, VOL.245 PG.915 & DELINEATED ON MAP 1438 S.L.R.



REMOVALS NOTES:

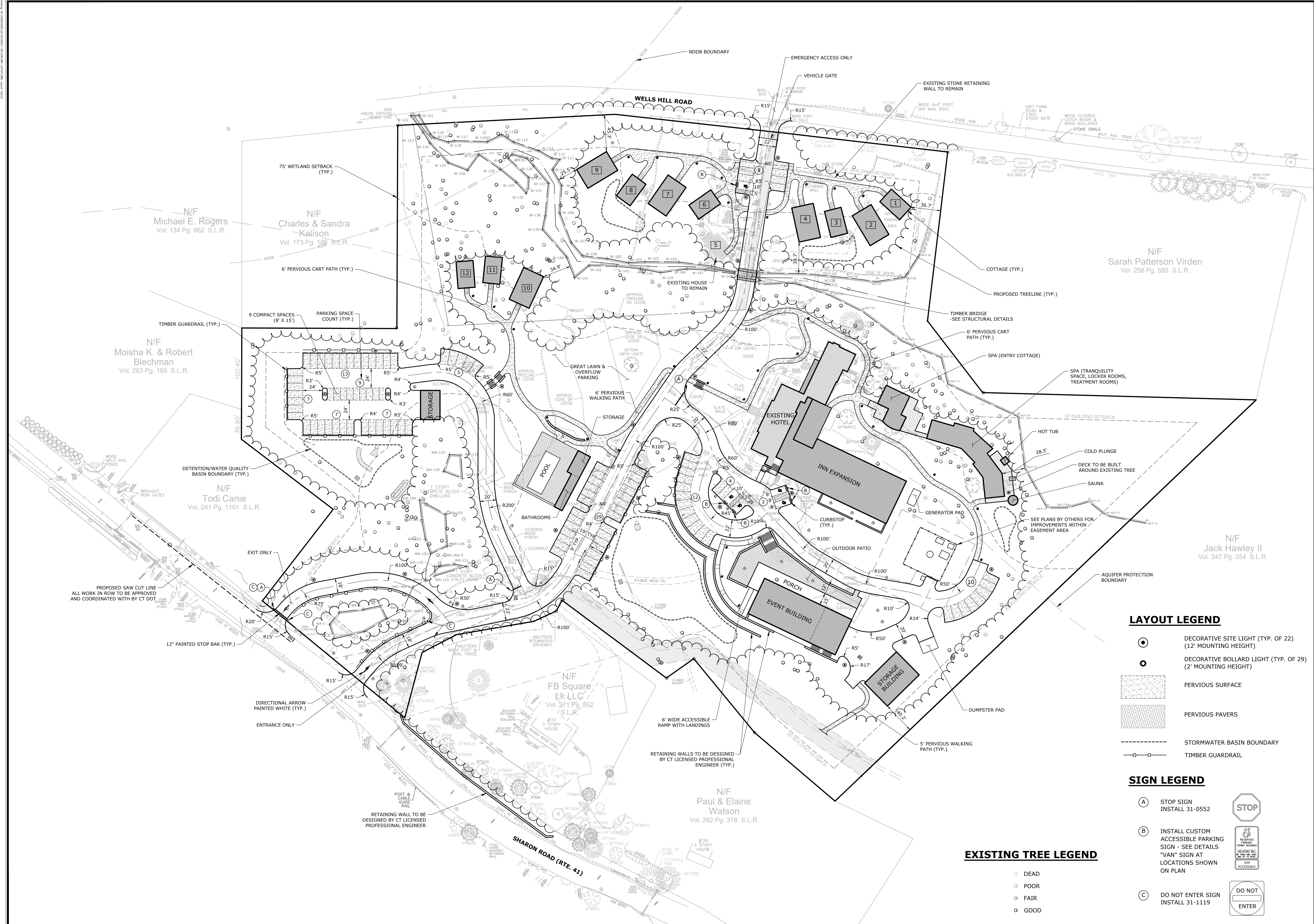
1. INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
2. INFORMATION SHOWN ON THIS DRAWING IS TO BE USED FOR REFERENCE ONLY. THE LOCATION, SIZE AND ELEVATIONS OF UTILITIES AND STRUCTURES AND THE NATURE OF THEIR CONTENTS SHALL BE CONFIRMED IN THE FIELD PRIOR TO DEMOLITION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO DEMOLITION.
3. THE INTENT OF THIS DRAWING IS TO IDENTIFY SPECIFIC DEMOLITIONS. HOWEVER, THE GRAPHIC LEGEND MAY NOT BE A COMPREHENSIVE LIST OF ALL SITE REMOVALS.
4. ABANDONED UTILITIES ARE TO BE REMOVED IN AREAS WHERE THEY CONFLICT WITH PROPOSED UTILITY DEPTHS AND LOCATIONS.
5. CONTRACTOR TO COORDINATE ALL PROPOSED UTILITY WORK WITH APPROPRIATE UTILITY COMPANIES. THIS WORK SHALL BE DONE AT THE CONTRACTORS EXPENSE UNLESS OTHERWISE PROVIDED FOR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL REMOVE OR ABANDON THE EXISTING UTILITY SERVICES AS DIRECTED AND TO THE SATISFACTION OF EACH INDIVIDUAL UTILITY COMPANY.
6. ALL UNDERGROUND UTILITIES NOT SHOWN TO BE REMOVED SHALL HAVE SERVICE MAINTAINED AND SHALL BE PROTECTED DURING CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE TO OBTAIN PERMITS REQUIRED AND COMPLY WITH ALL REGULATIONS IN THE DEMOLITION AND REMOVAL OF THE DESIGNATED STRUCTURES.
8. INSTALL ALL SEDIMENT AND EROSION CONTROLS PRIOR TO BEGINNING DEMOLITION WORK.
9. ALL TREES/VEGETATION IN CONFLICT WITH PROPOSED WORK SHALL BE REMOVED WHETHER NOTED ON THE PLANS OR NOT.



DESCRIPTION	DATE	BY
PEER REVIEW COMMENTS	8/8/2024	DSR
TOWN COMMENTS	11/16/2024	SM

SITE PLAN - REMOVALS
WAKE ROBIN INN REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

SM	SM	TR
DESIGNED	DRAWN	CHECKED
SCALE: 1"=50'		
DATE: AUGUST 1, 2024		
PROJECT NO: 22100.00001		
SHEET NO: 03 OF 19		
RP		



LAYOUT LEGEND

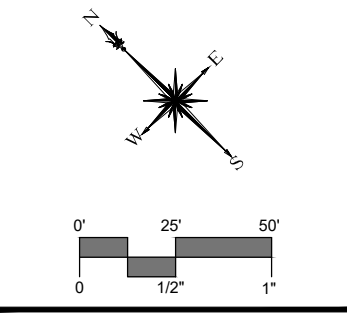
- DECORATIVE SITE LIGHT (TYP. OF 22) (12' MOUNTING HEIGHT)
- DECORATIVE BOLLARD LIGHT (TYP. OF 29) (2' MOUNTING HEIGHT)
- ▨ PERVIOUS SURFACE
- ▨ PERVIOUS PAVERS
- - - STORMWATER BASIN BOUNDARY
- +—+—+— TIMBER GUARDRAIL

SIGN LEGEND

- A STOP SIGN
INSTALL 31-0552
- B INSTALL CUSTOM ACCESSIBLE PARKING SIGN - SEE DETAILS "VAN" SIGN AT LOCATIONS SHOWN ON PLAN
- C DO NOT ENTER SIGN
INSTALL 31-1119

EXISTING TREE LEGEND

- DEAD
- POOR
- FAIR
- GOOD



DESCRIPTION	DATE	BY
PAR SUBMISSION	8/1/2024	SM
PEER REVIEW COMMENTS	8/8/2024	DSR
TOWN COMMENTS	11/8/2024	SM

SITE PLAN - LAYOUT
WAKE ROBIN INN REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

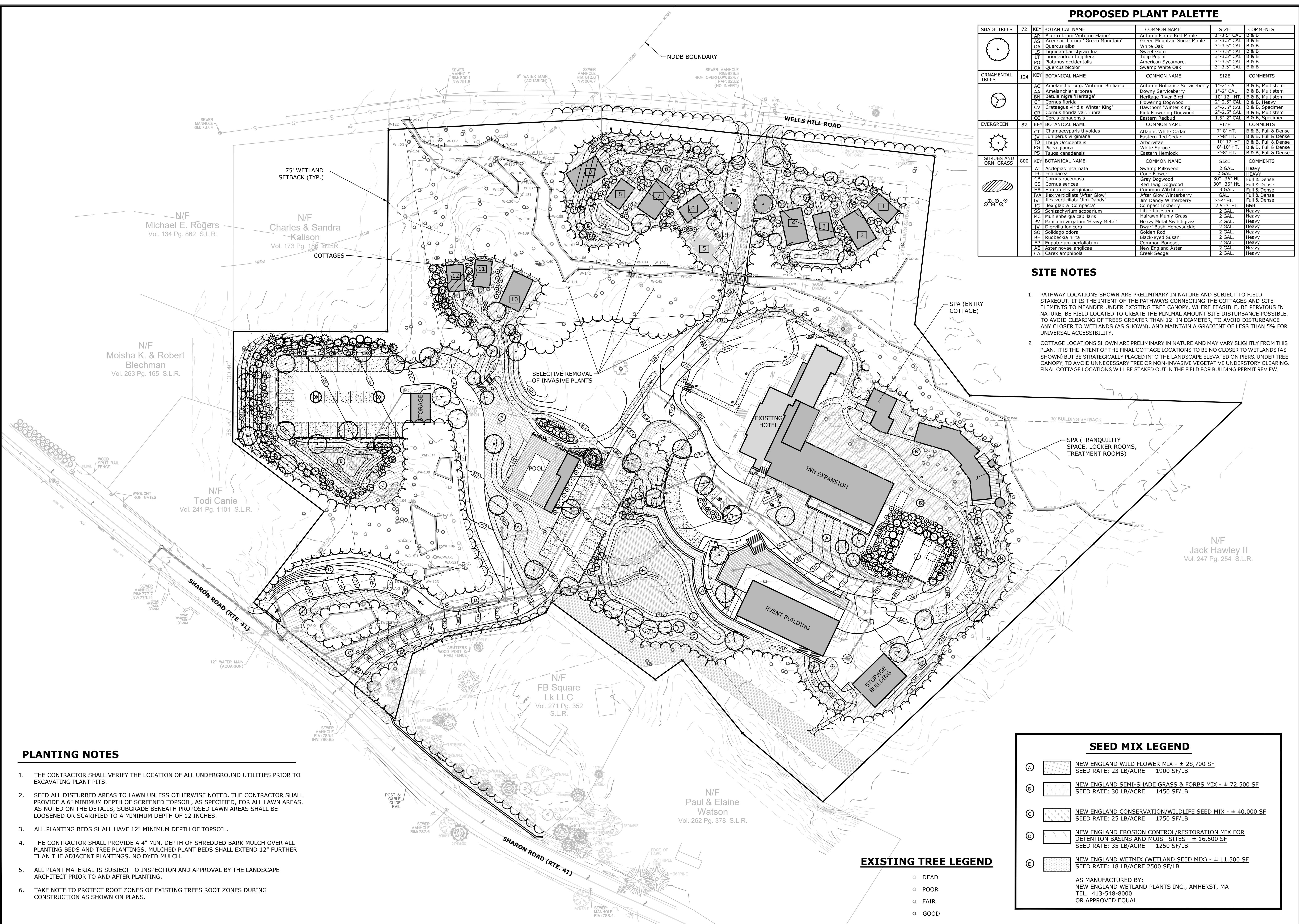
MA	SM	MA
DESIGNED	DRAWN	CHECKED
SCALE: 1"=50'		
DATE: JULY 29, 2024		
PROJECT NO.: 22100.00001		
SHEET NO.: 04 OF 19		
LA		

PROPOSED PLANT PALETTE

SHADE TREES	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
	AR	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	3'-3.5' CAL	B & B
	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3'-3.5' CAL	B & B
	QA	Quercus alba	White Oak	3'-3.5' CAL	B & B
	LS	Liquidambar styraciflua	Sweet Gum	3'-3.5' CAL	B & B
	LI	Liriodendron tulipifera	Tulip Poplar	3'-3.5' CAL	B & B
	PO	Platanus occidentalis	American Sycamore	3'-3.5' CAL	B & B
	QA	Quercus bicolor	Swamp White Oak	3'-3.5' CAL	B & B
	AC	Amelanchier x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1'-2' CAL	B & B, Multistem
	AA	Amelanchier arborea	Downy Serviceberry	1'-2' CAL	B & B, Multistem
	BN	Betula nigra 'Heritage'	Heritage River Birch	10'-12' HT.	B & B, Multistem
	CF	Cornus florida	Flowering Dogwood	2'-2.5' CAL	B & B, Heavy
	CV	Crataegus viridis 'Winter King'	Hawthorn 'Winter King'	2'-2.5' CAL	B & B, Specimen
	CR	Cornus florida var. rubra	Pink Flowering Dogwood	2'-2.5' CAL	B & B, Multistem
	CE	Cercis canadensis	Eastern Redbud	1.5'-2' CAL	B & B, Specimen
	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
	CT	Chamaecyparis thyoides	Atlantic White Cedar	7'-8' HT.	B & B, Full & Dense
	JV	Juniperus virginiana	Eastern Red Cedar	7'-8' HT.	B & B, Full & Dense
	TO	Thuja Occidentalis	Arborvitae	10'-12' HT.	B & B, Full & Dense
	PC	Picea glauca	White Spruce	8'-10' HT.	B & B, Full & Dense
	PS	Tsuga canadensis	Eastern Hemlock	7'-8' HT.	B & B, Full & Dense
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	
	AI	Asclepias incarnata	Swamp Milkweed	2 GAL.	Heavy
	EC	Echinacea	Cone Flower	2 GAL.	HEAVY
	CB	Cornus racemosa	Gray Dogwood	30"-36" HT.	Full & Dense
	BE	Berberis repens	Red Twig Dogwood	30"-36" HT.	Full & Dense
	HA	Hamamelis virginiana	Common Witchhazel	3 GAL.	Full & Dense
	IWA	Ilex verticillata 'After Glow'	After Glow Winterberry	GAL.	Full & Dense
	IJY	Ilex verticillata 'Jim Spandy'	Jim Dandy Winterberry	3'-4' HT.	Full & Dense
	IG	Ilex glabra 'Compacta'	Compact Inkberry	2.5'-3' HT.	B&B
	SS	Schizachyrium scoparium	Little Bluestem	2 GAL.	Heavy
	MC	Muhlenbergia capillaris	Hairawn Muihy Grass	2 GAL.	Heavy
	PV	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	2 GAL.	Heavy
	LV	Diervilla lonicera	Dwarf Bush-Honeysuckle	2 GAL.	Heavy
	SO	Solidago odora	Golden Rod	2 GAL.	Heavy
	BE	Rudbeckia hirta	Black-eyed Susan	2 GAL.	Heavy
	EP	Eupatorium perfoliatum	Common Boneset	2 GAL.	Heavy
AE	Aster novae-angliae	New England Aster	2 GAL.	Heavy	
CA	Carex amphibia	Creek Sedge	2 GAL.	Heavy	

SITE NOTES

1. PATHWAY LOCATIONS SHOWN ARE PRELIMINARY IN NATURE AND SUBJECT TO FIELD STAKEOUT. IT IS THE INTENT OF THE PATHWAYS CONNECTING THE COTTAGES AND SITE ELEMENTS TO MEANDER UNDER EXISTING TREE CANOPY, WHERE FEASIBLE, BE PERSISTENT IN NATURE, BE FIELD LOCATED TO CREATE THE MINIMAL AMOUNT SITE DISTURBANCE POSSIBLE, TO AVOID CLEARING OF TREES GREATER THAN 12" IN DIAMETER, TO AVOID DISTURBANCE ANY CLOSER TO WETLANDS (AS SHOWN), AND MAINTAIN A GRADIENT OF LESS THAN 5% FOR UNIVERSAL ACCESSIBILITY.
2. COTTAGE LOCATIONS SHOWN ARE PRELIMINARY IN NATURE AND MAY VARY SLIGHTLY FROM THIS PLAN. IT IS THE INTENT OF THE FINAL COTTAGE LOCATIONS TO BE NO CLOSER TO WETLANDS (AS SHOWN) BUT BE STRATEGICALLY PLACED INTO THE LANDSCAPE ELEVATED ON PIERS, UNDER TREE CANOPY, TO AVOID UNNECESSARY TREE OR NON-INVASIVE VEGETATIVE UNDERSTORY CLEARING. FINAL COTTAGE LOCATIONS WILL BE STAKED OUT IN THE FIELD FOR BUILDING PERMIT REVIEW.



PLANTING NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. SEED ALL DISTURBED AREAS TO LAWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF SCREENED TOPSOIL, AS SPECIFIED, FOR ALL LAWN AREAS. AS NOTED ON THE DETAILS, SUBGRADE BENEATH PROPOSED LAWN AREAS SHALL BE LOOSENEED OR SCARIFIED TO A MINIMUM DEPTH OF 12 INCHES.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED BARK MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. MULCHED PLANT BEDS SHALL EXTEND 12" FURTHER THAN THE ADJACENT PLANTINGS. NO DYED MULCH.
5. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. TAKE NOTE TO PROTECT ROOT ZONES OF EXISTING TREES ROOT ZONES DURING CONSTRUCTION AS SHOWN ON PLANS.

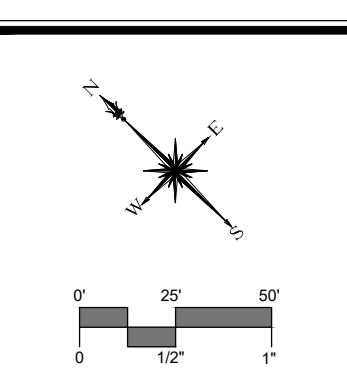
EXISTING TREE LEGEND

- DEAD
- POOR
- FAIR
- GOOD

SEED MIX LEGEND

- (A) NEW ENGLAND WILD FLOWER MIX - ± 28,700 SF
SEED RATE: 23 LB/ACRE 1900 SF/LB
- (B) NEW ENGLAND SEMI-SHADE GRASS & FORBS MIX - ± 72,500 SF
SEED RATE: 30 LB/ACRE 1450 SF/LB
- (C) NEW ENGLAND CONSERVATION/WILDLIFE SEED MIX - ± 40,000 SF
SEED RATE: 25 LB/ACRE 1750 SF/LB
- (D) NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES - ± 16,500 SF
SEED RATE: 35 LB/ACRE 1250 SF/LB
- (E) NEW ENGLAND WETMIX (WETLAND SEED MIX) - ± 11,500 SF
SEED RATE: 18 LB/ACRE 2500 SF/LB

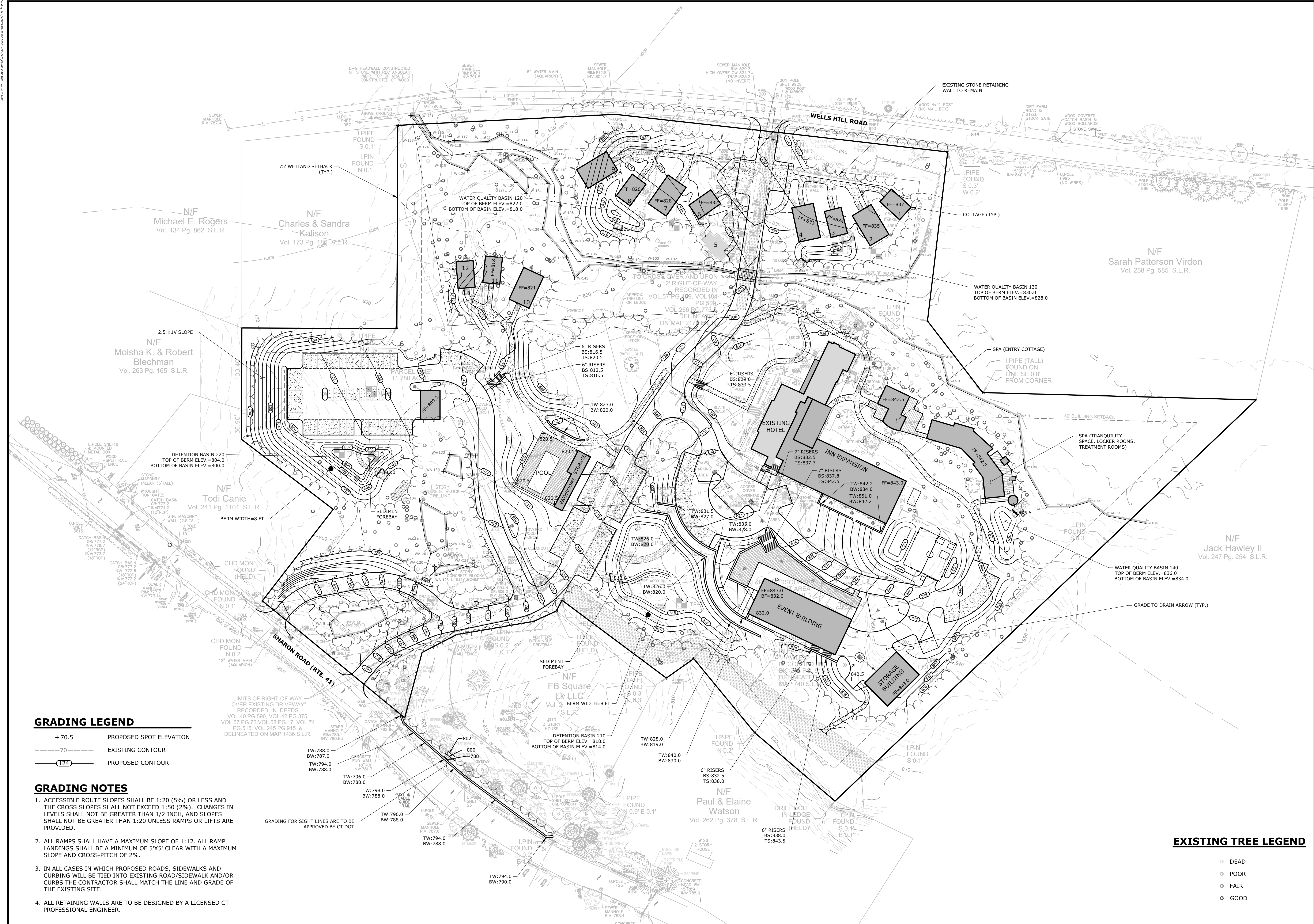
AS MANUFACTURED BY:
NEW ENGLAND WETLAND PLANTS INC., AMHERST, MA
TEL. 413-548-8000
OR APPROVED EQUAL



DESCRIPTION	DATE	BY
PRJ. SUBMISSION	8/12/2024	SB
PEER REVIEW COMMENTS	8/8/2024	SB
TOWN COMMENTS	11/16/2024	SB

SITE PLAN - LANDSCAPING
WAKE ROBIN INN REDEVELOPMENT
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT

MA	SB	MA
DESIGNED	DRAWN	CHECKED
SCALE: 1"=50'		
DATE: JULY 29, 2024		
PROJECT NO: 22100.00001		
SHEET NO: 05 OF 19		
LS		



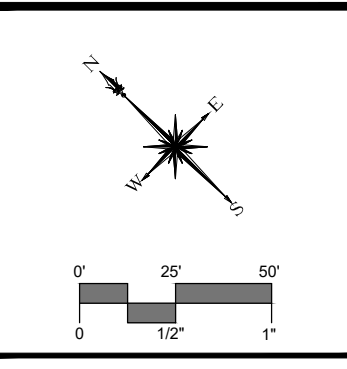
GRADING LEGEND

+70.5	PROPOSED SPOT ELEVATION
---	EXISTING CONTOUR
124	PROPOSED CONTOUR

- GRADING NOTES**
- ACCESSIBLE ROUTE SLOPES SHALL BE 1:20 (5%) OR LESS AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/2 INCH, AND SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMPS OR LIFTS ARE PROVIDED.
 - ALL RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. ALL RAMP LANDINGS SHALL BE A MINIMUM OF 5'X5' CLEAR WITH A MAXIMUM SLOPE AND CROSS-PITCH OF 2%.
 - IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBING WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE.
 - ALL RETAINING WALLS ARE TO BE DESIGNED BY A LICENSED CT PROFESSIONAL ENGINEER.

EXISTING TREE LEGEND

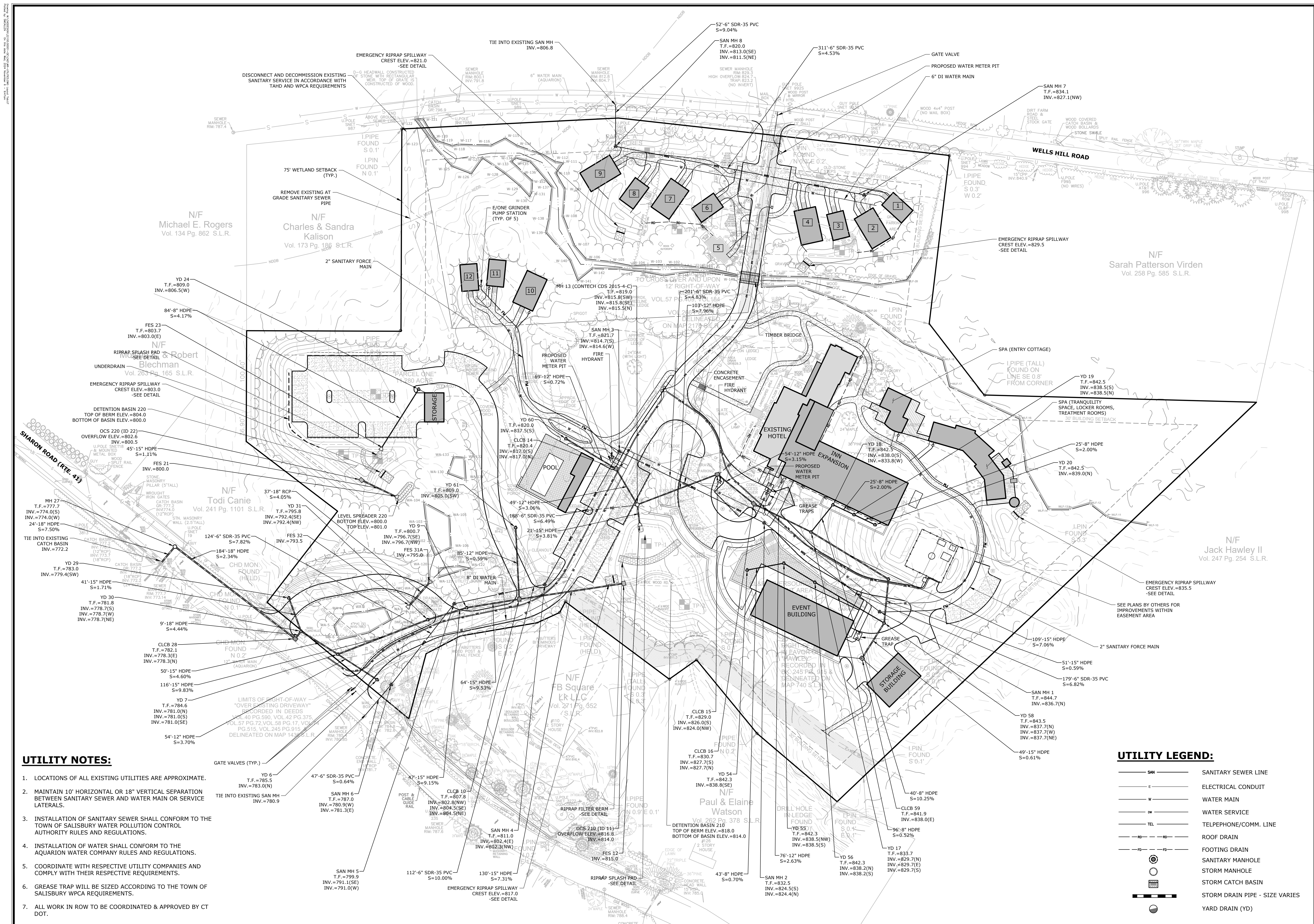
○	DEAD
○	POOR
○	FAIR
○	GOOD



DESCRIPTION	DATE	BY
PAZ SUBMISSION	8/12/2024	SM
PEER REVIEW COMMENTS	8/8/2024	DSR
TOWN COMMENTS	11/16/2024	SM

SITE PLAN - GRADING
WAKE ROBIN INN REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

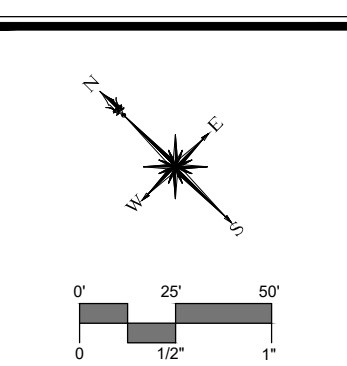
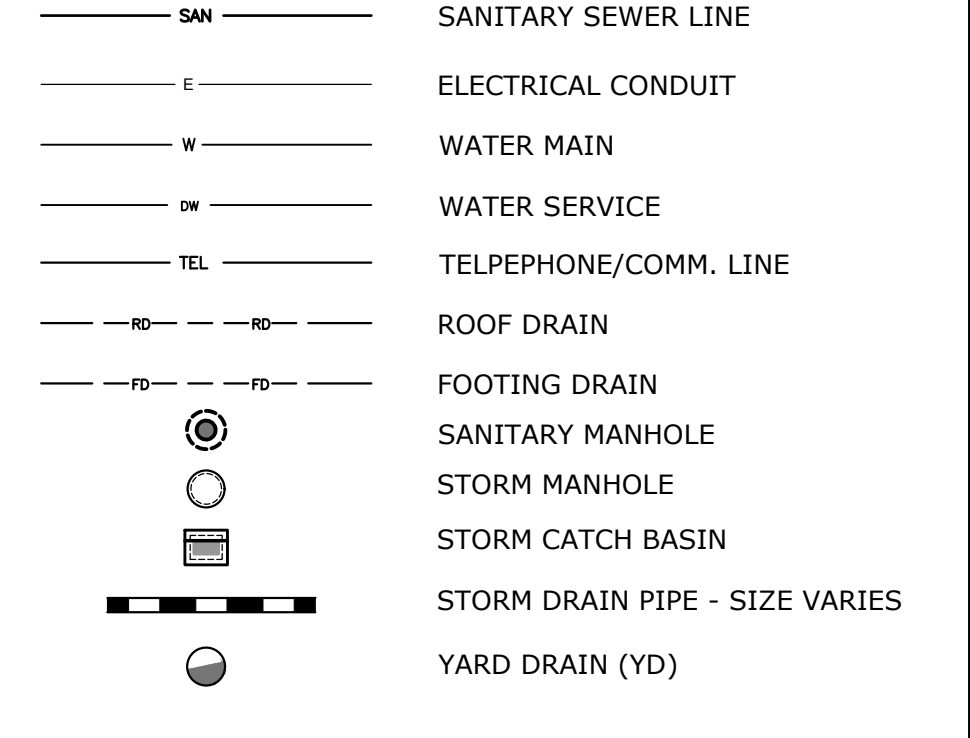
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SCALE: 1"=50'		
DATE: JULY 29, 2024		
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SHEET NO.: 06 OF 19		
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UTILITY NOTES:

1. LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE.
2. MAINTAIN 10' HORIZONTAL OR 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAIN OR SERVICE LATERALS.
3. INSTALLATION OF SANITARY SEWER SHALL CONFORM TO THE TOWN OF SALISBURY WATER POLLUTION CONTROL AUTHORITY RULES AND REGULATIONS.
4. INSTALLATION OF WATER SHALL CONFORM TO THE AQUARIUM WATER COMPANY RULES AND REGULATIONS.
5. COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND COMPLY WITH THEIR RESPECTIVE REQUIREMENTS.
6. GREASE TRAP WILL BE SIZED ACCORDING TO THE TOWN OF SALISBURY WPCA REQUIREMENTS.
7. ALL WORK IN ROW TO BE COORDINATED & APPROVED BY CT DOT.

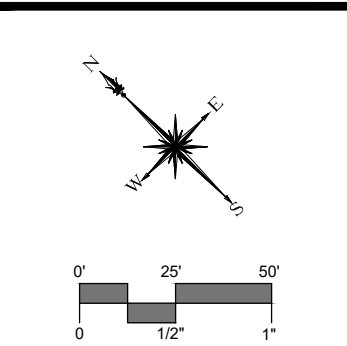
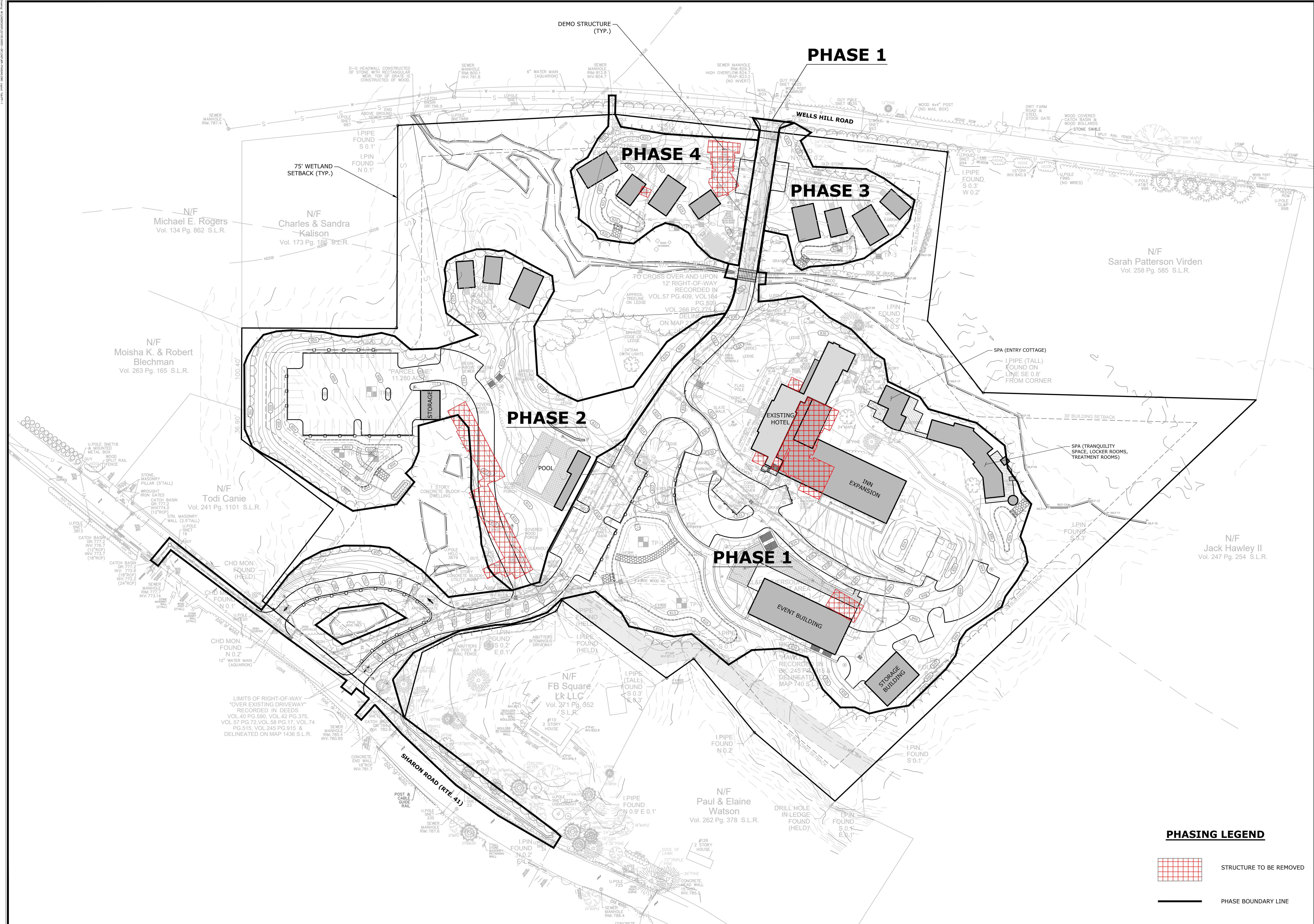
UTILITY LEGEND:



DESCRIPTION	DATE	BY
PAZ SUBMISSION	8/1/2024	SM
PEER REVIEW COMMENTS	8/8/2024	DSR
TOWN COMMENTS	11/8/2024	SM

SITE PLAN - UTILITIES
WAKE ROBIN INN
REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

SM	SM	TR
DESIGNED	DRAWN	CHECKED
SCALE: 1"=50'		
DATE: JULY 29, 2024		
PROJECT NO.: 22100.00001		
SHEET NO.: 07 OF 19		
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SLR
 99 REALTY DRIVE
 SUITE 100
 283.271.1773
 SLRCONSULTING.COM

DESCRIPTION	DATE	BY
PEER REVIEW COMMENTS	8/8/2024	DSR
TOWN COMMENTS	11/16/2024	SM

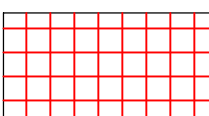
PHASING PLAN
WAKE ROBIN INN REDEVELOPMENT
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT


SM	SM	TR
DESIGNED	DRAWN	CHECKED

1"=50'
 AUGUST 1, 2024

DATE	22100.00001
PROJECT NO.	08 OF 19
SHEET NO.	PP-1
SHEET NAME	

PHASING LEGEND

 STRUCTURE TO BE REMOVED

 PHASE BOUNDARY LINE

1. THE TOWN OF SALISBURY HAS REVIEWED THIS PLAN AND APPROVES THE CONSTRUCTION SEQUENCE AND PHASING PLAN. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED.

CONSTRUCTION SEQUENCE - PHASING PLAN

GENERAL NOTES

- AT LEAST SIXTY DAYS PRIOR TO THE START OF CONSTRUCTION THE DEVELOPER IS TO SUBMIT TO THE STATE OF CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION (CTDEEP) A COMPLETED GENERAL PERMIT REGISTRATION FORM FOR THE DISCHARGE OF STORMWATER AND DOWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES. AFTER THE DEPARTMENT'S REVIEW, THE DEVELOPER WILL MAKE THE NECESSARY PLAN CHANGES PRIOR TO THE START OF CONSTRUCTION.
- SEDIMENT AND EROSION CONTROL INSPECTION REPORTS SHALL BE COMPLETED THROUGHOUT CONSTRUCTION WITH COPIES MAINTAINED ONSITE AND ALSO SUBMITTED TO CTDEEP AND THE TOWN OF SALISBURY LAND USE AGENCY, IN ACCORDANCE WITH STATE AND LOCAL PERMIT REQUIREMENTS.
- AT THIS TIME A PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN THE DEVELOPER, TOWN STAFF, AND DESIGN ENGINEER. AT THIS MEETING SOMEONE WILL BE NAMED RESPONSIBLE FOR MAINTAINING THE SEDIMENT AND EROSION CONTROL MEASURES. EROSION CONTROL INSPECTIONS SHALL BE PERFORMED ON A WEEKLY BASIS BY THIS PERSON AND AN INSPECTION REPORT BE SUBMITTED TO TOWN STAFF. AREAS WHERE THE EROSION CONTROL SYSTEMS HAVE FAILED SHALL BE NOTED AND SHALL BE REPAIRED PROMPTLY. A LOG OF ALL INSPECTIONS AND A COPY OF THE CURRENT DESIGN PLANS SHALL BE KEPT ON SITE AND BE AVAILABLE FOR VIEWING.
- THE SOIL EROSION AND SEDIMENT CONTROLS SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AND/OR A DESIGNATED TOWN REPRESENTATIVE AS NECESSITATED BY CHANGING SITE CONDITIONS.
- THE SITE SHOULD BE KEPT CLEAN OF LOOSE DEBRIS, LITTER, AND BUILDING MATERIALS SUCH THAT NONE OF THE ABOVE ENTERS WETLANDS OR WATERCOURSES.
- THE FOLLOWING IS INTENDED TO OUTLINE A REASONABLE CONSTRUCTION SEQUENCE OF MAJOR TASKS THAT MINIMIZES THE AMOUNT OF EXPOSED SOIL AREA AT ANY ONE TIME. THE AMOUNT OF EXPOSED SOIL SHALL BE LIMITED TO ACTIVE WORK AREAS ONLY AND BE KEPT TO A MINIMUM AT ALL TIMES. THE BEST WAY TO MINIMIZE SOIL EROSION IS TO MAINTAIN VEGETATIVE COVER AND KEEP DISTURBED AREAS BELOW FIVE ACRES DRAINING TO ANY ONE LOCATION. VEGETATIVE COVER WHETHER TEMPORARY OR PERMANENT SHALL BE ESTABLISHED AS SOON AS POSSIBLE. ANY CHANGES TO THE SEQUENCE OF CONSTRUCTION MUST BE COORDINATED WITH THE TOWN ENGINEER AND/OR A DESIGNATED TOWN REPRESENTATIVE. THE SELECTED SITE CONTRACTOR SHALL REVIEW THE EROSION AND SEDIMENT CONTROL PLANS AND SUBMIT A FINAL PLAN, CONSTRUCTION SEQUENCE, AND SCHEDULE PRIOR TO INITIATION OF EACH PHASE. SUCH PLAN AND SUPPORTING INFORMATION SHALL BE PREPARED BY A PROFESSIONAL ENGINEER OR CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL.
- ALL SEDIMENT AND EROSION CONTROLS SHALL BE CONSISTENT WITH THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AND SALISBURY PLANNING & ZONING REGULATIONS.
- IN ORDER TO MINIMIZE THE AMOUNT OF EXPOSED SOIL AREA THE CONSTRUCTION SEQUENCE HAS BEEN DIVIDED INTO FOUR PHASES.
- BITUMINOUS CONCRETE TOP COURSE FOR MAIN CORRIDOR WHICH CONNECTS SHARON ROAD AND WELLS HILL ROAD WILL BE COMPLETED LAST.
- UPON COMPLETION OF THE FINAL PHASE OF CONSTRUCTION AND FINAL EROSION CONTROL INSPECTION IN ACCORDANCE WITH DEEP GENERAL PERMIT, THE REGISTRANT SHALL FILE A NOTICE OF TERMINATION TO CLOSE THE PERMIT.

PRE-CONSTRUCTION & DEMOLITION PHASE

- CONTRACTOR TO STAKE OUT LIMIT OF DISTURBANCE FOR CONSTRUCTION FOR PHASES 1 THRU 4. NO DISTURBANCE IS TO TAKE PLACE BEYOND THE LIMITS OF WORK SHOWN.
- INSTALL CONSTRUCTION ENTRANCES, INLET PROTECTION AND PERIMETER EROSION CONTROLS AS DEPICTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLANS.
- BEGIN TREE CLEARING OPERATIONS FOR PHASES PHASES 1 THRU 4. REMOVE STUMPS LOCATED WITHIN THE CLEARED AREA. ANY PORTION OF THE CLEARED AREA THAT WILL NOT BE ACTIVE WITHIN ONE MONTH SHALL BE STABILIZED WITH HAY AND SEED AFTER STUMPS ARE REMOVED. STUMPS ARE TO BE GROUND INTO MULCH OR REMOVED AND DISPOSED OF OFF-SITE. WOODCHIPS FROM CLEARING OPERATIONS MAY BE STOCKPILED TO BE USED FOR EROSION CONTROL DURING THE WINTER MONTHS TO BLANKET DISTURBED AREAS WHEN TURF ESTABLISHMENT IS IMPRACTICAL.
- CONDUCT DEMOLITION OF ANY EXISTING STRUCTURES OR OTHER EXISTING IMPROVEMENTS THAT ARE DESIGNATED TO BE REMOVED FOR PHASES 1 THRU 4. ALL TRASH AND OTHER SURFACE DEBRIS SHOULD ALSO BE REMOVED AT THIS TIME AND DISPOSED OF AT AN APPROPRIATE OFF-SITE FACILITY.
- NO WORK SHALL PROCEED ON PHASE 1 UNTIL AUTHORIZED BY THE TOWN LAND USE AGENCY.

PHASE 1 CONSTRUCTION

- CONSTRUCT DRAINAGE SWALES, DIVERSION BERMS AND TEMPORARY SEDIMENT TRAPS/BASINS FOR PHASE 1. TEMPORARY SEDIMENT TRAPS/BASINS ARE TO BE CONSTRUCTED FIRST. THE BOTTOM OF THE TRAPS ARE TWO FEET HIGHER THAN THE BOTTOM OF THE PROPOSED BASINS. ONCE THE TRAP IS STABILIZED, CONSTRUCTION MAY BE COMMENCED FOR HOTEL BUILDING ADDITION, EVENT BARN, SPA, STORAGE BUILDING, ROADWAYS, AND UTILITIES.
- BEGIN STRIPPING TOPSOIL FOR THE ROADWAYS, FOLLOWED BY THE BUILDING LOCATIONS. TOPSOIL SHALL BE STOCKPILED WITHIN LIMITS OF CLEARING DESIGNATED ON THE DESIGN PLANS AND BE ENCIRCLED WITH SEDIMENT FILTER FENCE. TOPSOIL STOCKPILES THAT ARE TO SIT UNDISTURBED FOR GREATER THAN THIRTY DAYS ARE TO BE STABILIZED WITH TEMPORARY SEEDING.
- CONSTRUCT STORM DRAINS, UTILITIES, RETAINING WALLS, ROADWAYS AND PARKING AREAS ASSOCIATED WITH PHASE 1. INSTALL INLET PROTECTION FOR INSTALLED CATCH BASINS AND YARD DRAINS.
- BEGIN MASS EARTHWORK FOR THE MAIN DRIVEWAY ENTRANCE SIGHT LINES, NEW BUILDINGS, PARKING AREAS AND TRAILS ASSOCIATED WITH PHASE 1. ANY BLASTING REQUIRED SHALL BE PERFORMED ACCORDING TO THE TOWN OF SALISBURY STANDARDS AND APPLICABLE INDUSTRY STANDARDS. ALL BLASTING SHALL BE COORDINATED WITH THE TOWN OF SALISBURY FIRE MARSHAL.
- ONCE ROUGH GRADE IS REACHED ALL STORM DRAINAGE AND UTILITY SERVICE INSTALLATIONS SHALL BE COMPLETED. EXCESS EXCAVATED SOIL MATERIAL FROM PHASE 1 SHALL BE DEPOSITED AT SPECIFIED FILL LOCATIONS IN OTHER PHASES.
- WHEN BUILDING CONSTRUCTION, UTILITY SERVICE INSTALLATION AND TRAILS ARE COMPLETE, TOPSOIL SHALL BE PLACED AND FINE GRADED TO FINISHED GRADE SHOWN ON SITE PLANS. PERMANENT SEEDING, LANDSCAPE PLANTINGS AND IRRIGATION SHALL BE COMPLETED AT THIS TIME, ALONG WITH INSTALLATION OF THE BASE LAYER OF BITUMINOUS CONCRETE PAVEMENT.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE UNTIL ALL NEW BUILDINGS ARE CONSTRUCTED AND THE SITE IS PERMANENTLY STABILIZED UP SLOPE OF THE PERIMETER EROSION CONTROL.
- UPON COMPLETION OF ALL BUILDINGS IN PHASE 1 AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS ASSOCIATED WITH CONSTRUCTION, TEMPORARY SEDIMENT BASIN #2 SHALL BE CONVERTED TO PERMANENT DETENTION BASIN 210 AND ALL STORM DRAINAGE STRUCTURES WITHIN PHASE 1 SHALL BE INSPECTED AND THOROUGHLY CLEANED OF ACCUMULATED SEDIMENT AND DEBRIS.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE DOWN SLOPE OF ALL DISTURBED SITE AREAS UNTIL THE SITE IS PERMANENTLY STABILIZED.
- NO WORK SHALL PROCEED ON PHASE 2 UNTIL AUTHORIZED BY THE TOWN LAND USE AGENCY.

PHASE 2 CONSTRUCTION

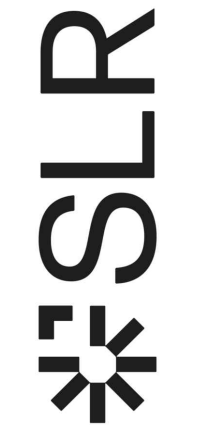
- CONSTRUCT DRAINAGE SWALES, DIVERSION BERMS AND TEMPORARY SEDIMENT TRAPS/BASINS FOR PHASE 2. TEMPORARY SEDIMENT TRAPS/BASINS ARE TO BE CONSTRUCTED FIRST. THE BOTTOM OF THE TRAPS ARE TWO FEET HIGHER THAN THE BOTTOM OF THE PROPOSED BASINS. ONCE THE TRAP IS STABILIZED, CONSTRUCTION MAY BE COMMENCED FOR THE POOL, COTTAGES, STORAGE BUILDING, ROADWAYS, AND UTILITIES.
- BEGIN STRIPPING TOPSOIL FOR THE ROADWAYS, FOLLOWED BY THE BUILDING LOCATIONS. TOPSOIL SHALL BE STOCKPILED WITHIN LIMITS OF CLEARING DESIGNATED ON THE DESIGN PLANS AND BE ENCIRCLED WITH SEDIMENT FILTER FENCE. TOPSOIL STOCKPILES THAT ARE TO SIT UNDISTURBED FOR GREATER THAN THIRTY DAYS ARE TO BE STABILIZED WITH TEMPORARY SEEDING.
- CONSTRUCT STORM DRAINS, UTILITIES, RETAINING WALLS, ROADWAYS AND PARKING AREAS ASSOCIATED WITH PHASE 2. INSTALL INLET PROTECTION FOR INSTALLED CATCH BASINS AND YARD DRAINS.
- BEGIN MASS EARTHWORK FOR THE NEW BUILDINGS, ROADWAYS, PARKING AREAS AND TRAILS ASSOCIATED WITH PHASE 2. ANY BLASTING REQUIRED SHALL BE PERFORMED ACCORDING TO THE TOWN OF SALISBURY STANDARDS AND APPLICABLE INDUSTRY STANDARDS. ALL BLASTING SHALL BE COORDINATED WITH THE TOWN OF SALISBURY FIRE MARSHAL.
- ONCE ROUGH GRADE IS REACHED ALL STORM DRAINAGE AND UTILITY SERVICE INSTALLATIONS SHALL BE COMPLETED. EXCESS EXCAVATED SOIL MATERIAL FROM PHASE 2 SHALL BE DEPOSITED AT SPECIFIED FILL LOCATIONS IN OTHER PHASES.
- WHEN BUILDING CONSTRUCTION AND UTILITY SERVICE INSTALLATION IS COMPLETE, TOPSOIL SHALL BE PLACED AND FINE GRADED TO FINISHED GRADE SHOWN ON SITE PLANS. PERMANENT SEEDING, LANDSCAPE PLANTINGS AND IRRIGATION SHALL BE COMPLETED AT THIS TIME, ALONG WITH INSTALLATION OF THE BASE LAYER OF BITUMINOUS CONCRETE PAVEMENT.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE UNTIL ALL NEW BUILDINGS ARE CONSTRUCTED AND THE SITE IS PERMANENTLY STABILIZED UP SLOPE OF THE PERIMETER EROSION CONTROL.
- UPON COMPLETION OF ALL BUILDINGS IN PHASE 2 AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS ASSOCIATED WITH CONSTRUCTION, TEMPORARY SEDIMENT BASIN #1 SHALL BE CONVERTED TO PERMANENT DETENTION BASIN 220 AND ALL STORM DRAINAGE STRUCTURES WITHIN PHASE 2 SHALL BE INSPECTED AND THOROUGHLY CLEANED OF ACCUMULATED SEDIMENT AND DEBRIS.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE DOWN SLOPE OF ALL DISTURBED SITE AREAS UNTIL THE SITE IS PERMANENTLY STABILIZED.
- NO WORK SHALL PROCEED ON PHASE 3 UNTIL AUTHORIZED BY THE TOWN LAND USE AGENCY.

PHASE 3 CONSTRUCTION

- BEGIN STRIPPING TOPSOIL FOR THE PARKING AREA FOLLOWED BY THE COTTAGE LOCATIONS. TOPSOIL SHALL BE STOCKPILED WITHIN LIMITS OF CLEARING DESIGNATED ON THE DESIGN PLANS AND BE ENCIRCLED WITH SEDIMENT FILTER FENCE. TOPSOIL STOCKPILES THAT ARE TO SIT UNDISTURBED FOR GREATER THAN THIRTY DAYS ARE TO BE STABILIZED WITH TEMPORARY SEEDING.
- BEGIN MASS EARTHWORK FOR THE NEW COTTAGES, PARKING AREAS WATER QUALITY BASIN AND TRAILS ASSOCIATED WITH PHASE 3. ANY BLASTING REQUIRED SHALL BE PERFORMED ACCORDING TO THE TOWN OF SALISBURY STANDARDS AND APPLICABLE INDUSTRY STANDARDS. ALL BLASTING SHALL BE COORDINATED WITH THE TOWN OF SALISBURY FIRE MARSHAL.
- CONSTRUCT STORM DRAINS, UTILITIES, ROADWAYS AND PARKING AREAS ASSOCIATED WITH PHASE 3.
- ONCE ROUGH GRADE IS REACHED ALL STORM DRAINAGE AND UTILITY SERVICE INSTALLATIONS SHALL BE COMPLETED. EXCESS EXCAVATED SOIL MATERIAL FROM PHASE 3 SHALL BE DEPOSITED IN PHASE 4.
- WHEN BUILDING CONSTRUCTION AND UTILITY SERVICE INSTALLATION ARE COMPLETE, TOPSOIL SHALL BE PLACED AND FINE GRADED TO FINISHED GRADE SHOWN ON SITE PLANS. PERMANENT SEEDING, LANDSCAPE PLANTINGS AND IRRIGATION SHALL BE COMPLETED AT THIS TIME.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE UNTIL ALL NEW BUILDINGS ARE CONSTRUCTED AND THE SITE IS PERMANENTLY STABILIZED UP SLOPE OF THE PERIMETER EROSION CONTROL.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE DOWN SLOPE OF ALL DISTURBED SITE AREAS UNTIL THE SITE IS PERMANENTLY STABILIZED.
- NO WORK SHALL PROCEED ON PHASE 4 UNTIL AUTHORIZED BY THE TOWN LAND USE AGENCY.

PHASE 4 CONSTRUCTION

- BEGIN STRIPPING TOPSOIL FOR THE PARKING AREA FOLLOWED BY THE COTTAGE LOCATIONS. TOPSOIL SHALL BE STOCKPILED WITHIN LIMITS OF CLEARING DESIGNATED ON THE DESIGN PLANS AND BE ENCIRCLED WITH SEDIMENT FILTER FENCE OR EXPORTED FROM THE SITE. TOPSOIL STOCKPILES THAT ARE TO SIT UNDISTURBED FOR GREATER THAN THIRTY DAYS ARE TO BE STABILIZED WITH TEMPORARY SEEDING.
- BEGIN MASS EARTHWORK FOR THE NEW COTTAGES, PARKING AREA, WATER QUALITY BASIN AND TRAILS ASSOCIATED WITH PHASE 4. ANY BLASTING REQUIRED SHALL BE PERFORMED ACCORDING TO THE TOWN OF SALISBURY STANDARDS AND APPLICABLE INDUSTRY STANDARDS. ALL BLASTING SHALL BE COORDINATED WITH THE TOWN OF SALISBURY FIRE MARSHAL.
- CONSTRUCT STORM DRAINS, UTILITIES, RETAINING WALLS, ROADWAYS AND PARKING AREAS ASSOCIATED WITH PHASE 4.
- ONCE ROUGH GRADE IS REACHED ALL STORM DRAINAGE AND UTILITY SERVICE INSTALLATIONS SHALL BE COMPLETED. EXCESS EXCAVATED SOIL MATERIAL FROM PHASE 4 SHALL BE REMOVED FROM THE SITE.
- WHEN BUILDING AND UTILITY SERVICE INSTALLATION ARE COMPLETE, TOPSOIL SHALL BE PLACED AND FINE GRADED TO FINISHED GRADE SHOWN ON SITE PLANS. PERMANENT SEEDING, LANDSCAPE PLANTINGS AND IRRIGATION SHALL BE COMPLETED AT THIS TIME.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE UNTIL THE NEW BUILDINGS ARE CONSTRUCTED AND THE SITE IS PERMANENTLY STABILIZED UP SLOPE OF THE PERIMETER EROSION CONTROL.
- PERIMETER EROSION CONTROLS ARE TO REMAIN IN PLACE DOWN SLOPE OF ALL DISTURBED SITE AREAS UNTIL THE SITE IS PERMANENTLY STABILIZED.



99 REALTY DRIVE
 SUITE 100
 283-271-1773
 SLRCONSULTING.COM

DESCRIPTION	DATE	BY
TOWN COMMENTS	11/16/2024	DSR
TOWN COMMENTS	11/16/2024	SM

PHASING PLAN NOTES

**WAKE ROBIN INN
 REDEVELOPMENT**
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

SM	SM	TR
DESIGNED	DRAWN	CHECKED
1"=50'		
AUGUST 1, 2024		
DATE		
22100.00001		
PROJECT NO.		
09 OF 19		
SHEET NO.		
PP-2		
SHEET NAME		

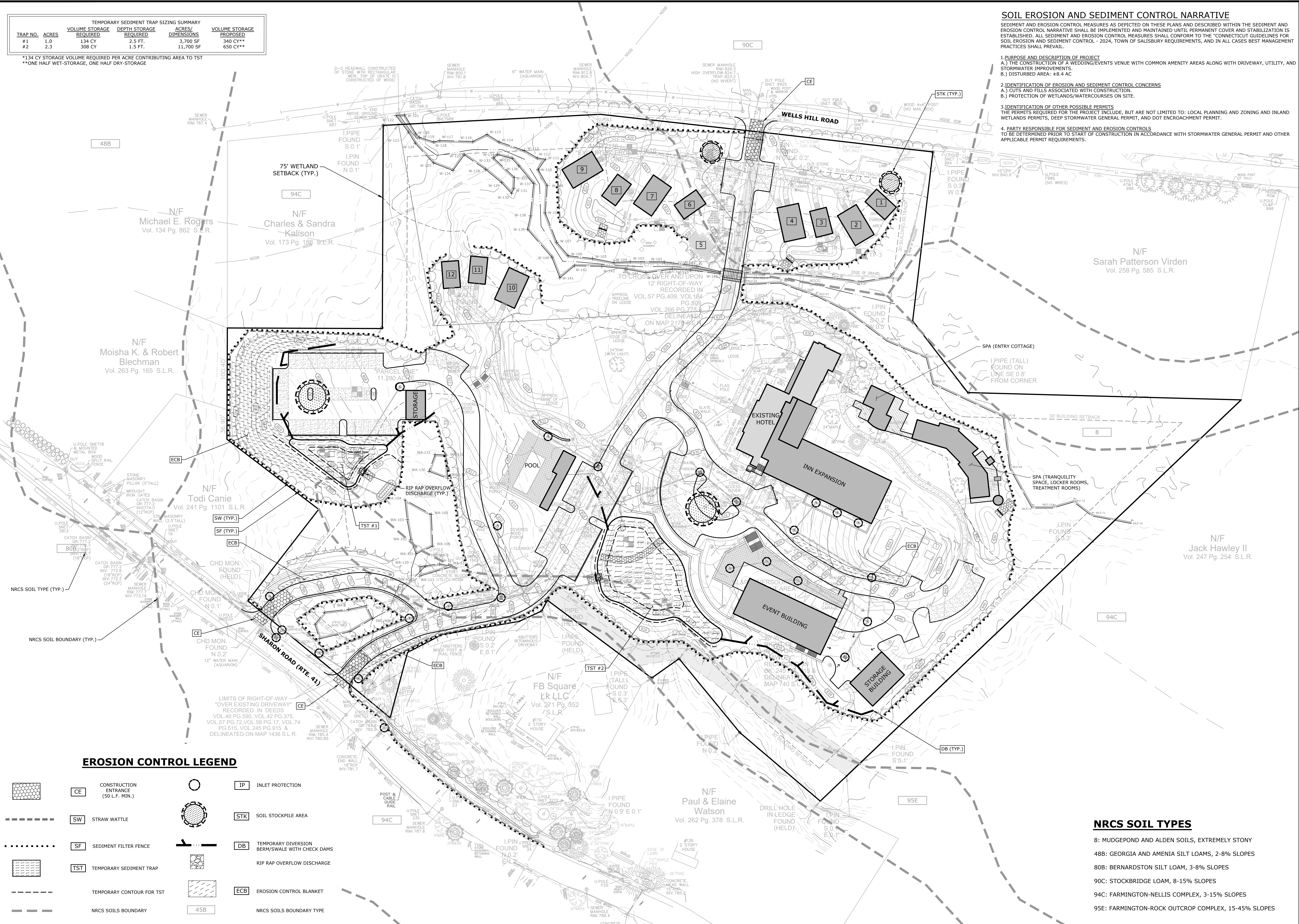
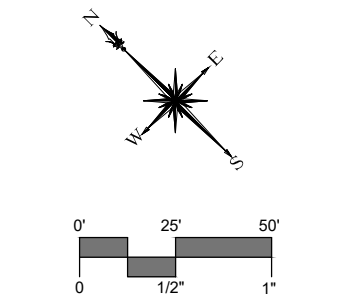
TEMPORARY SEDIMENT TRAP SIZING SUMMARY				
TRAP NO.	ACRES	VOLUME STORAGE REQUIRED	DEPTH REQUIRED	ACRES/DIMENSIONS
#1	1.0	134 CY	2.5 FT.	3,700 SF
#2	2.3	308 CY	1.5 FT.	11,700 SF

*134 CY STORAGE VOLUME REQUIRED PER ACRE CONTRIBUTING AREA TO TST
 **ONE HALF WET-STORAGE, ONE HALF DRY-STORAGE

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL - 2024, TOWN OF SALISBURY REQUIREMENTS, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

- PURPOSE AND DESCRIPTION OF PROJECT**
 A.) THE CONSTRUCTION OF A WEDDING/EVENTS VENUE WITH COMMON AMENITY AREAS ALONG WITH DRIVEWAY, UTILITY, AND STORMWATER IMPROVEMENTS.
 B.) DISTURBED AREA: ~8.4 AC
- IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS**
 A.) CUTS AND FILLS ASSOCIATED WITH CONSTRUCTION.
 B.) PROTECTION OF WETLANDS/WATERCOURSES ON SITE.
- IDENTIFICATION OF OTHER POSSIBLE PERMITS**
 THE PERMITS REQUIRED FOR THE PROJECT INCLUDE, BUT ARE NOT LIMITED TO: LOCAL PLANNING AND ZONING AND INLAND WETLANDS PERMITS, DEEP STORMWATER GENERAL PERMIT, AND DOT ENCROACHMENT PERMIT.
- PARTY RESPONSIBLE FOR SEDIMENT AND EROSION CONTROLS**
 TO BE DETERMINED PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH STORMWATER GENERAL PERMIT AND OTHER APPLICABLE PERMIT REQUIREMENTS.



EROSION CONTROL LEGEND

	CE CONSTRUCTION ENTRANCE (50 L.F. MIN.)		IP INLET PROTECTION
	SW STRAW WATTLE		STK SOIL STOCKPILE AREA
	SF SEDIMENT FILTER FENCE		DB TEMPORARY DIVERSION BERM/SWALE WITH CHECK DAMS
	TST TEMPORARY SEDIMENT TRAP		RIP RAP OVERFLOW DISCHARGE
	TEMPORARY CONTOUR FOR TST		ECB EROSION CONTROL BLANKET
	NRCS SOILS BOUNDARY		NRCS SOILS BOUNDARY TYPE

NRCS SOIL TYPES

8: MUDGEPOUND AND ALDEN SOILS, EXTREMELY STONY
 48B: GEORGIA AND AMENIA SILT LOAMS, 2-8% SLOPES
 80B: BERNARDSTON SILT LOAM, 3-8% SLOPES
 90C: STOCKBRIDGE LOAM, 8-15% SLOPES
 94C: FARMINGTON-NELLIS COMPLEX, 3-15% SLOPES
 95E: FARMINGTON-ROCK OUTCROP COMPLEX, 15-45% SLOPES

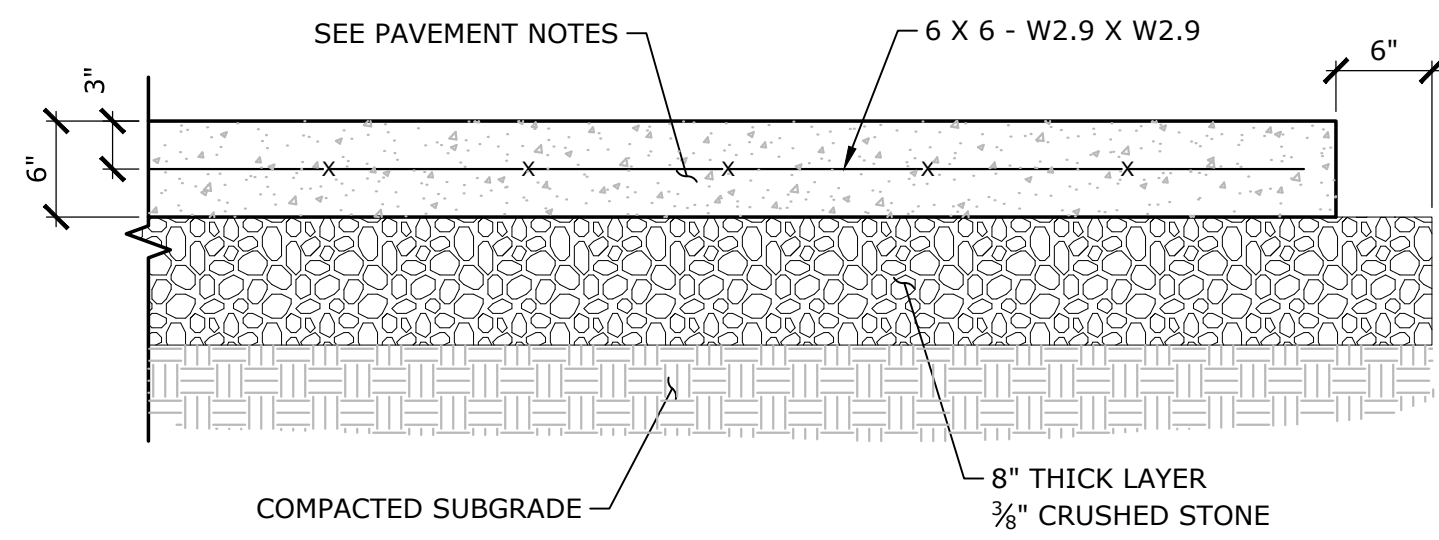


DESCRIPTION	DATE	BY
PRJ SUBMISSION	8/1/2024	SM
PEER REVIEW COMMENTS	8/8/2024	DSR
TOWN COMMENTS	11/6/2024	SM

SEDIMENT & EROSION CONTROL PLAN
WAKE ROBIN INN REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

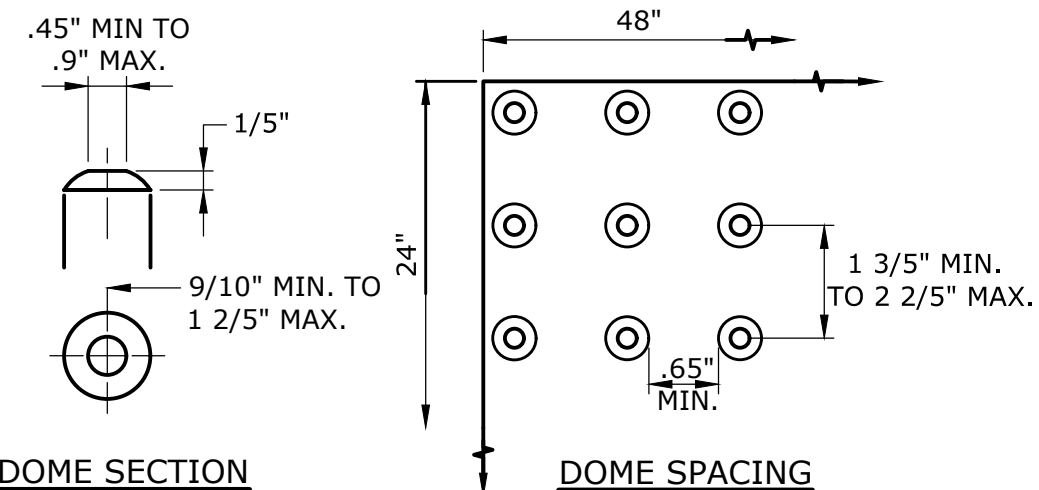
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DESIGNED	DRAWN	CHECKED

SCALE: 1"=50'
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 SHEET NO.: 10 OF 19
SE-1



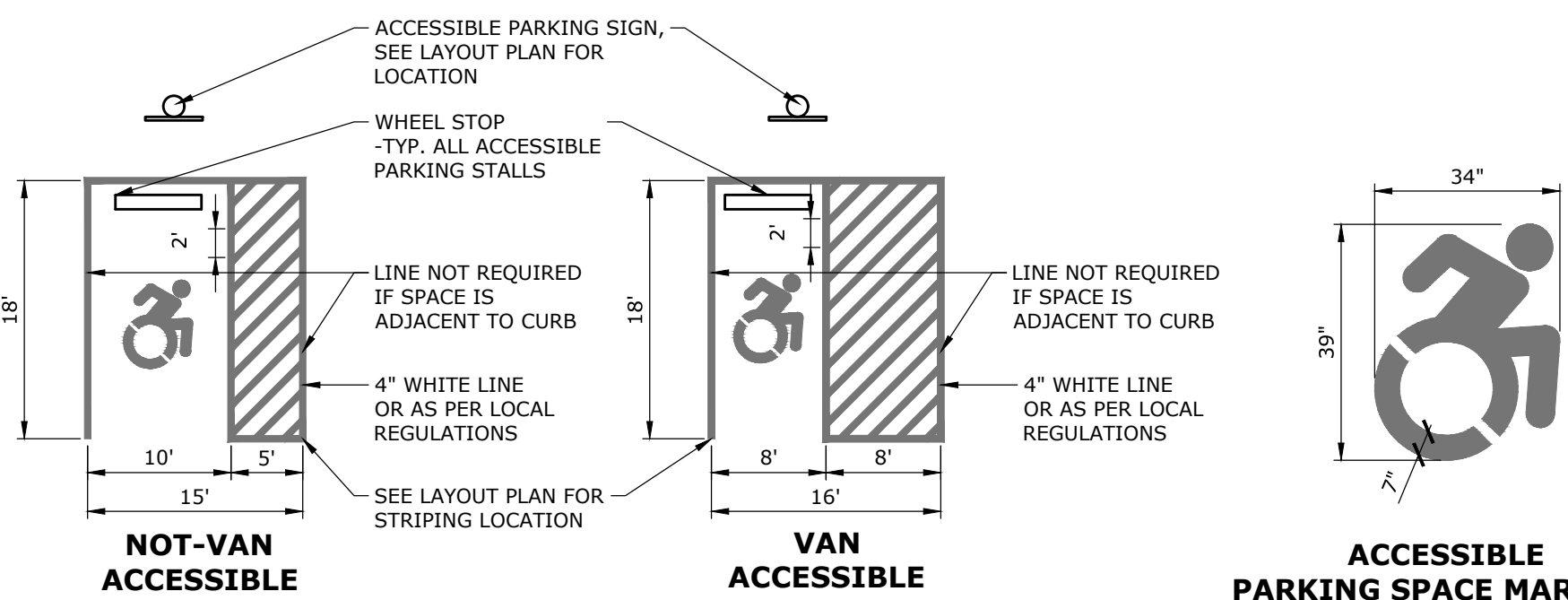
NOTE:
1. SEE UTILITY PAD PLAN VIEW FOR OVERALL DIMENSIONS.

CONCRETE UTILITY PAD AT GENERATOR - TYPICAL SECTION
NOT TO SCALE

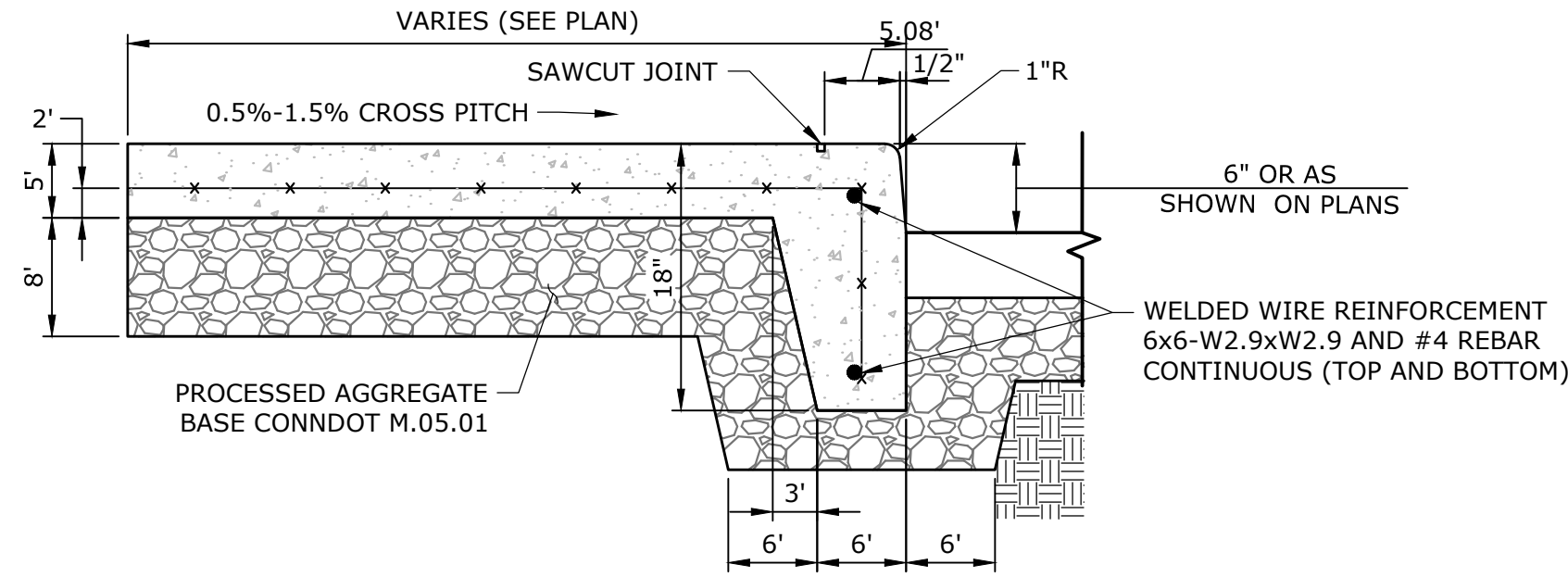


NOTES:
1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20:1.
2. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
3. CONCRETE PER CONDOT MATERIAL M.03.03, FORM 818
3.1. PCC0462
3.2. 4,000 PSI AT 28 DAYS
3.3. CEMENT CONTENT OF 615LB MINIMUM
3.4. AGGREGATE 3/4" MAX
3.5. WATER TO CEMENT RATIO 0.42
4. SIDEWALK RAMP SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP, THE SURFACE ALONG ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT IN COMPLIANCE WITH ADAAG SECTION 4.5.
5. DIAGONAL SIDEWALK RAMP AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
6. WHEN INSTALLING RAMP WITHIN OR NEXT TO EXISTING WALKS, CUT ADJACENT WALKS TO THE NEAREST EXPANSION/CONTRACTION JOINT OR DUMMY JOINT. 12:1 MAY NOT BE ACHIEVABLE DUE TO SIDEWALK GRADE. IN RECOGNITION OF THIS, A MINIMUM LIMIT OF 15' FOR A PARALLEL RAMP SHALL BE USED.
7. EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' UNLESS OTHERWISE NOTED.
8. TRANSITION TO FULL HEIGHT CURB. INSTALL STONE CURBING IF ADJACENT CURBING IS STONE. INSTALL CONCRETE CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
9. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID. IN THE DIRECTION OF PEDESTRIAN TRAVEL.

DETECTABLE WARNING STRIP FOR ACCESSIBLE WALK
NOT TO SCALE

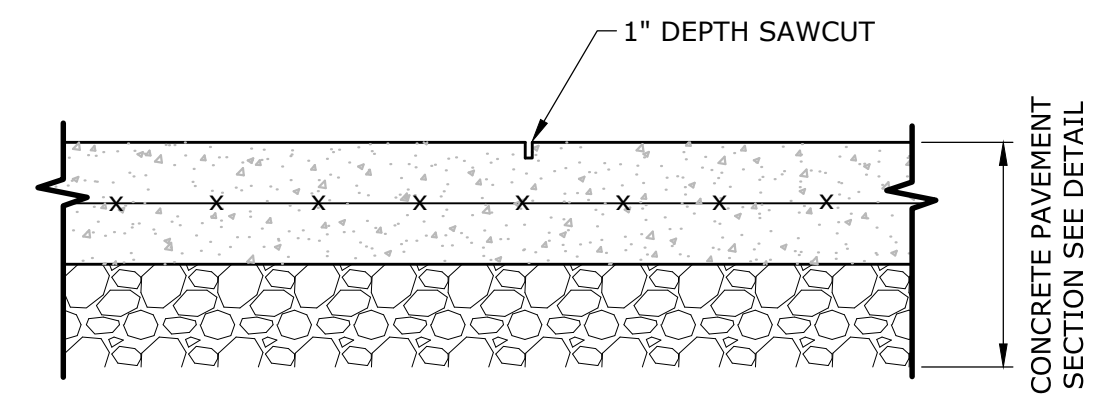


ACCESSIBLE PARKING SPACE LAYOUT & STRIPING
NOT TO SCALE



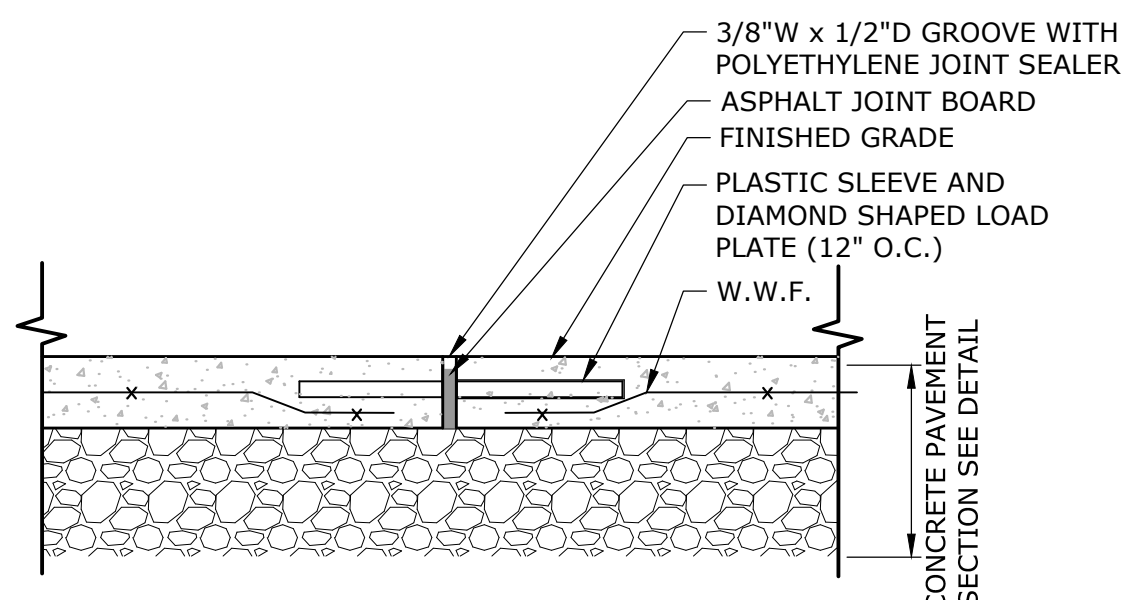
NOTES:
1. CONCRETE TO BE 4,000 PSI AT 28 DAYS. 1/2" EXPANSION JOINT AT INTERVALS NOT TO EXCEED 20'. EXPANSION JOINT TO RUN TO THE FACE OF CURB.
2. TO BE USED IN ALL LOCATIONS WHERE PROPOSED CONCRETE WALKS ABUT PROPOSED CONCRETE CURB.

INTEGRAL CONCRETE SIDEWALK CURB
NOT TO SCALE



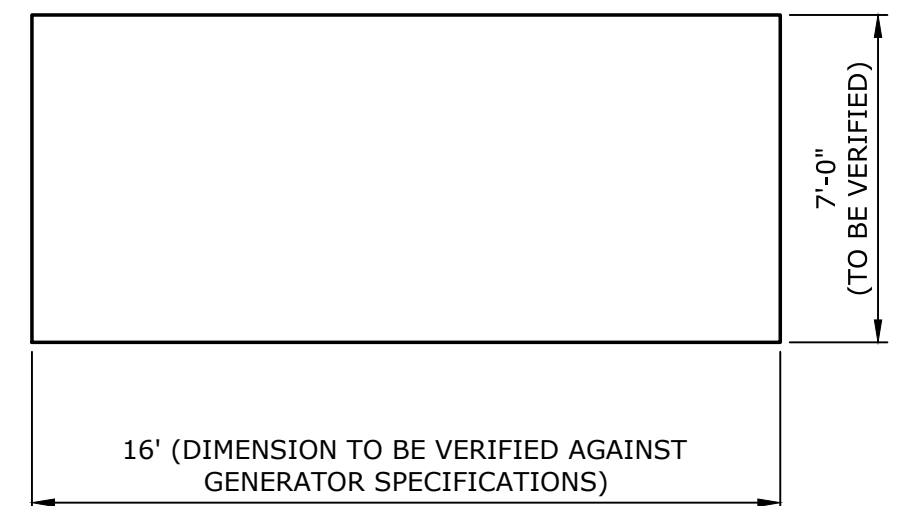
NOTES:
1. PROVIDE SAWCUTS AS SHOWN ON THE PLANS.

SCORE JOINT - SAWCUT
NOT TO SCALE



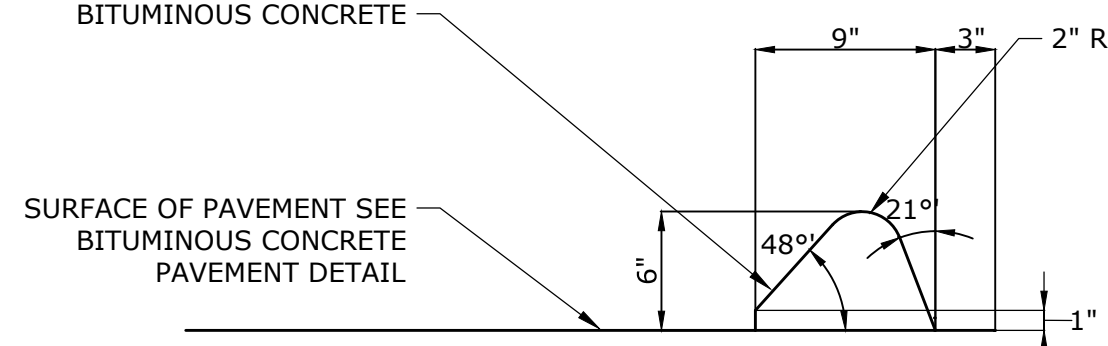
NOTES:
1. PROVIDE PREFORMED EXPANSION JOINT AT ALL CONSTRUCTION JOINT, AND OTHER LOCATIONS WHERE CONCRETE ABUTTS EXISTING CONCRETE.

CEMENT CONCRETE EXPANSION JOINT
NOT TO SCALE

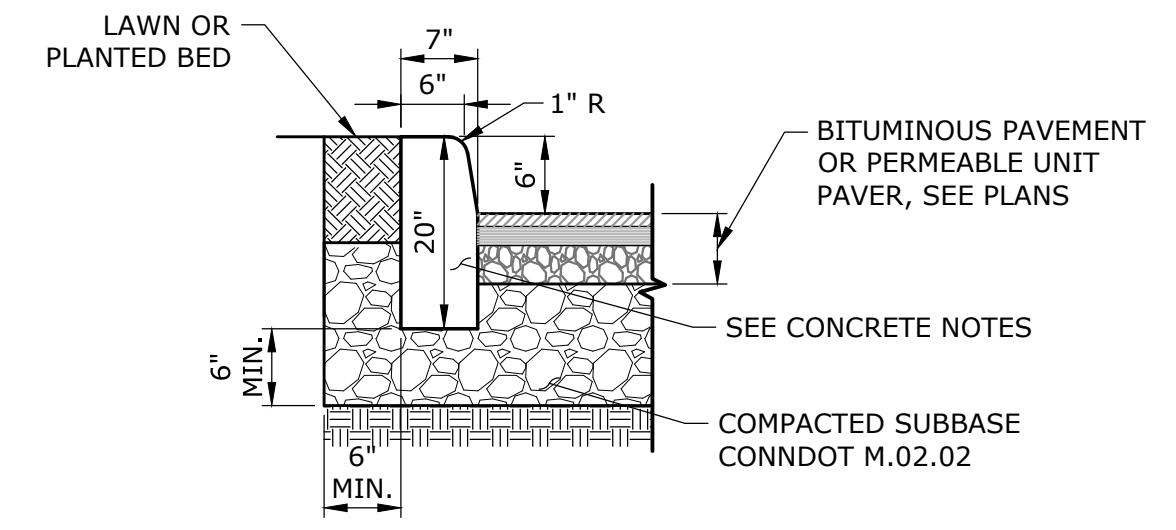


NOTES:
1. CONTRACTOR TO COORDINATE WITH EQUIPMENT MANUFACTURER FOR BOLT LOCATIONS, SLEEVES, AND ANY PENETRATIONS PRIOR TO POURING CONCRETE.
2. SEE CONCRETE UTILITY PAD-TYPICAL SECTION ON THIS SHEET.

CONCRETE UTILITY PAD AT GENERATOR - PLAN
NOT TO SCALE

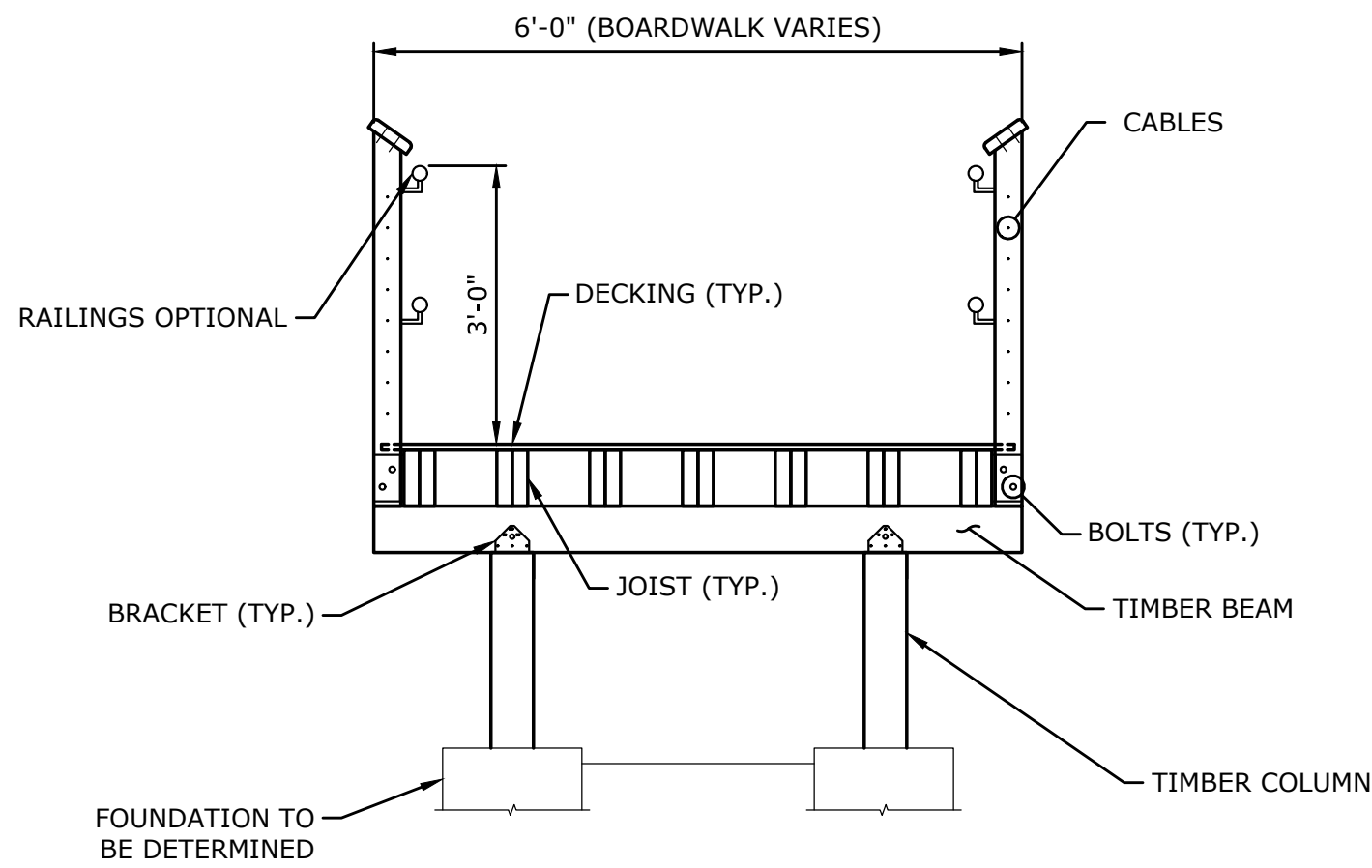


BITUMINOUS CONCRETE CURB
NOT TO SCALE

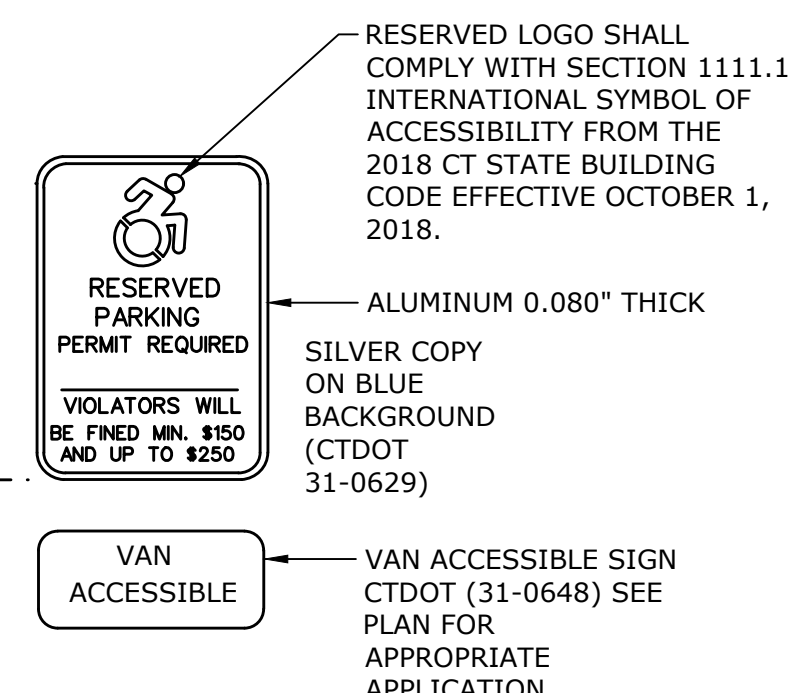


NOTE: DETAIL APPLIES WHERE CURB ABUTS LAWN OR PLANTED BED

CONCRETE OR GRANITE CURB
NOT TO SCALE

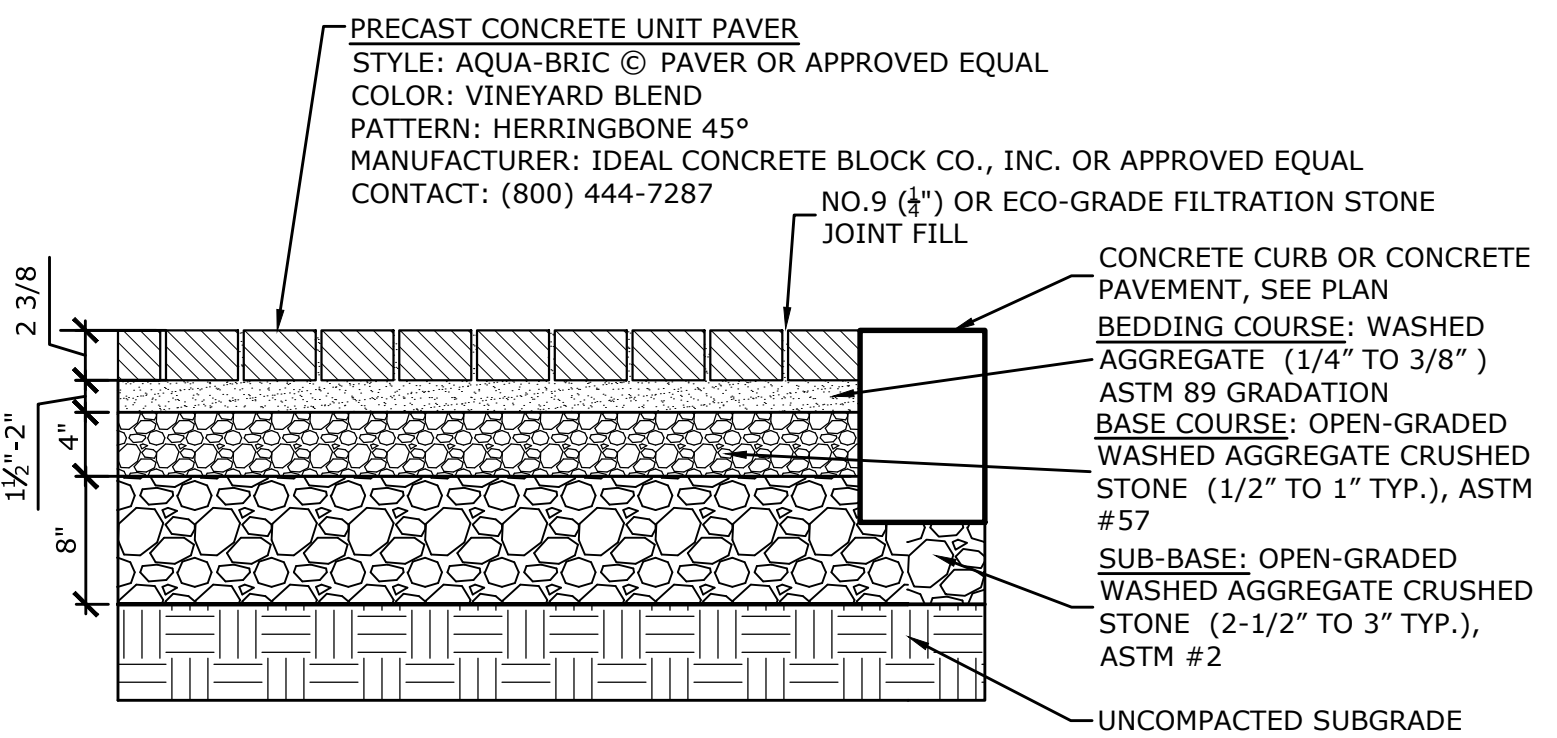


TYPICAL BOARDWALK/OVERLOOK SECTION
NTS



NOTES:
1. FOR POST MOUNTING, USE NON-CORROSIVE 3/8" MACHINE BOLTS W/ WASHERS, 2 PER SIGN. FOR FENCE MOUNTING, USE NON-CORROSIVE FASTENERS, 2 PER SIGN

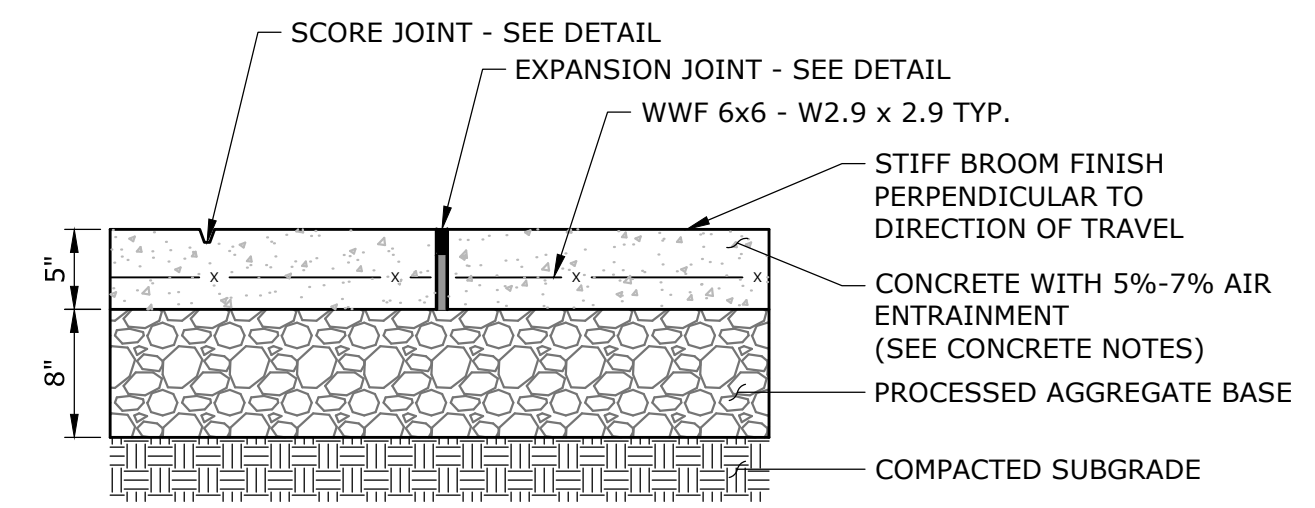
RESERVED PARKING SIGN
NOT TO SCALE



NOTE: SUBGRADE IS NOT TO BE OVER COMPACTED. ALL STONE MATERIALS ARE TO BE CLEAN AND CAREFULLY PLACED.

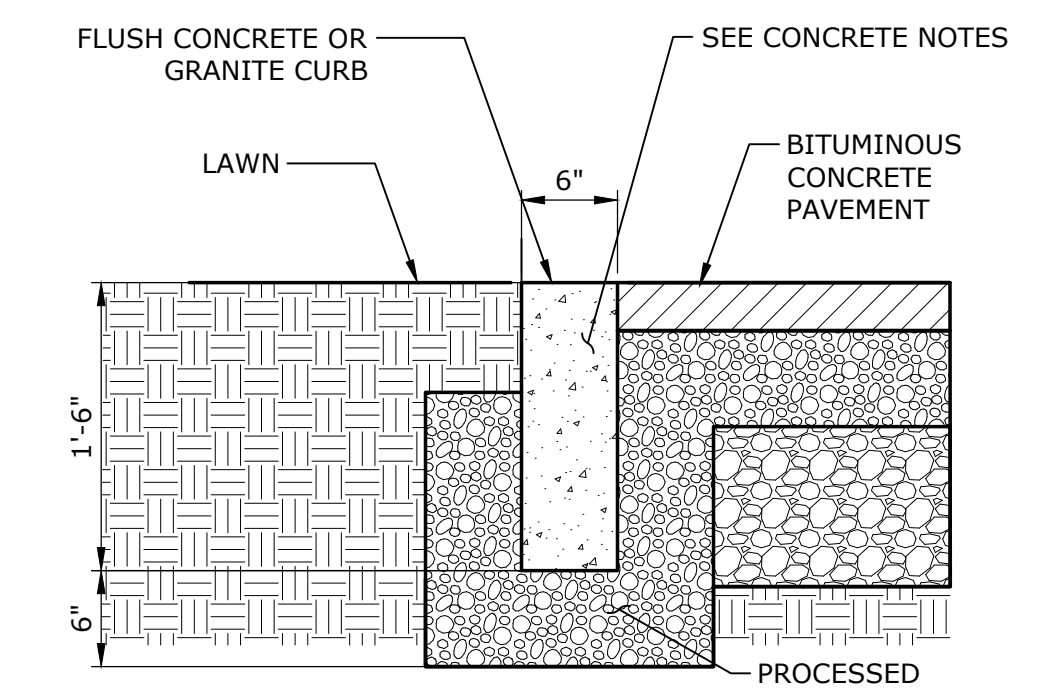
NOTES:
1. SUBGRADE IS NOT TO BE OVER COMPACTED. ALL STONE MATERIALS ARE TO BE CLEAN AND CAREFULLY PLACED.
2. SUBMIT SHOP OR PRODUCT DRAWINGS
3. SUBMIT PAVEMENT PRODUCT DATA FROM MANUFACTURER
4. IF PROPOSING A SUBSTITUTE PAVER, PROVIDE THREE REPRESENTATIVE FULL-SIZE SAMPLES OF EACH PAVER TYPE, THICKNESS, AND COLOR. SUBMIT SAMPLES INDICATING THE RANGE OF COLOR EXPECTED IN THE FINISHED INSTALLATION.
5. SUBMIT SIEVE ANALYSIS FOR GRADING OF SUB-BASE, BASE, AND BEDDING MATERIALS PER ASTM C136
6. PATTERN SHALL HERRINGBONE
7. PREPARE A MINIMUM 5' x 5' AREA MOCK-UP DISPLAYING THE PATTERN AND EXAMPLE OF WORKMANSHIP.

PERMEABLE UNIT PAVER
NOT TO SCALE

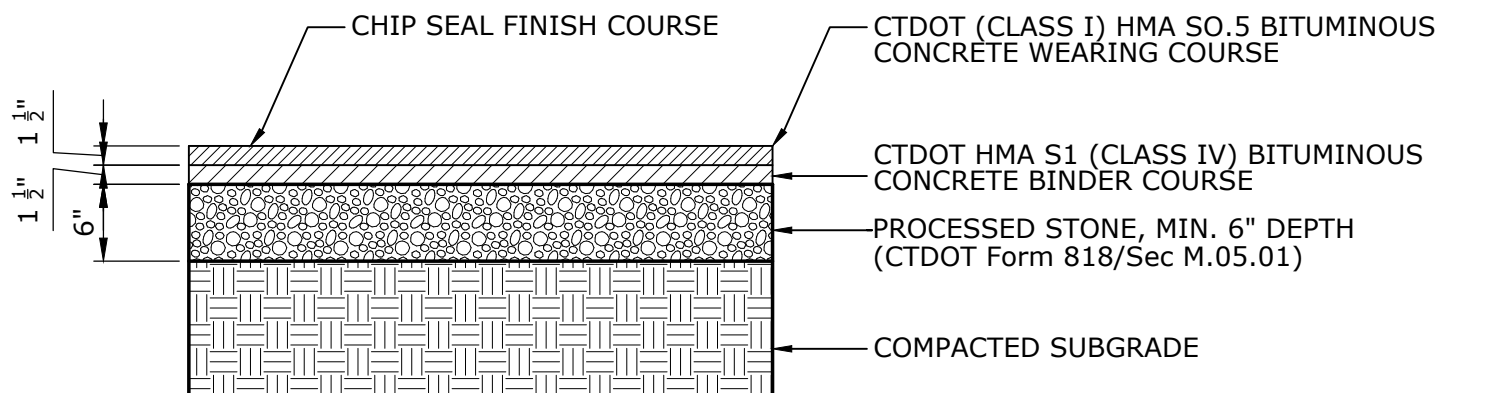


NOTES:
1. EXPANSION JOINTS 20' O.C. MAXIMUM CONSTRUCTION JOINTS 6' O.C. TYPICAL (OR AS SHOWN ON PLANS).
2. WWF SHALL BE INSTALLED UTILIZING CHAIR SUPPORTS.

CONCRETE PAVEMENT
NOT TO SCALE

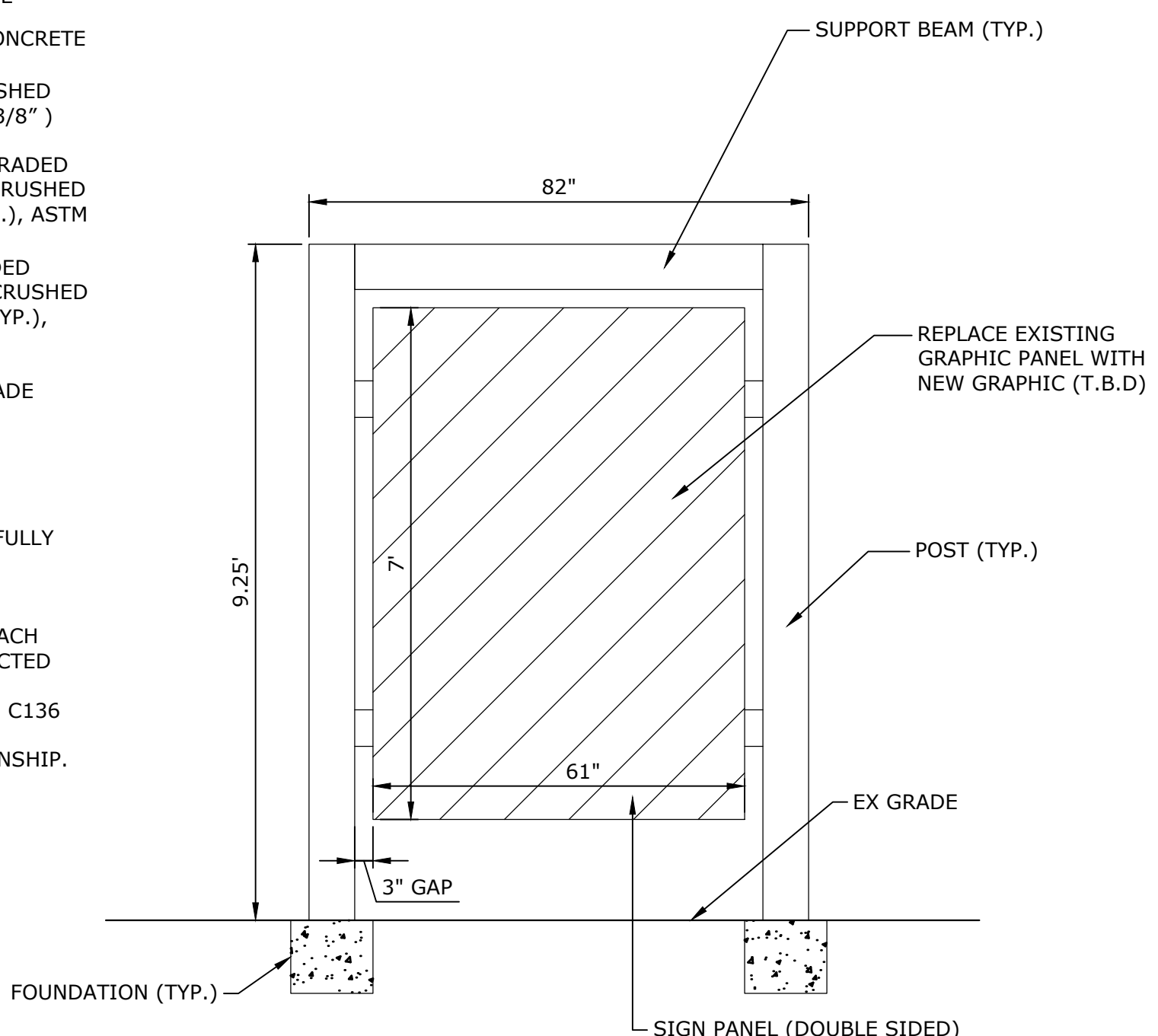


FLUSH CONCRETE OR GRANITE CURB
NOT TO SCALE



NOTE: REFER TO GEOTECH REPORT AS PREPARED BY SLR CONSULTING FOR ADDITIONAL INFORMATION REGARDING SUBGRADE AND PAVEMENT RECOMMENDATIONS

BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



NOTES:
1. SIGN SHALL NOT EXCEED EXISTING SIGN DIMENSION
2. SIGN SUPPORT STRUCTURES MAY BE REPLACED WITH SIMILAR MATERIALS
3. FINAL SIGN GRAPHIC IS T.B.D.
4. SIGN WILL BE ILLUMINATED, BOTH SIDES

REPLACEMENT OF EXISTING WAKE ROBIN INN SIGNAGE
NOT TO SCALE



DESCRIPTION	DATE	BY
PAR. SUBMISSION	8/1/2024	SM
TOWN COMMENTS	11/16/2024	SM

SITE DETAILS
WAKE ROBIN INN REDEVELOPMENT
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT

SM	SM	TR
DESIGNED	DRAWN	CHECKED

SCALE: AS NOTED
DATE: JULY 29, 2024
PROJECT NO.: 22100.00001
SHEET NO.: 12 OF 19

SD-1



Bollard Luminaire
with asymmetric light distribution.

A series of bollards with enclosed asymmetric light distribution. The LED module design provides dual beam lighting of ground surfaces. Provides soft, evenly spaced footcandle illumination to be adjusted independent of fixture location.

LED color temperature: 2700K, 3000K, 3500K, 4000K.

LED life expectancy: minimum expected life of 100,000 hours, with standard LED replacement modules guaranteed for up to 20 years after date of purchase. Future LED technology may be incorporated for improved performance. All electrical characteristics are provided on the individual luminaire specification sheets, available at www.slcslr.com.

All LEDA standard fixtures are made, tested and packed under strict quality control. LEDA standard fixtures are made, tested and packed under strict quality control. LEDA standard fixtures are made, tested and packed under strict quality control.

LEDA standard fixtures are made, tested and packed under strict quality control. LEDA standard fixtures are made, tested and packed under strict quality control.

Model	Height	Width	Weight
B001	10' 0"	7"	100 lbs
B002	10' 0"	7"	100 lbs

TYPICAL LIGHT BOLLARD
NOT TO SCALE



Site Light Luminaire
with asymmetric light distribution.

A series of pole top luminaires with asymmetric light distribution. These luminaires are designed to illuminate driveways, walkways, courtyards and parking areas. The cast and enclosed aluminum, clear acrylic diffuse with optical lenses. Multiple models are available at www.slcslr.com.

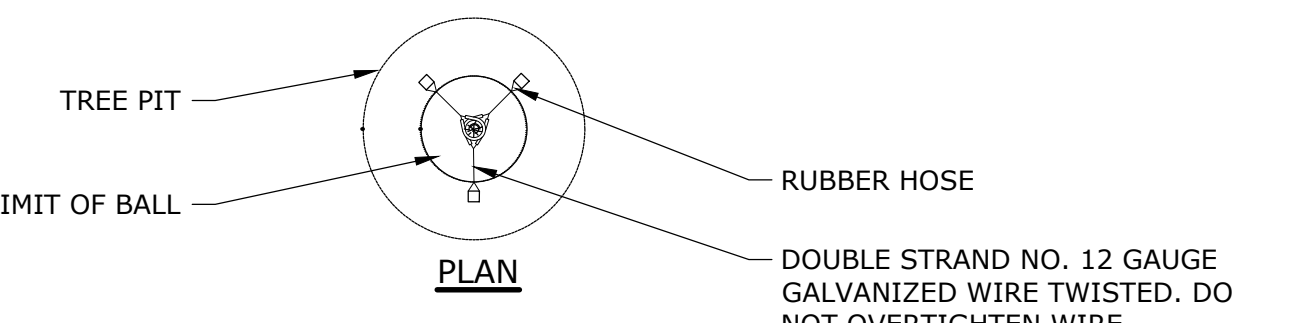
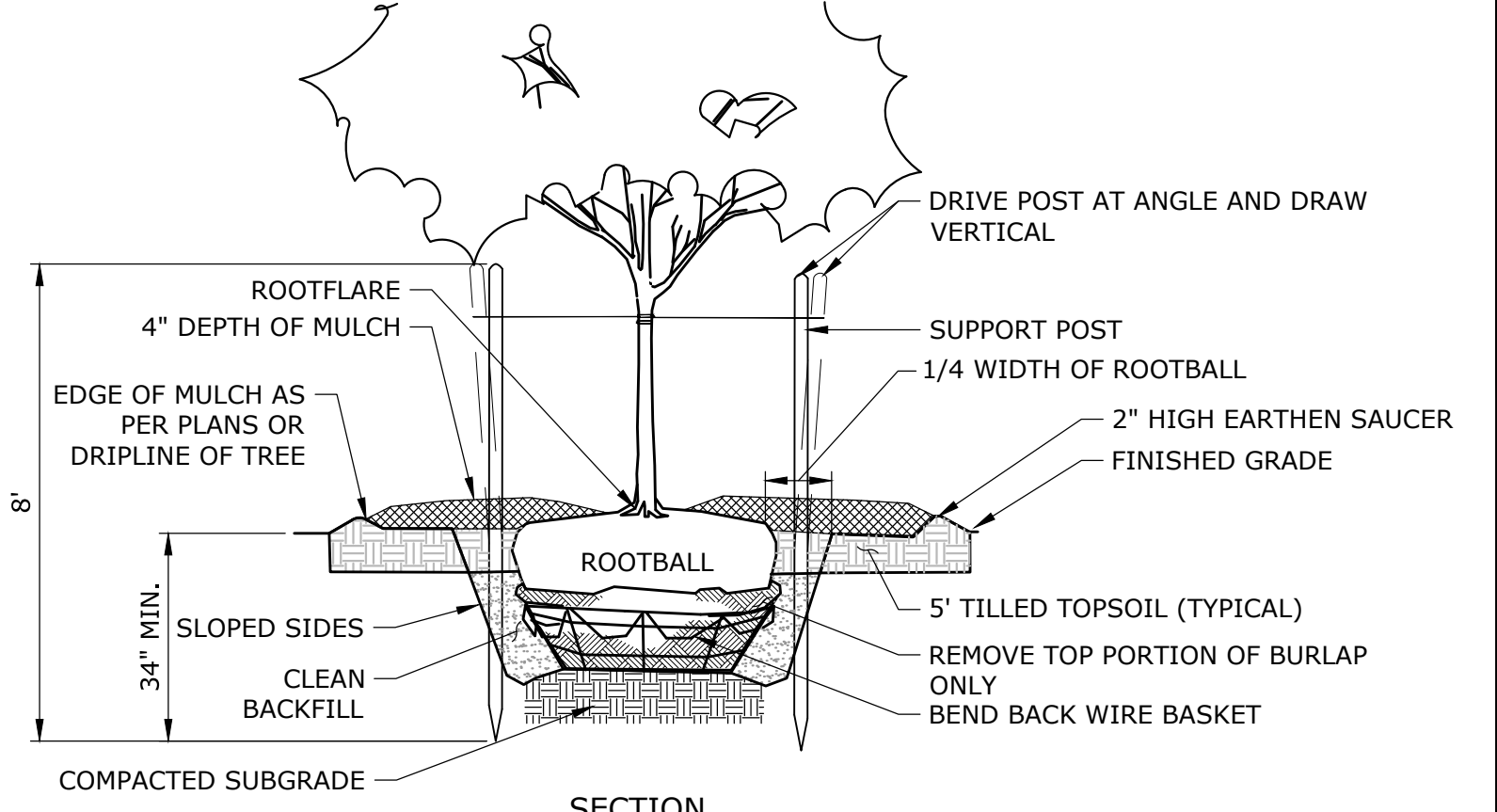
LED color temperature: 2700K, 3000K, 3500K, 4000K.

LED life expectancy: minimum expected life of 100,000 hours, with standard LED replacement modules guaranteed for up to 20 years after date of purchase. Future LED technology may be incorporated for improved performance. All electrical characteristics are provided on the individual luminaire specification sheets, available at www.slcslr.com.

All LEDA standard fixtures are made, tested and packed under strict quality control. LEDA standard fixtures are made, tested and packed under strict quality control.

Model	Height	Width	Weight
S101	12' 0"	4"	50 lbs
S102	12' 0"	4"	50 lbs

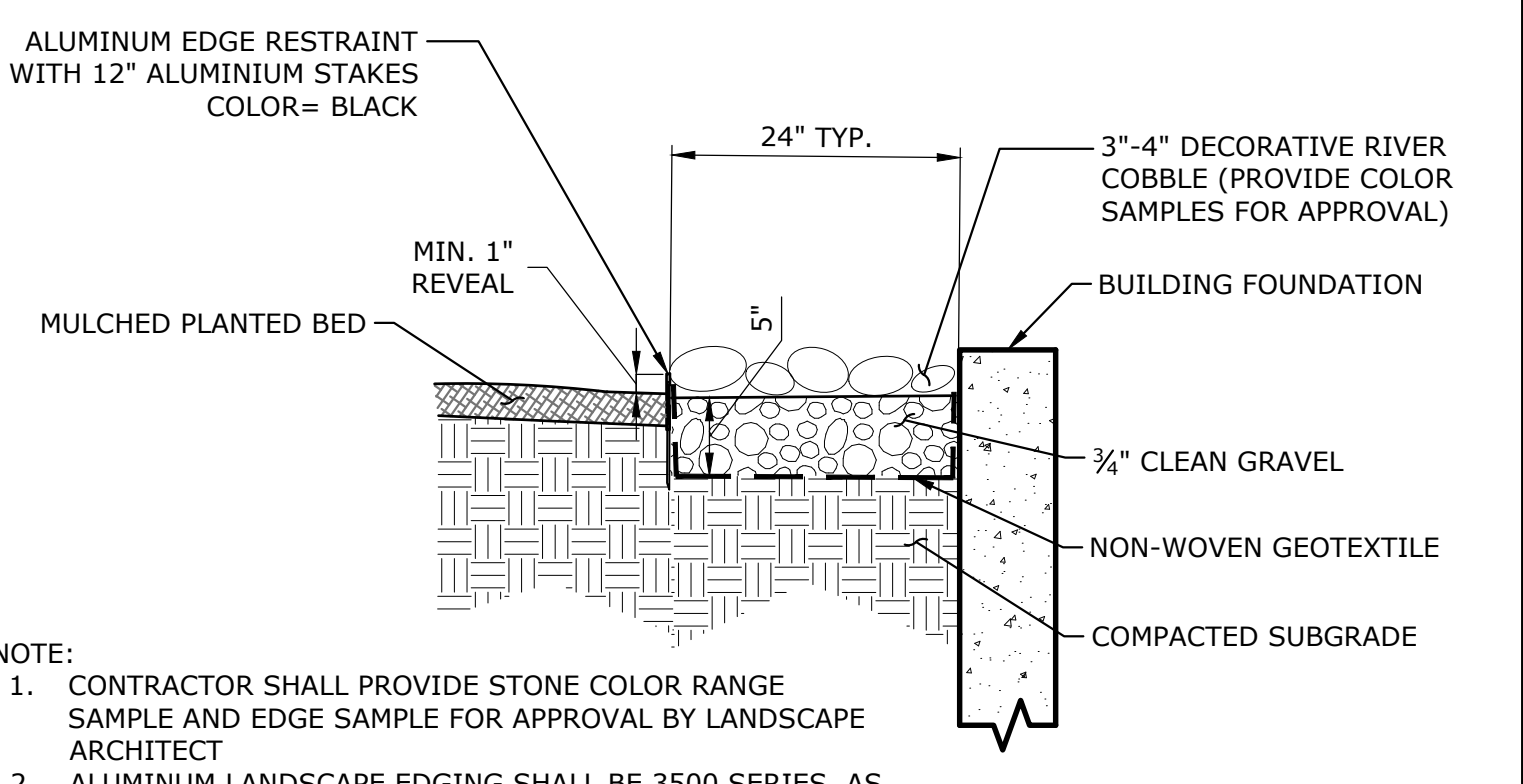
TYPICAL SITE LIGHT (12' HEIGHT)
NOT TO SCALE



NOTE:

- SUPPORT STAKES SHALL BE REMOVED BY THE CONTRACTOR ONE YEAR AFTER INSTALLATION.

TREE PLANTING
NOT TO SCALE



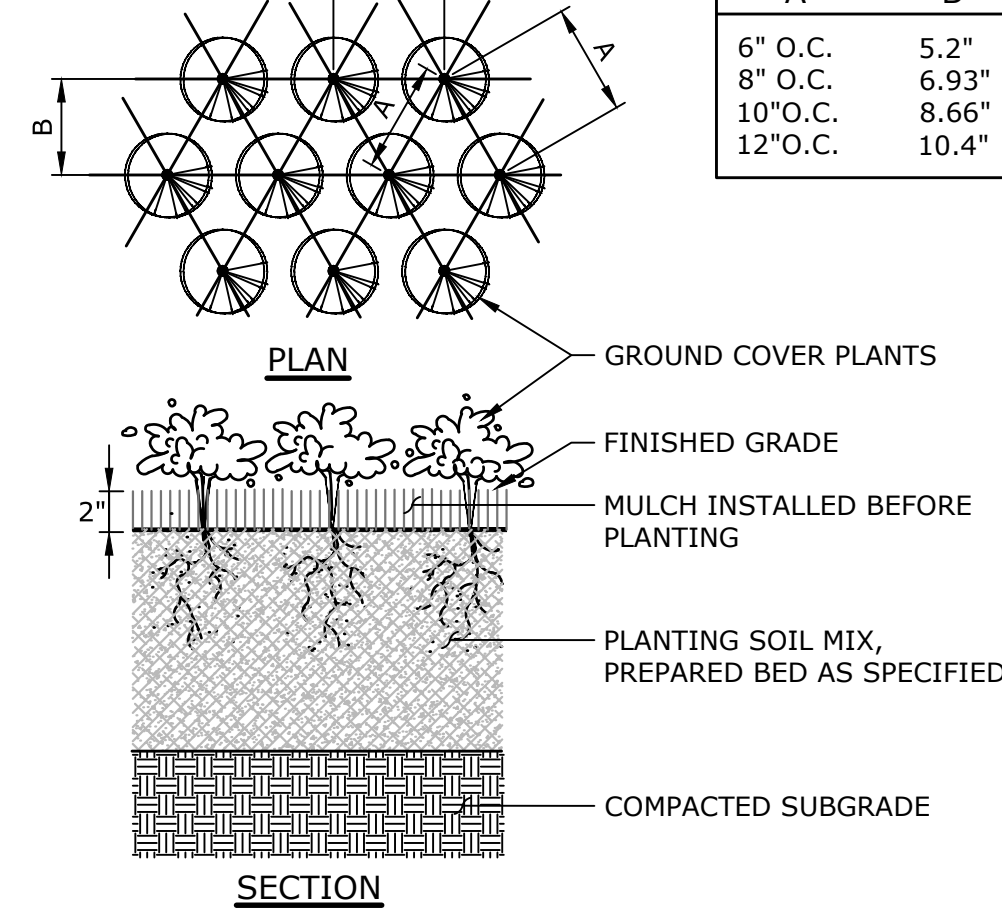
NOTE:

- CONTRACTOR SHALL PROVIDE STONE COLOR RANGE SAMPLE AND EDGE SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT
- ALUMINUM LANDSCAPE EDGING SHALL BE 3500 SERIES, AS MANUFACTURED BY CURV-RITE, OR APPROVED EQUIVALENT

COBBLE MULCH DRIP EDGE
NOT TO SCALE

GROUND COVER SPACING TABLE

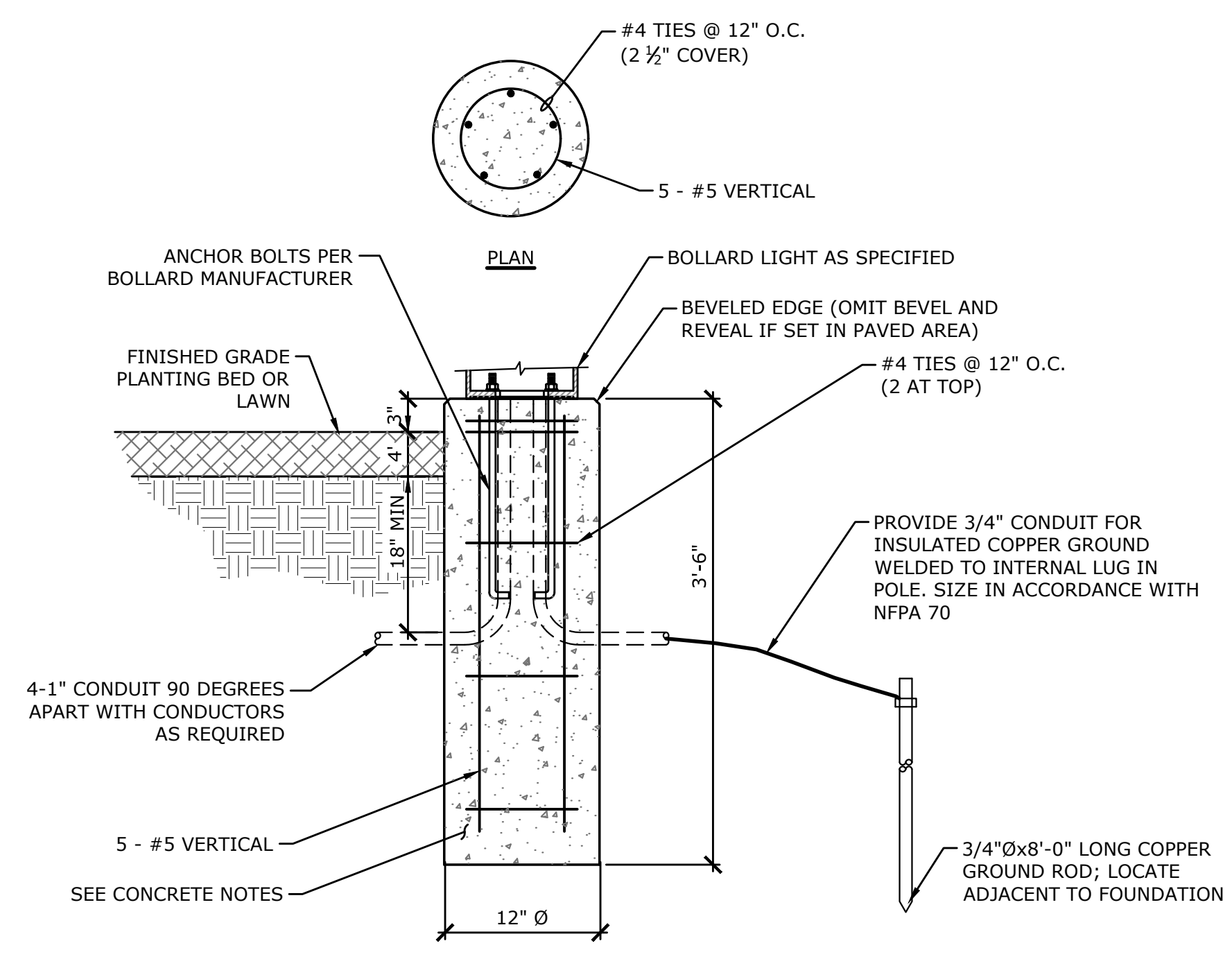
PLANT SPACING "A"	ROW SPACING "B"	NO. OF PLANTS	AREA OF UNIT
6" O.C.	5.2"	4.61	1 SQ. FT.
8" O.C.	6.93"	2.6	1 SQ. FT.
10" O.C.	8.66"	1.66	1 SQ. FT.
12" O.C.	10.4"	1.15	1 SQ. FT.



NOTE:

- ALL GROUND COVER TO BE PLANTED IN TRIANGULAR PATTERN. SEE DETAIL PLAN AND GROUND COVER SPACING TABLE.

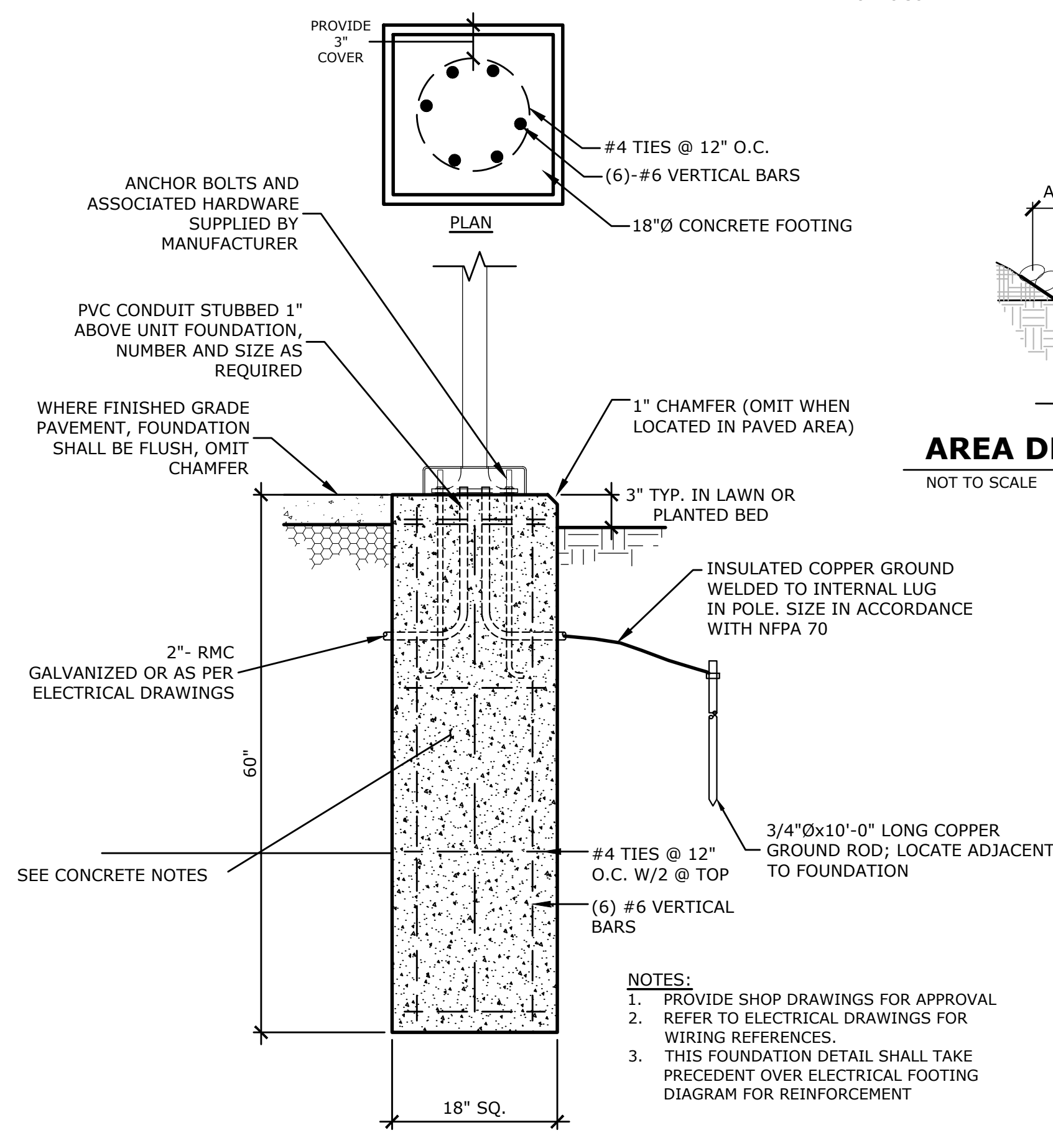
GROUND COVER/ PERENNIAL PLANTING
NOT TO SCALE



NOTES:

- CONTRACTOR TO PROVIDE SHOP DRAWING FOR CONCRETE BASE AND BOLT PATTERN.
- BOLT PATTERN TO BE COORDINATED WITH BOLLARD LIGHT MANUFACTURER
- REFER TO ELECTRICAL DRAWINGS FOR SPECIFIED FIXTURE
- PROVIDE CONDUIT WITH CONDUCTORS

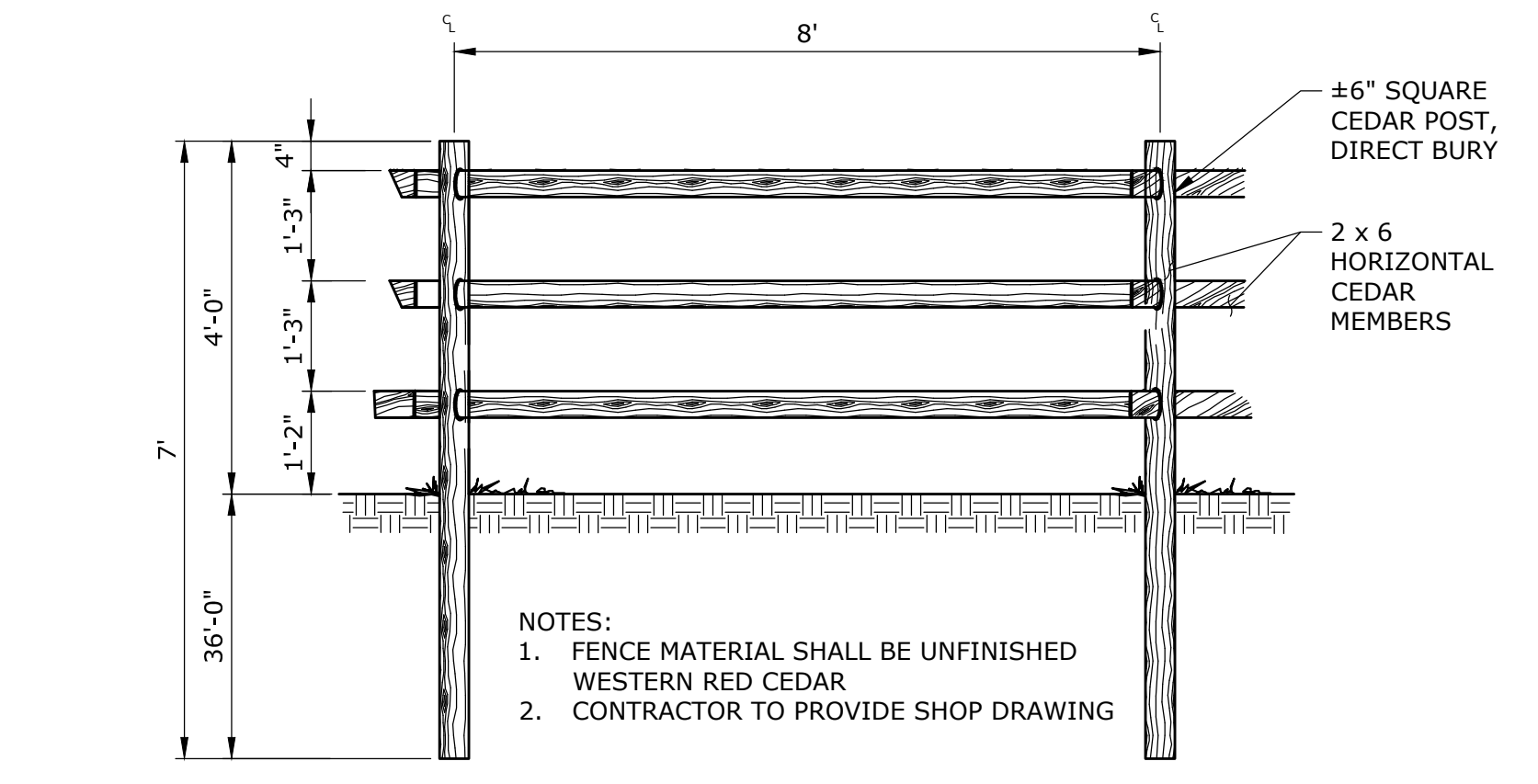
TYPICAL BOLLARD LIGHT FOUNDATION DETAIL
NOT TO SCALE



NOTES:

- PROVIDE SHOP DRAWINGS FOR APPROVAL
- REFER TO ELECTRICAL DRAWINGS FOR WIRING REFERENCES.
- THIS FOUNDATION DETAIL SHALL TAKE PRECEDENT OVER ELECTRICAL FOOTING DIAGRAM FOR REINFORCEMENT

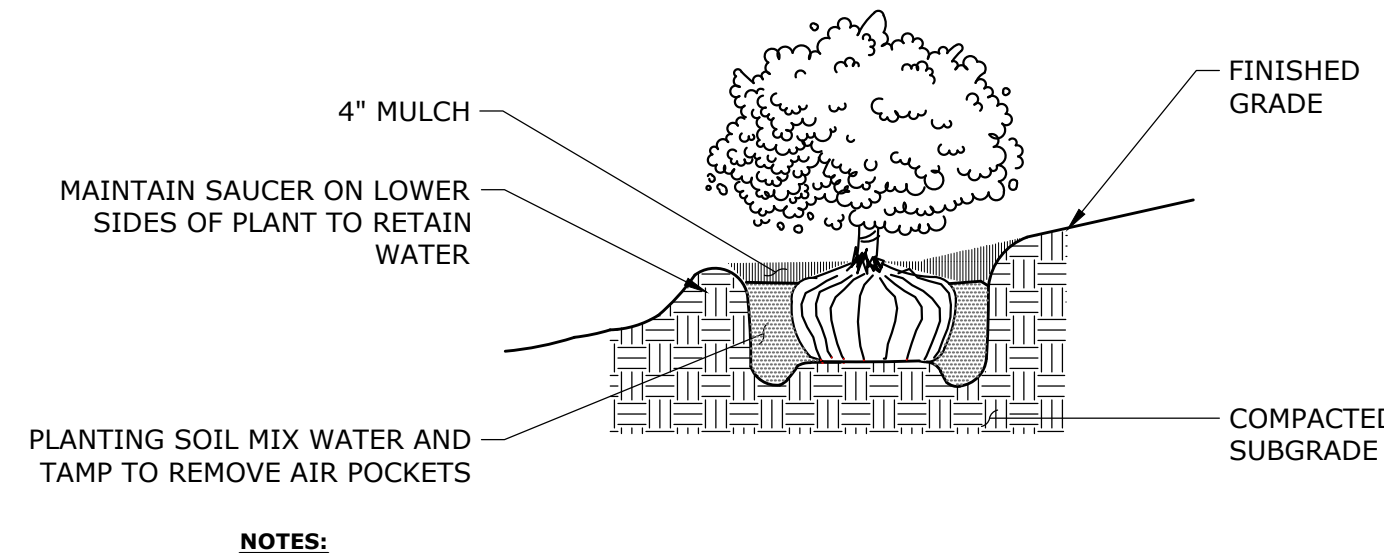
LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE



NOTES:

- FENCE MATERIAL SHALL BE UNFINISHED WESTERN RED CEDAR
- CONTRACTOR TO PROVIDE SHOP DRAWING

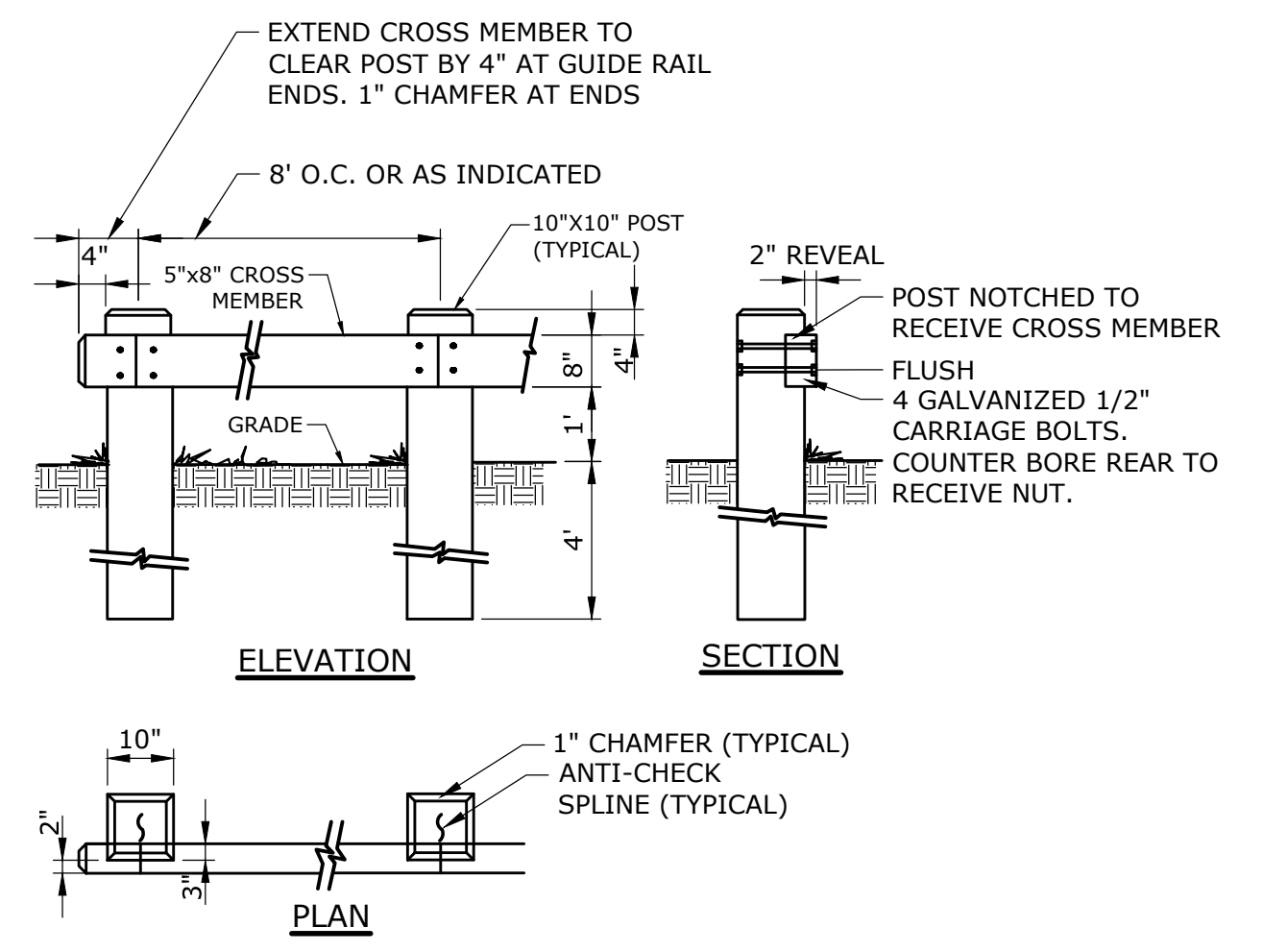
CEDAR 3-RAIL FENCE
NOT TO SCALE



NOTE:

- UNLESS OTHERWISE DIRECTED SHREDDED MULCH SHALL BE PLACED TO A LIMIT OF ONE FOOT BEYOND THE CENTER OF THE OUTERMOST SHRUBS IN SHRUB BED.

SHRUB PLANTING
NOT TO SCALE



TIMBER GUIDE RAIL FACEMOUNT 10x10 POSTS
NOT TO SCALE



99 REALTY DRIVE
SUITE 100
280-271-1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY

SITE DETAILS
WAKE ROBIN INN REDEVELOPMENT
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT

SM	SM	TR
DESIGNED	DRAWN	CHECKED

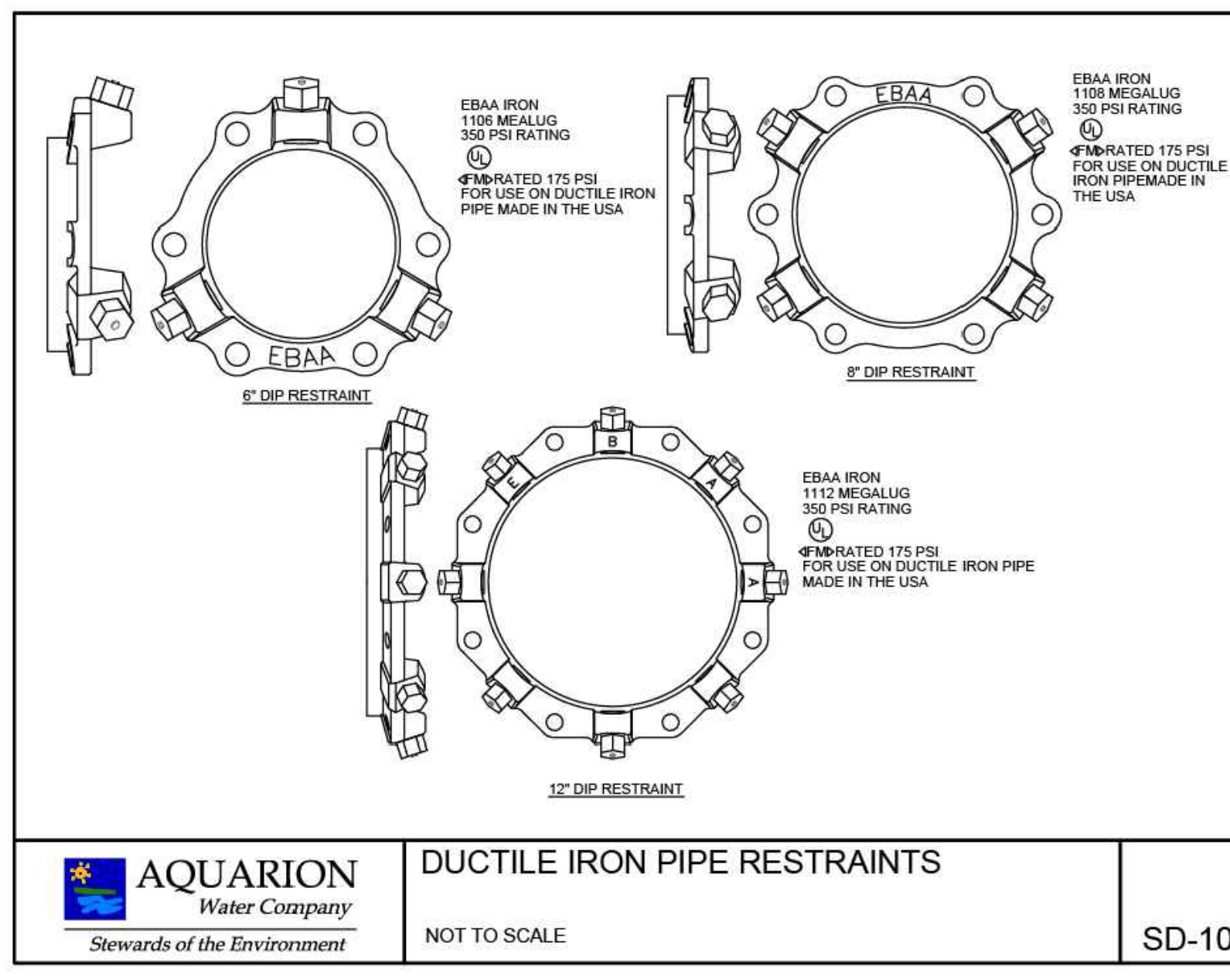
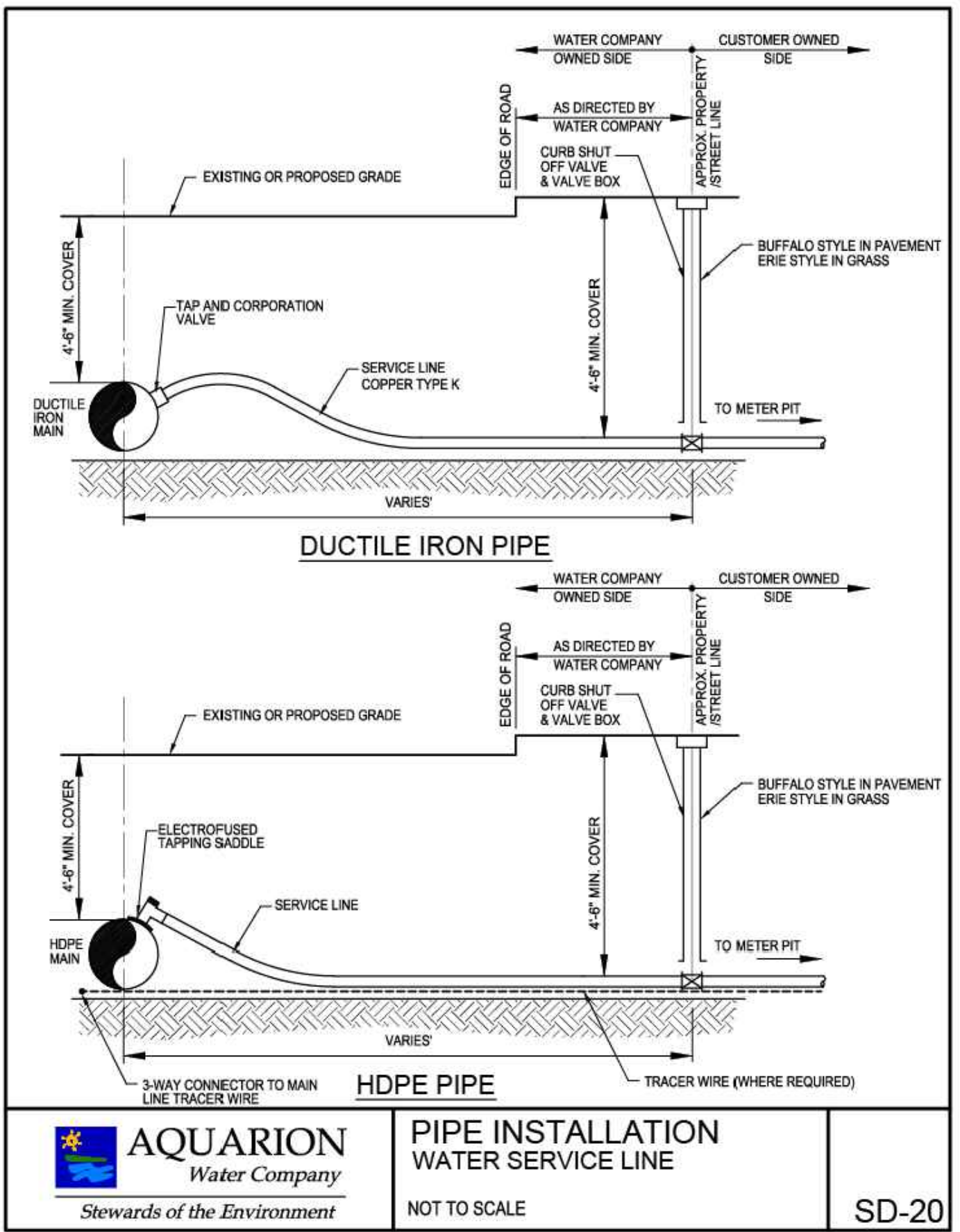
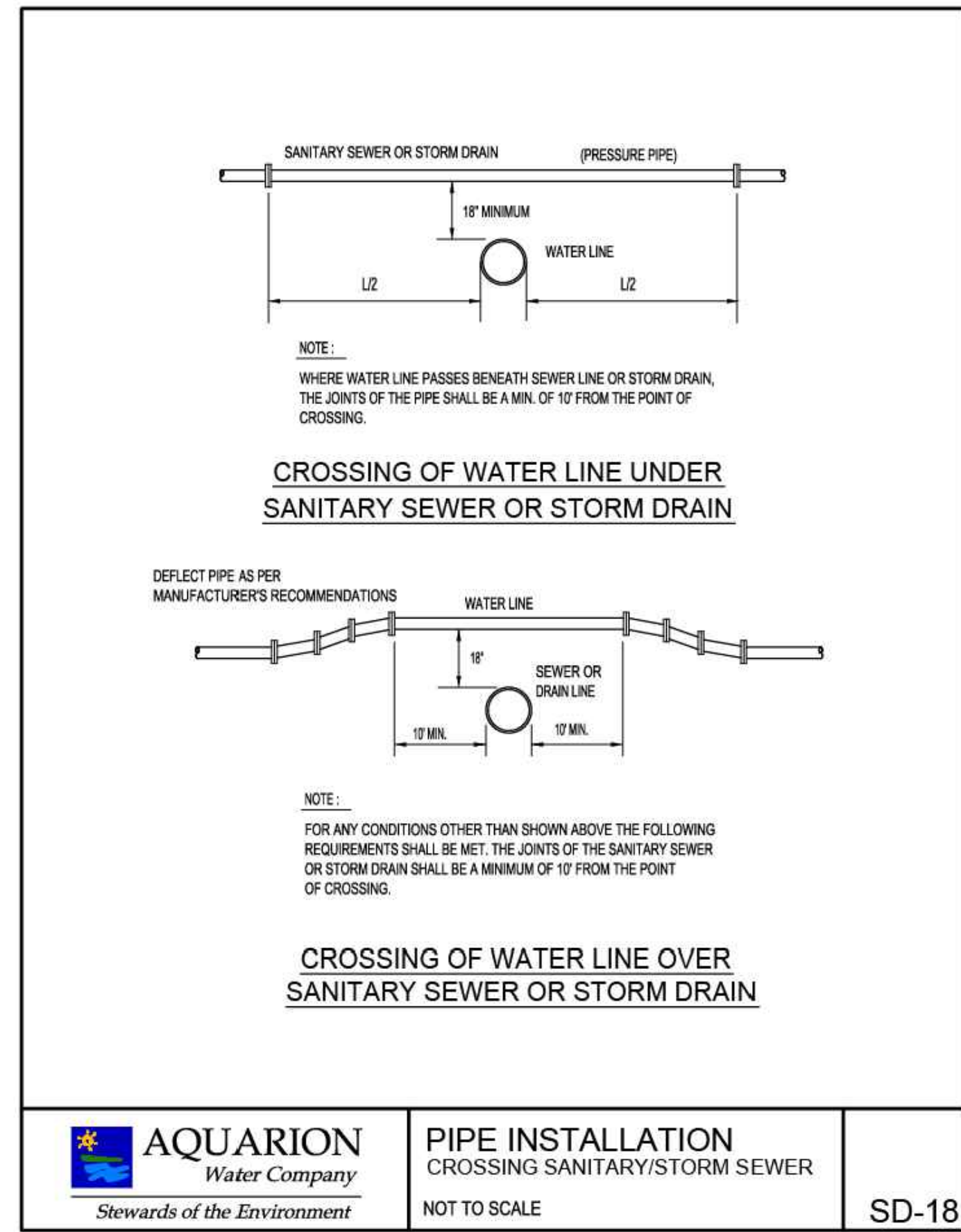
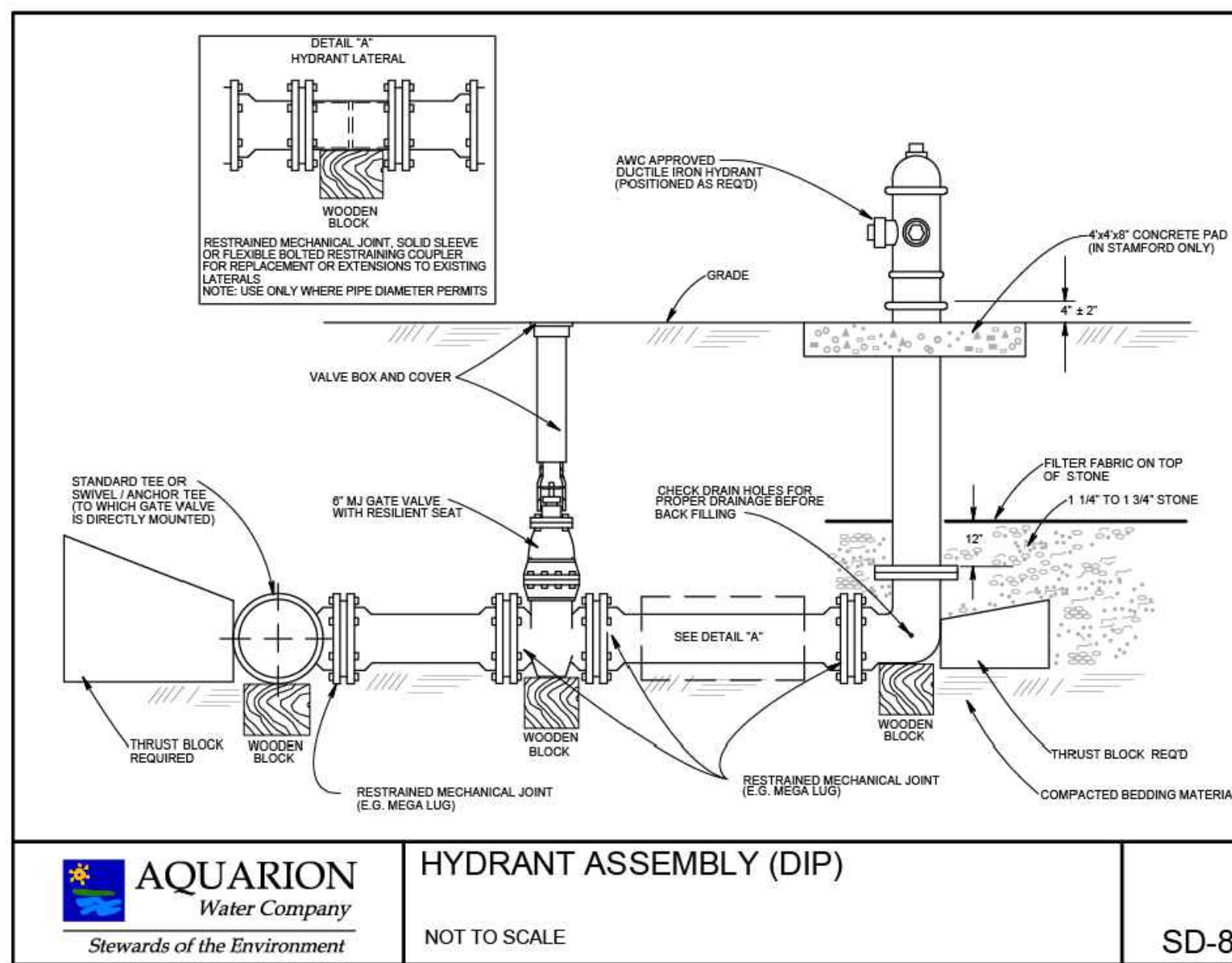
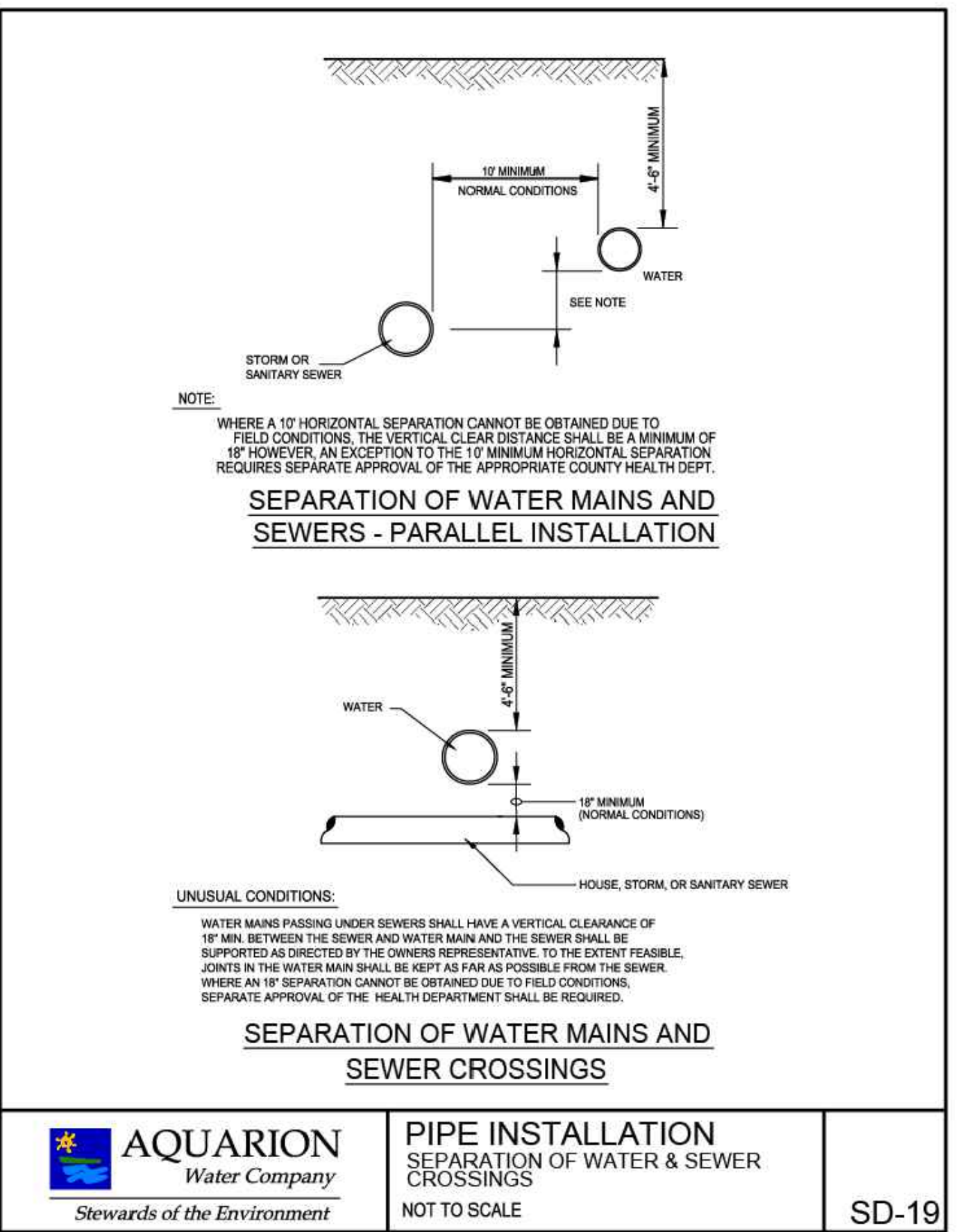
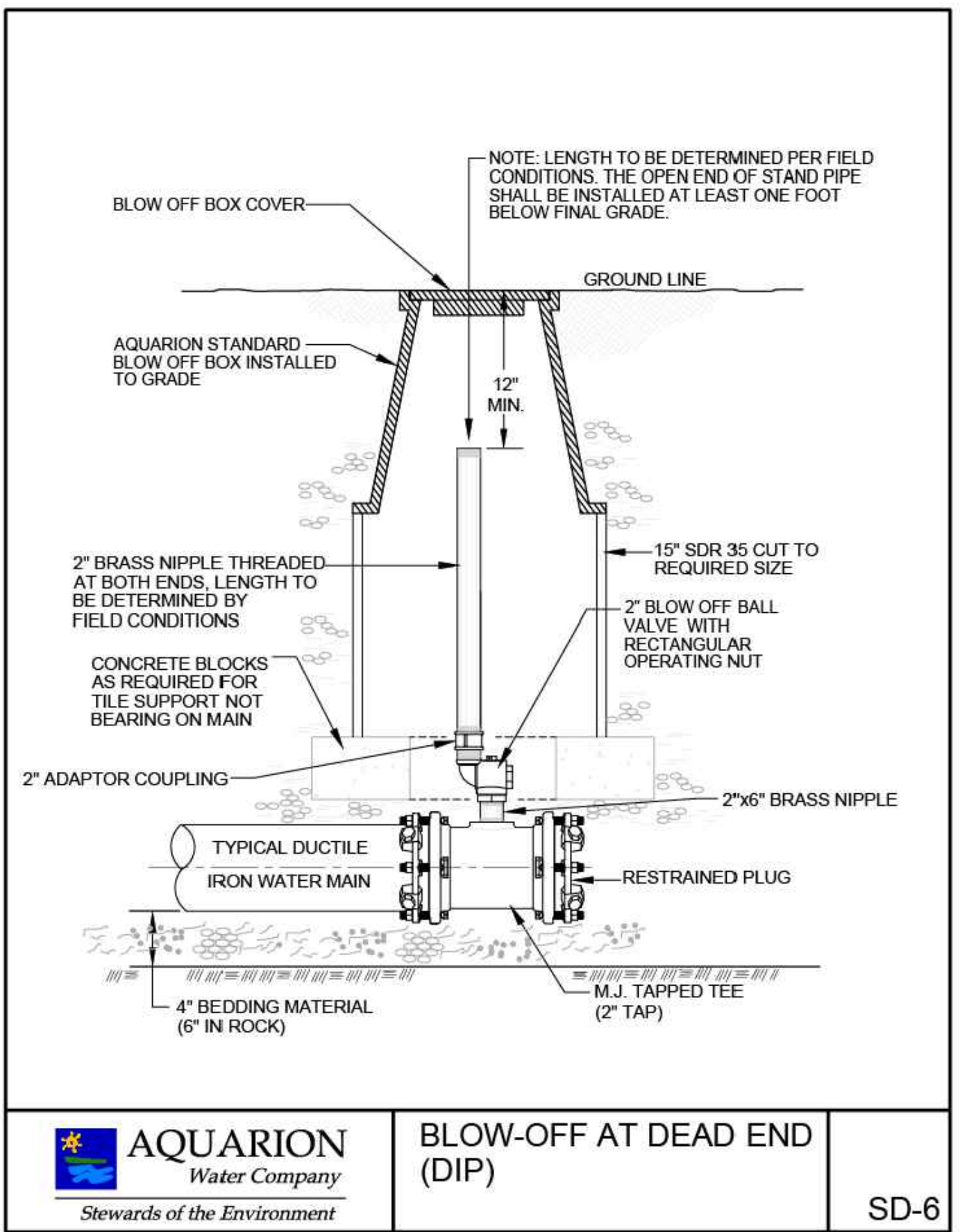
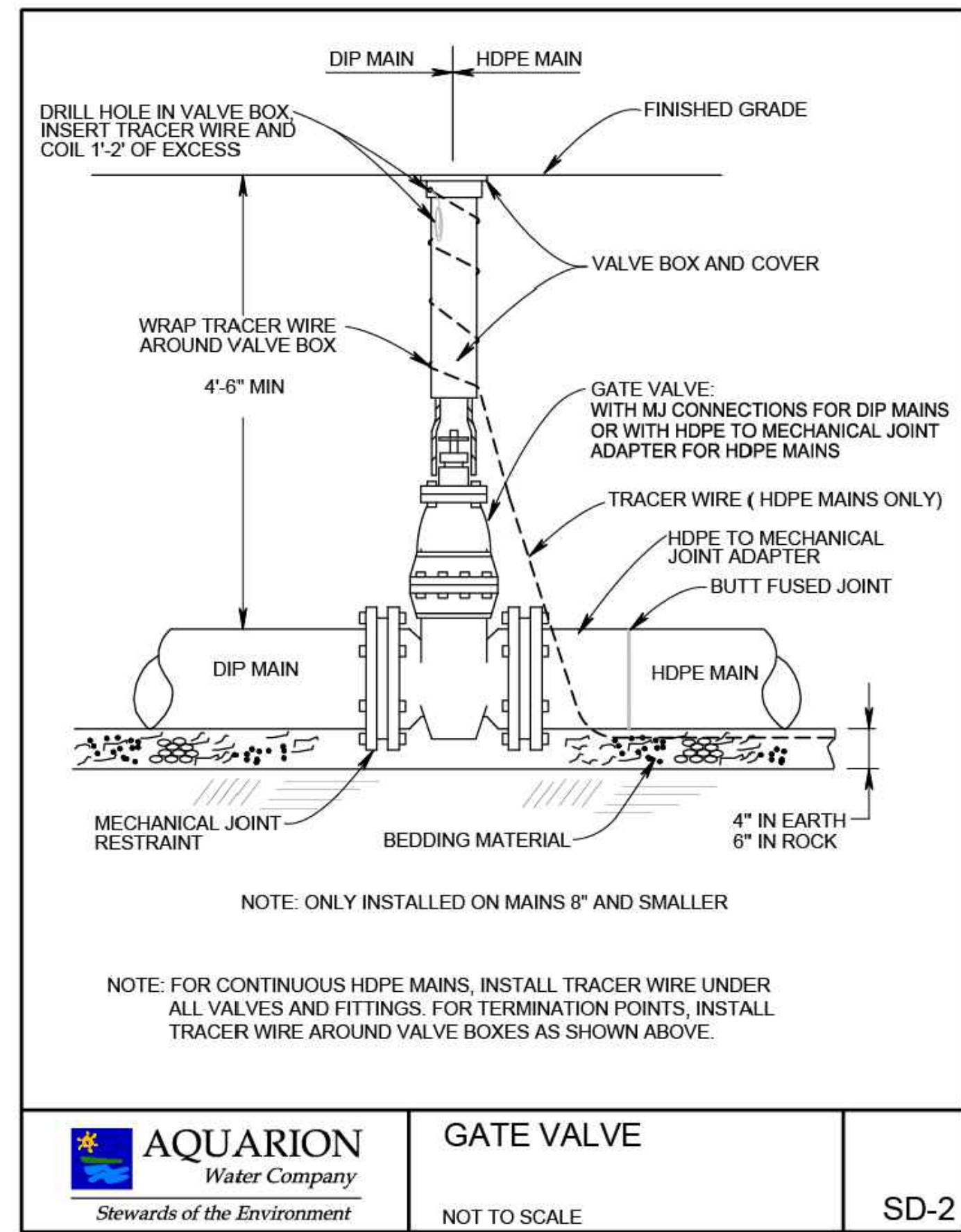
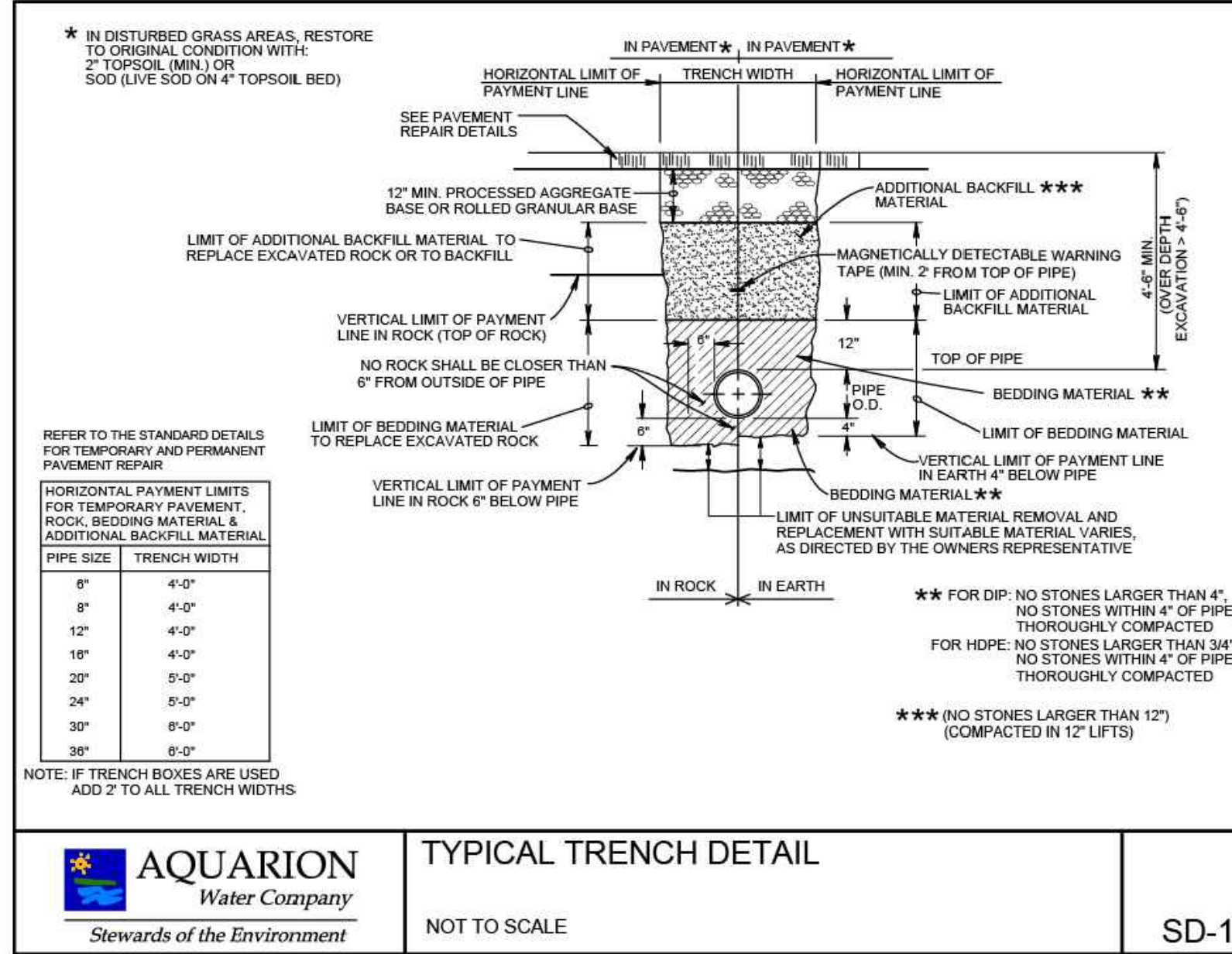
SCALE: **AS NOTED**

DATE: **JULY 29, 2024**

PROJECT NO.: **22100.00001**

SHEET NO.: **13 OF 19**

SD-2



DESCRIPTION	DATE	BY

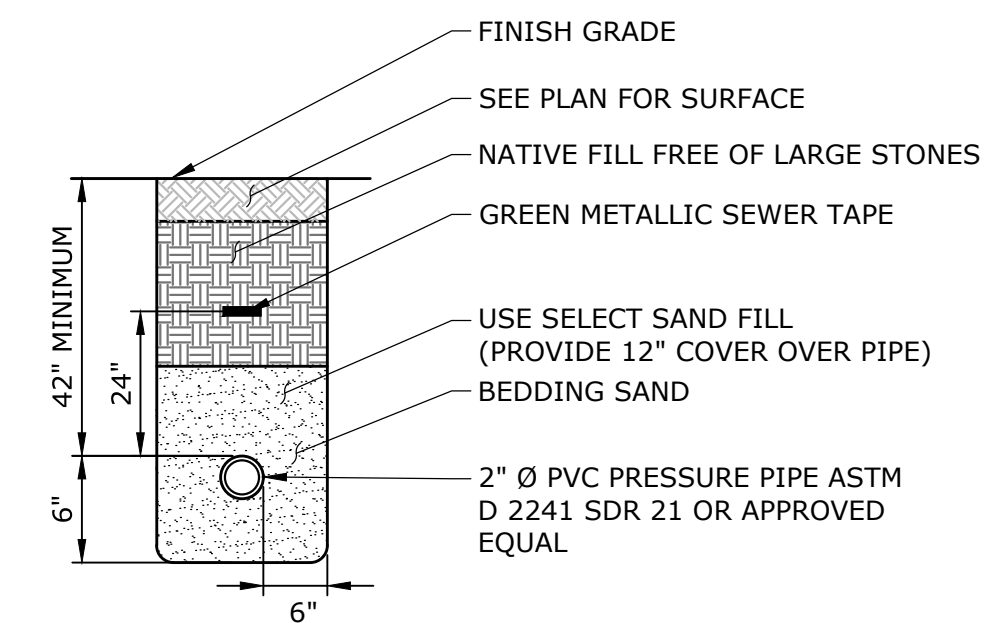
SITE DETAILS

WAKE ROBIN INN REDEVELOPMENT

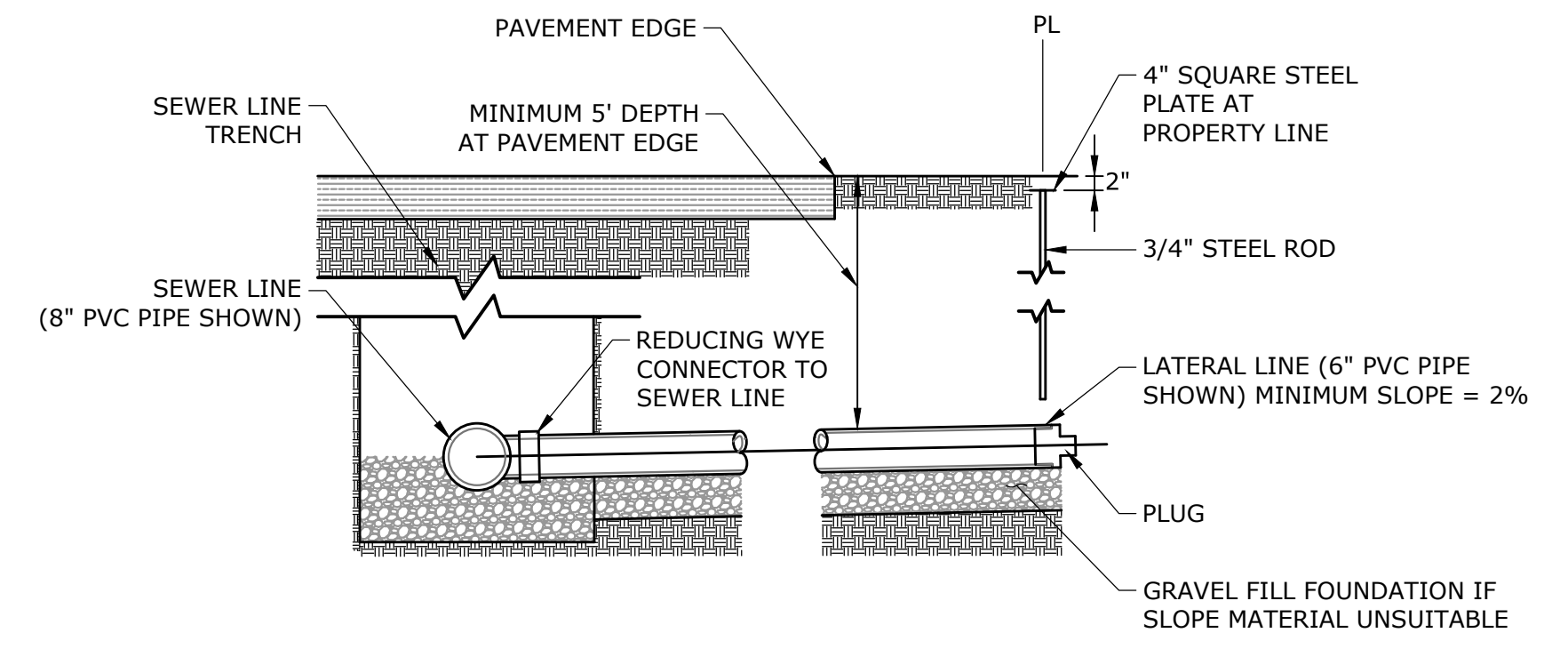
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD

SALISBURY, CONNECTICUT

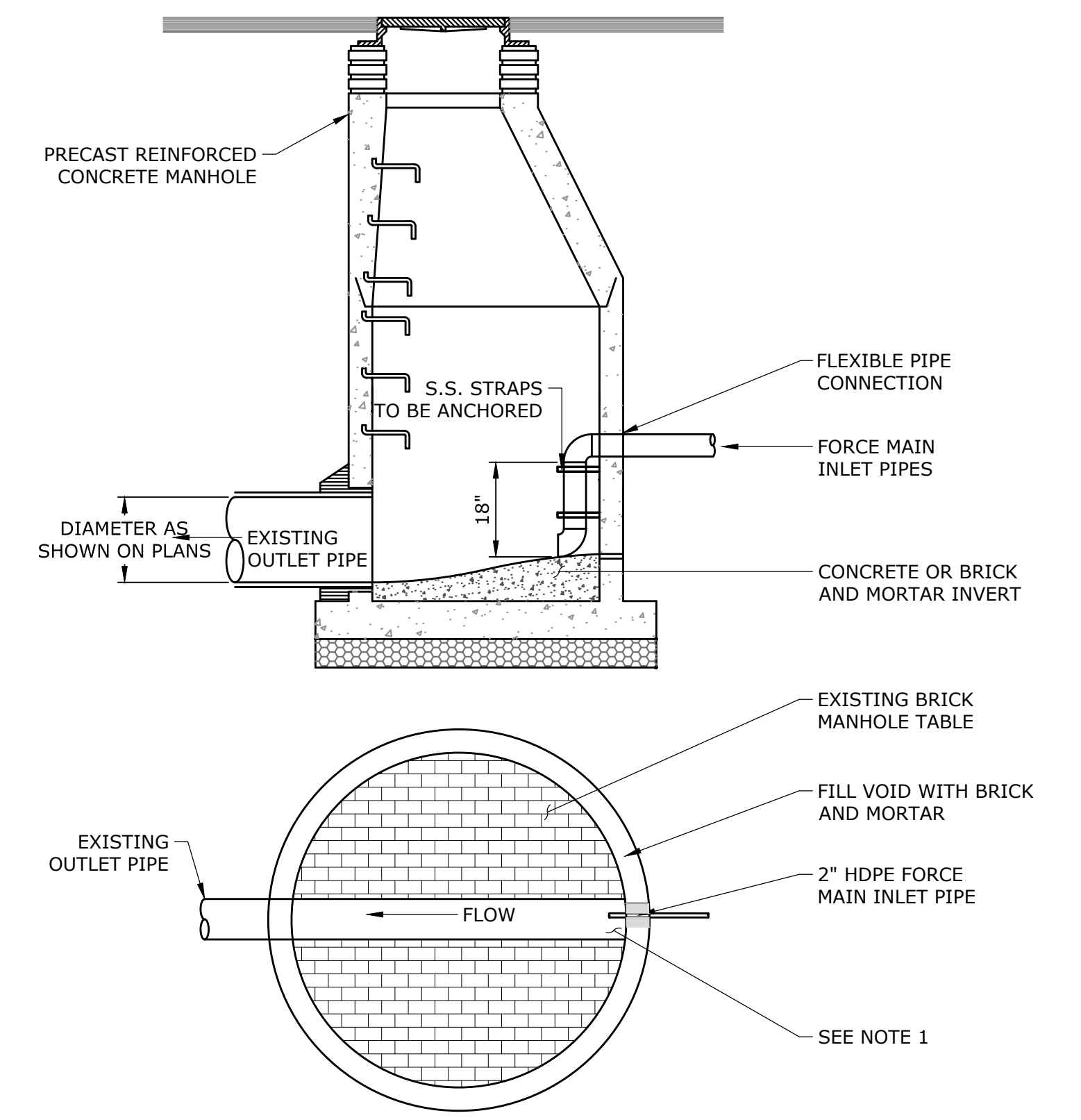
SM	SM	TR
DESIGNED	DRAWN	CHECKED
SCALE: AS NOTED		
DATE: JULY 29, 2024		
PROJECT NO.: 22100.00001		
SHEET NO.: 14 OF 19		
SD-3		



FORCE MAIN TRENCH
NOT TO SCALE

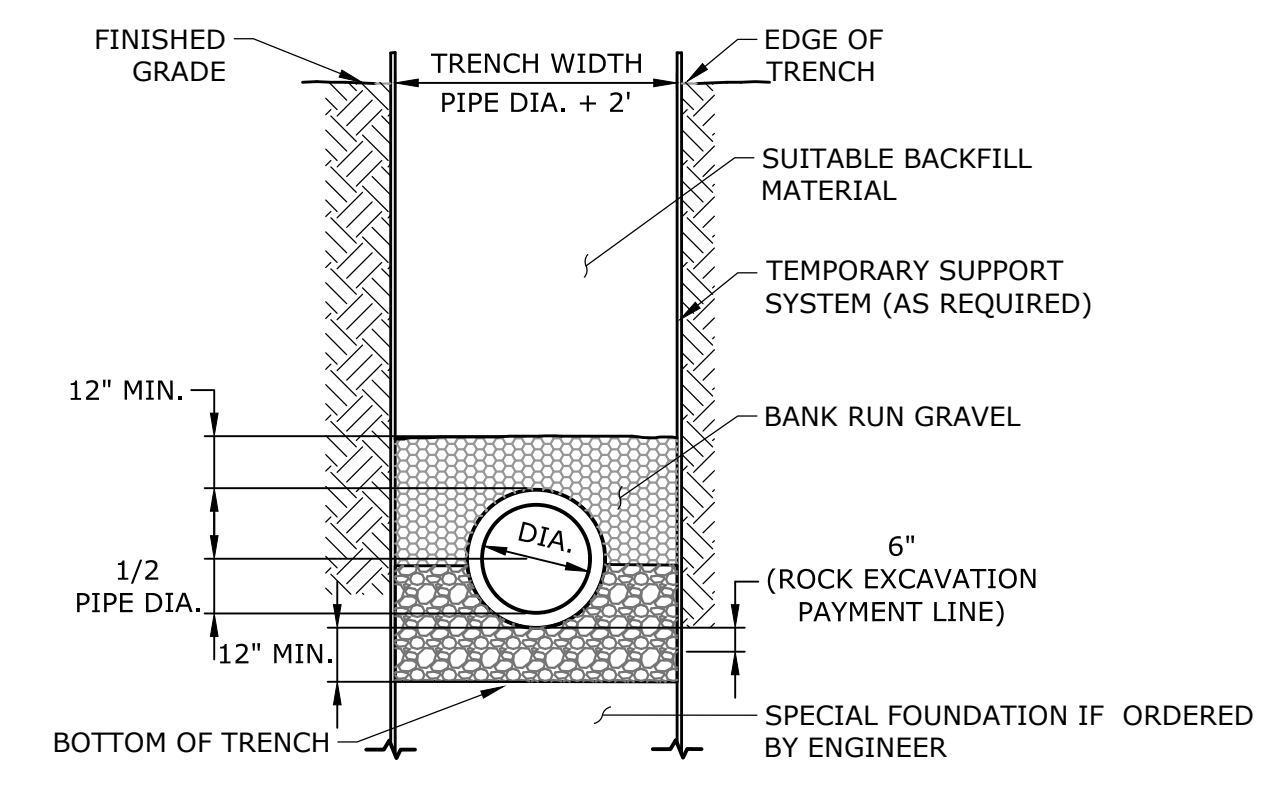


SERVICE LATERAL CONNECTION
NOT TO SCALE

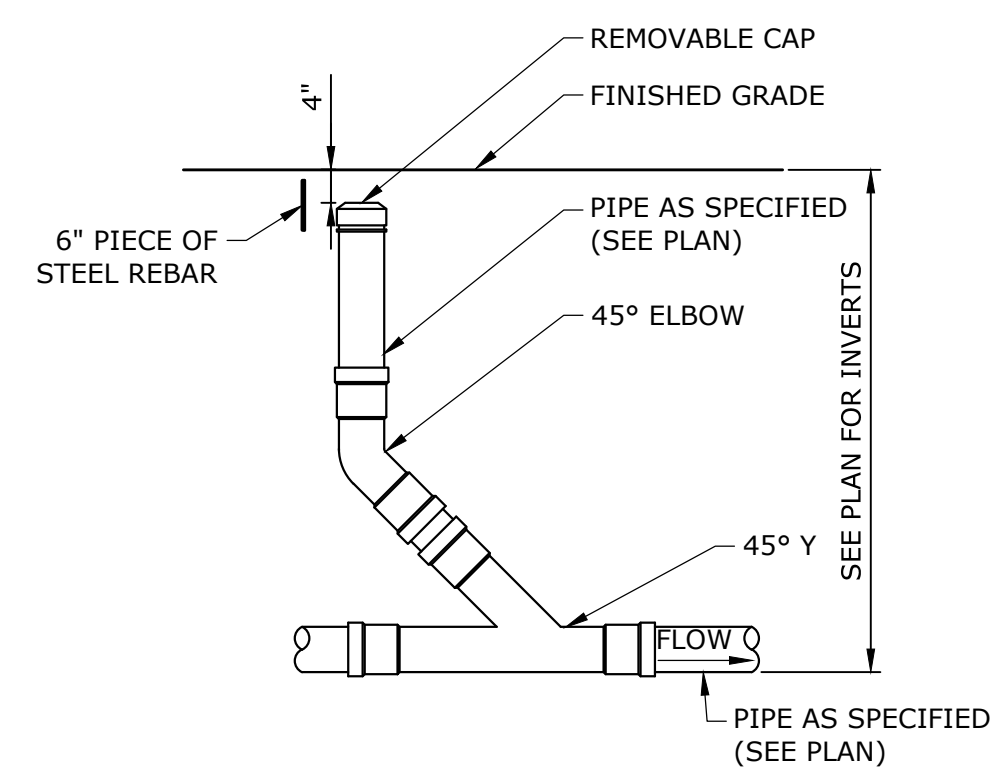


FORCE MAIN CONNECTION TO SEWER MANHOLE
NOT TO SCALE

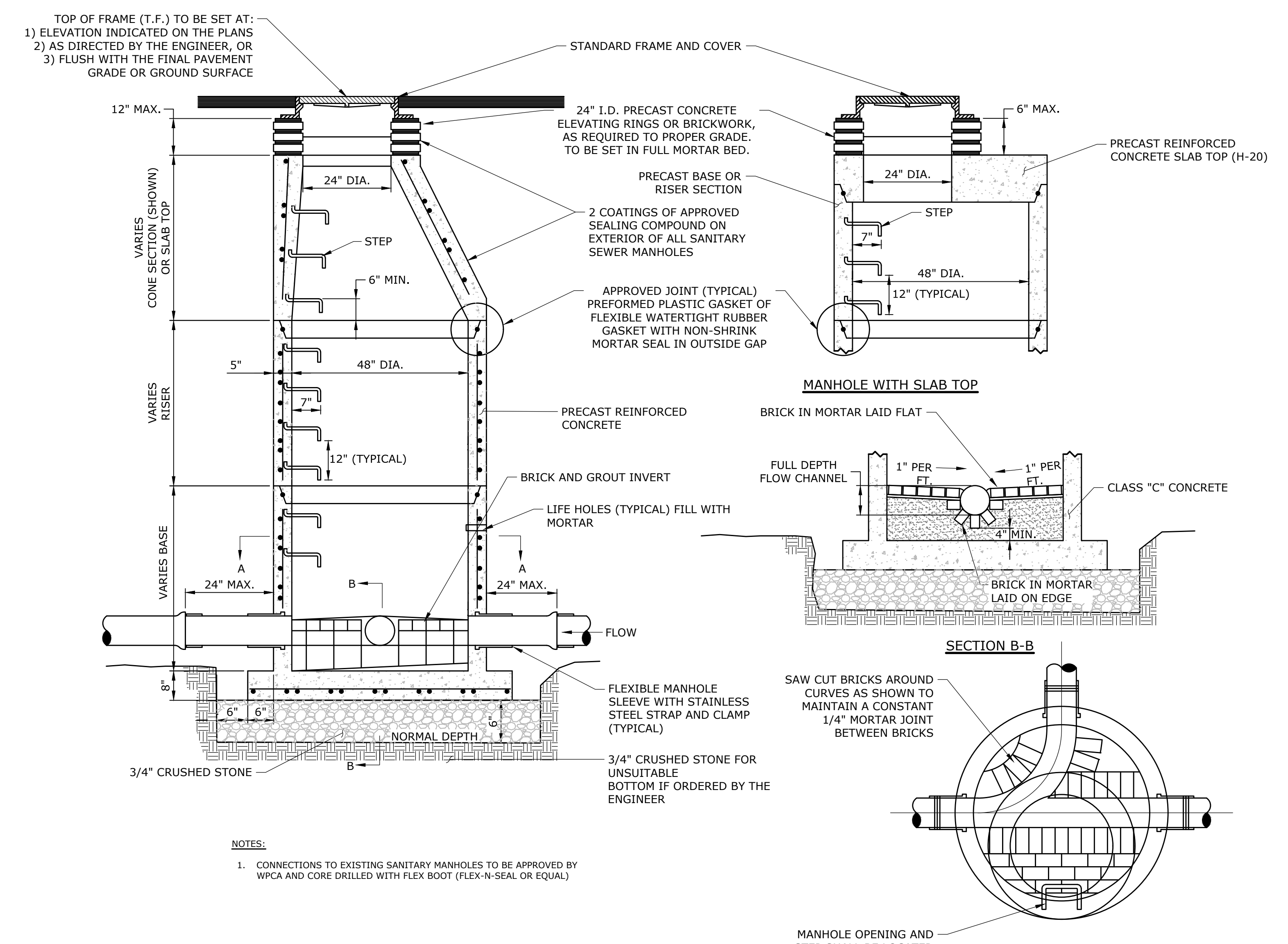
NOTES:
1. INVERT TO BE REBUILT UNDER SUPERVISION OF ENGINEER. A 24 HOUR ADVANCED NOTIFICATION IS REQUIRED FOR ALL INSPECTIONS.
2. NO OUTSIDE PIPE DROPS WILL BE ALLOWED.



SANITARY SEWER TRENCH
NOT TO SCALE



SANITARY CLEANOUT
NOT TO SCALE



NOTES:
1. CONNECTIONS TO EXISTING SANITARY MANHOLES TO BE APPROVED BY WPCA AND CORE DRILLED WITH FLEX BOOT (FLEX-N-SEAL OR EQUAL)

SANITARY MANHOLE
NOT TO SCALE

DATE	BY

SITE DETAILS
WAKE ROBIN INN
REDEVELOPMENT
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT

SM	SM	TR
DESIGNED	DRAWN	CHECKED

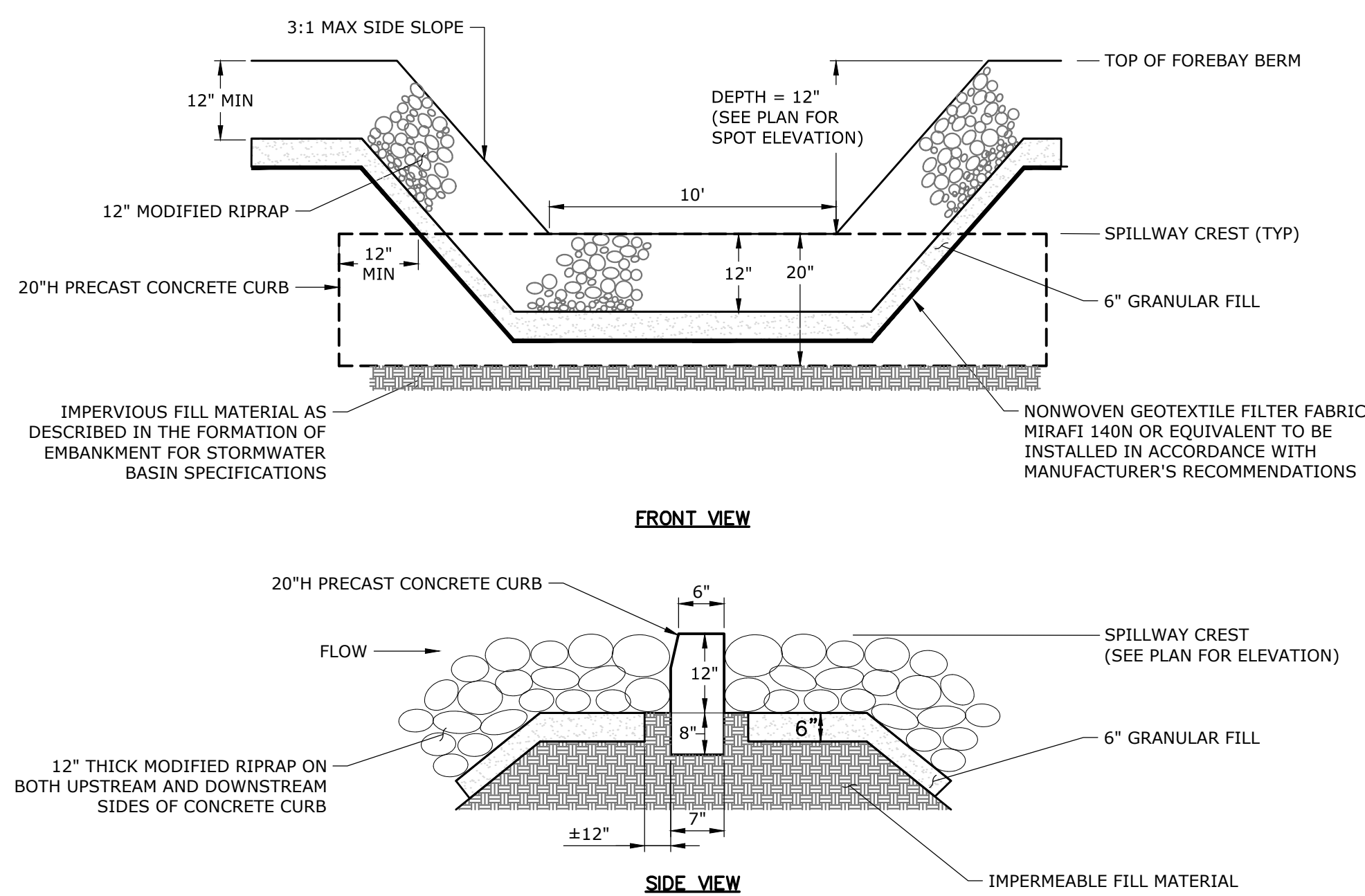
AS NOTED

DATE: **JULY 29, 2024**

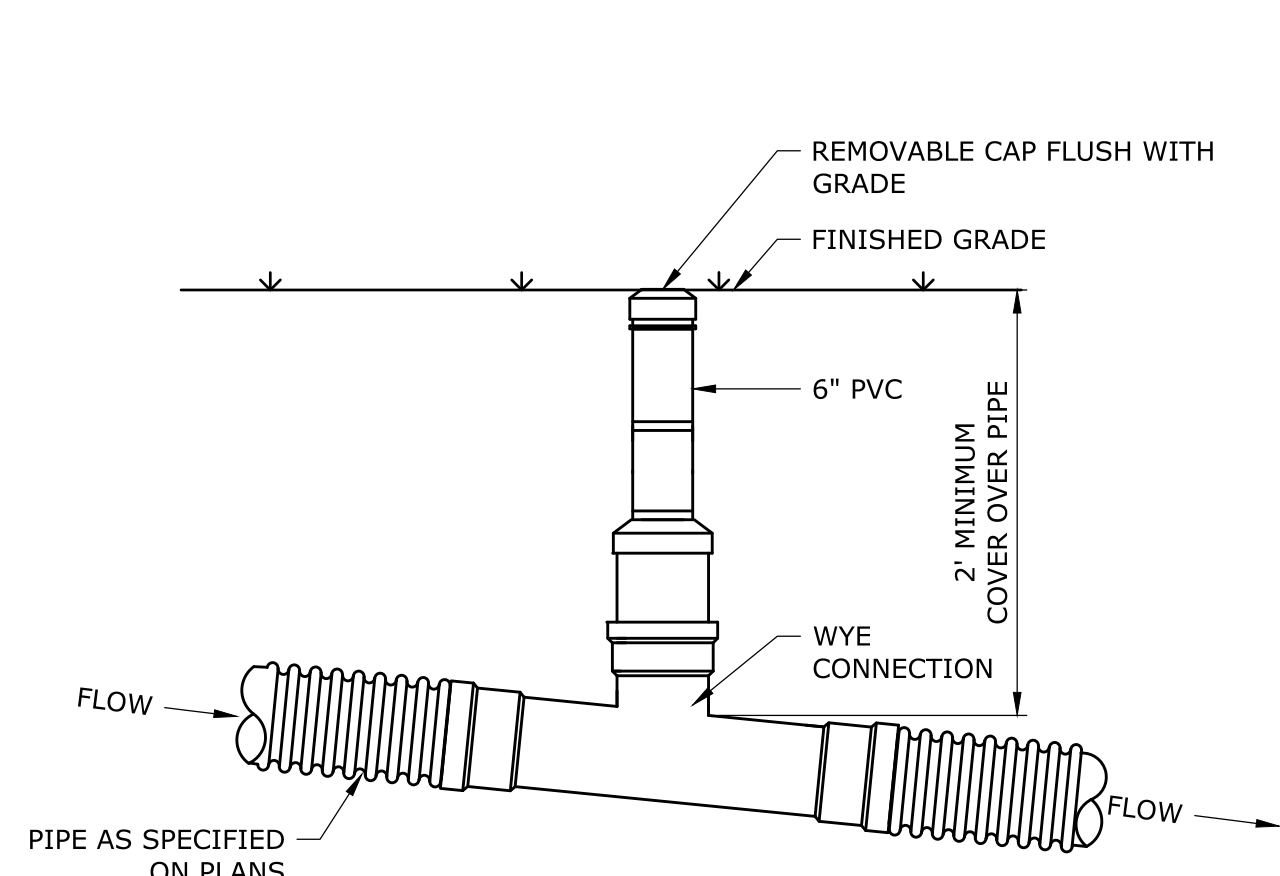
PROJECT NO: **22100.00001**

SHEET NO: **15 OF 19**

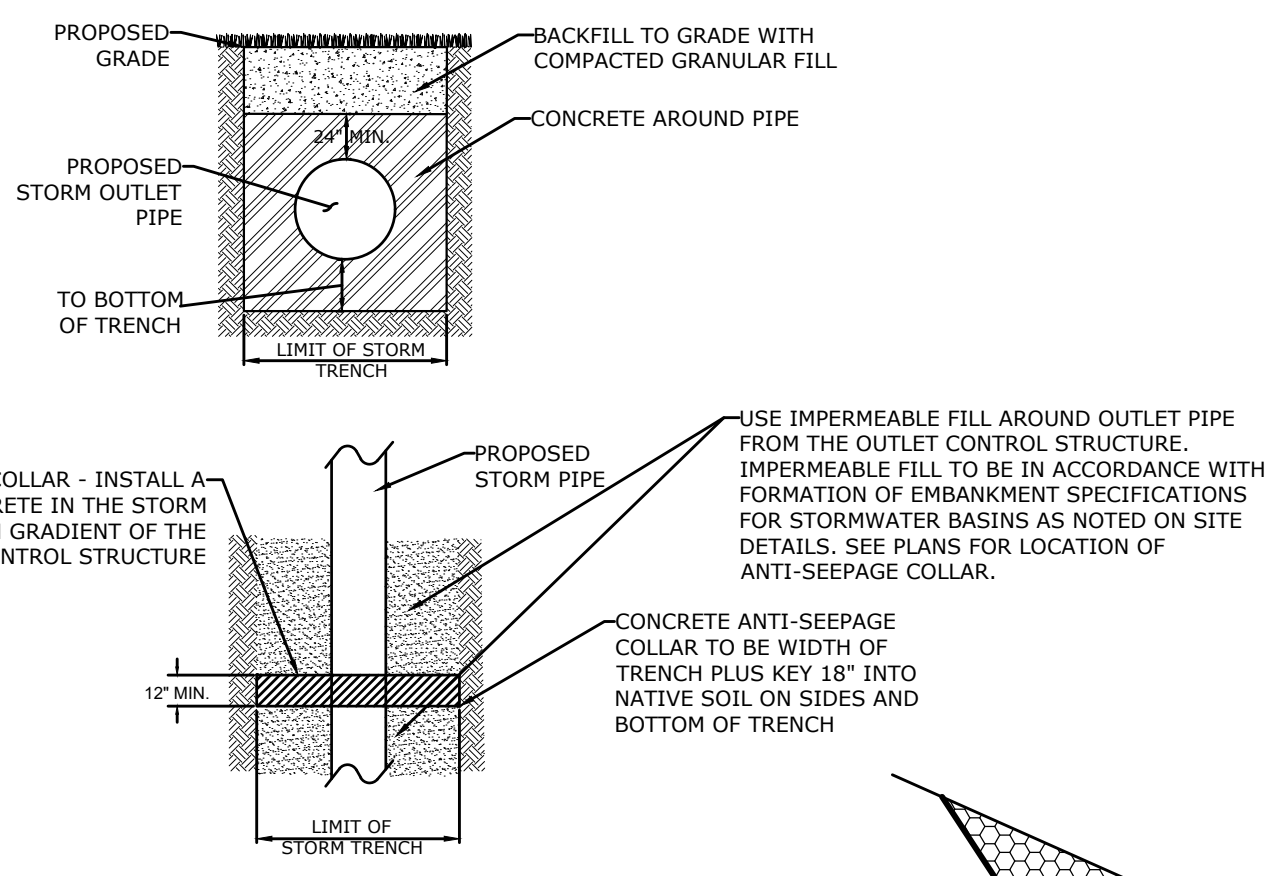
24 HOUR EMERGENCY SERVICE: 800-368-7878
 24 HOUR EMERGENCY SERVICE: 800-368-7878
 24 HOUR EMERGENCY SERVICE: 800-368-7878



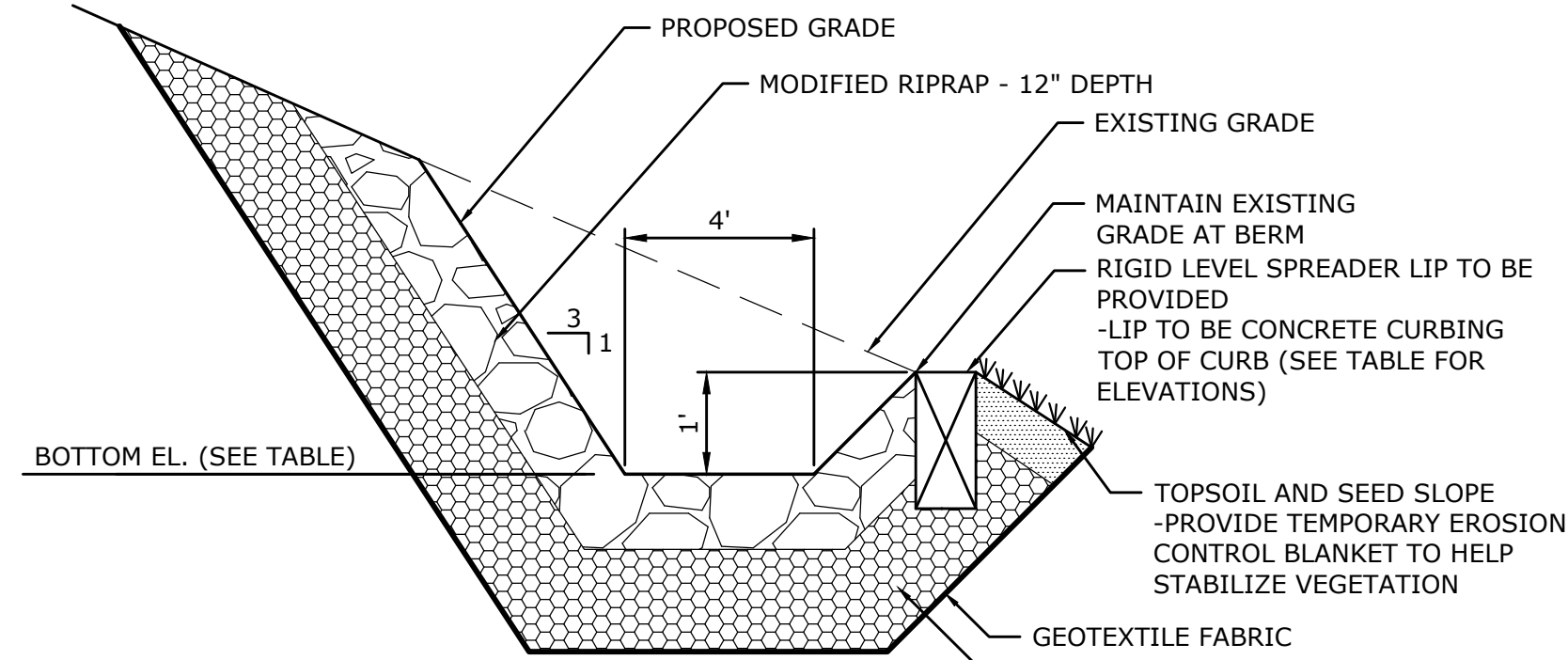
EMERGENCY RIPRAP SPILLWAY
NOT TO SCALE



ROOF LEADER CLEANOUT
NOT TO SCALE

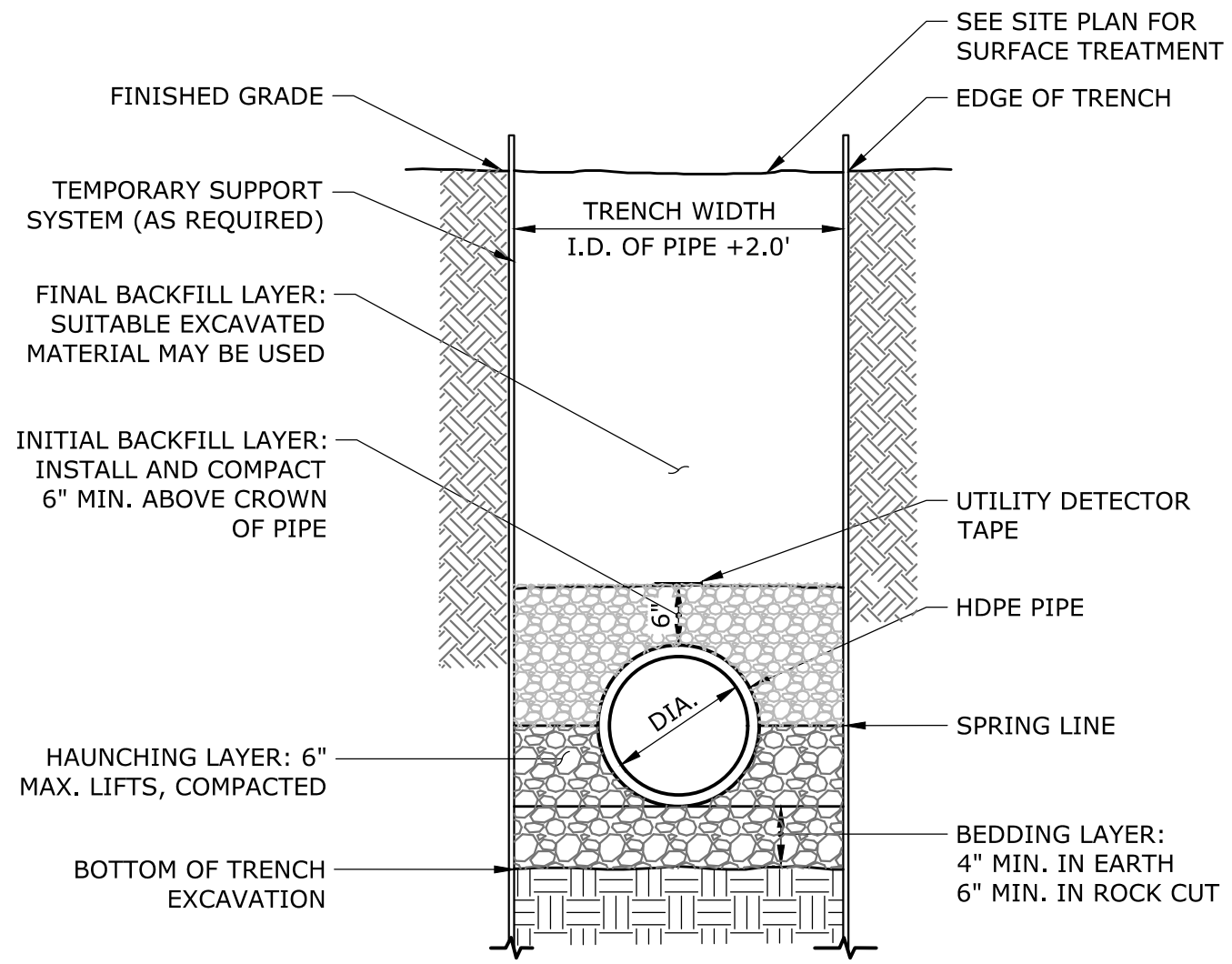


ANTI-SEEPAGE COLLAR
NOT TO SCALE



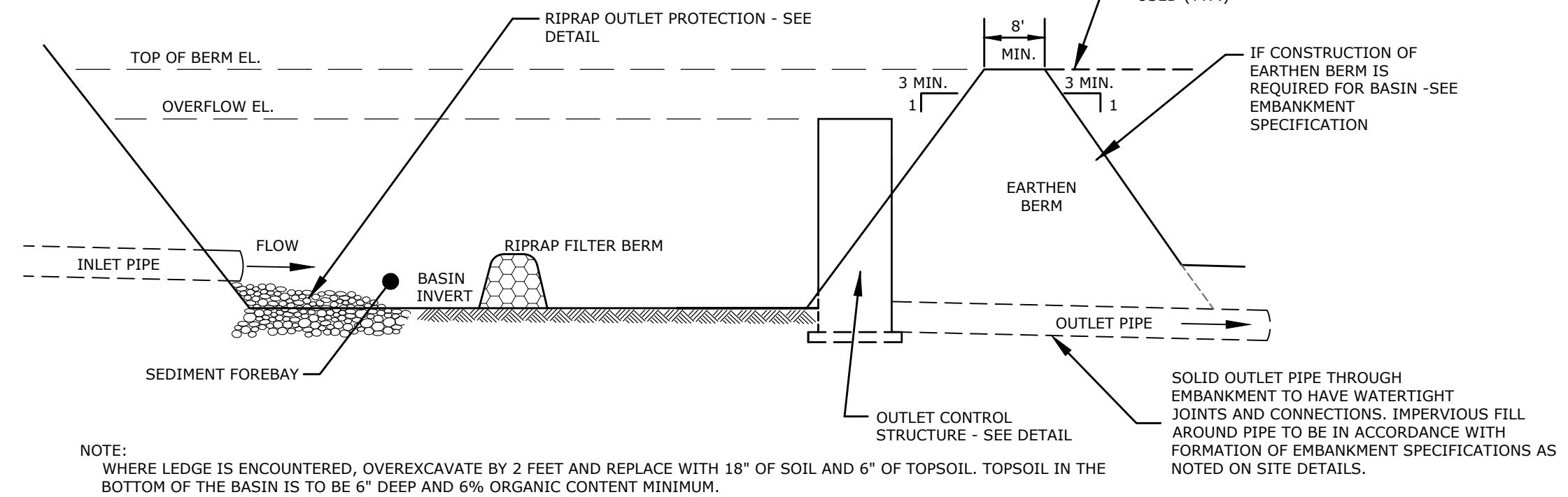
LEVEL SPREADER ID	BOTTOM EL. (FT)	TOP OF CURB EL. (FT)
220	800.0	801.0

LEVEL SPREADER
NOT TO SCALE



- NOTES:**
- BACKFILL MATERIAL USED IN BEDDING, HAUNCHING, AND INITIAL BACKFILL LAYERS SHALL BE 3/4" CRUSHED STONE.
 - PAYMENT LIMIT FOR ROCK IN TRENCH TO BE PIPE DIAMETER + 3.0'

STORM DRAINAGE TRENCH
NOT TO SCALE



NOTE: WHERE LEDGE IS ENCOUNTERED, OVEREXCAVATE BY 2 FEET AND REPLACE WITH 18" OF SOIL AND 6" OF TOPSOIL. TOPSOIL IN THE BOTTOM OF THE BASIN IS TO BE 6" DEEP AND 6% ORGANIC CONTENT MINIMUM.

TYPICAL DETENTION BASIN
NOT TO SCALE

FORMATION OF EMBANKMENTS FOR STORMWATER BASINS

1. MATERIALS

ALL FILL MATERIALS SHALL BE OBTAINED FROM REQUIRED EXCAVATIONS OR DESIGNATED BORROW AREAS. FILL MATERIAL SHALL CONTAIN NO FROZEN MATERIAL, SOD, BRUSH, ROOTS, OR OTHER ORGANIC MATERIAL. EARTH EMBANKMENTS SHALL CONTAIN NO STONES OR ROCK PARTICLES OVER THREE INCHES IN DIAMETER.

THE MATERIAL USED IN THE CENTER PORTION OF THE EMBANKMENT SHALL BE THE MOST IMPERVIOUS MATERIAL OBTAINED FROM THE BORROW AREAS IF REQUIRED. THE MORE PERVIOUS MATERIALS SHALL BE USED IN THE OUTER PORTION OF THE EMBANKMENT AS SHOWN ON THE PLANS.

A. IMPERVIOUS FILL MATERIALS

IMPERVIOUS FILL SHALL BE A GLACIAL TILL, AND TO BE PROVIDED FROM AN OFFSITE SOURCE IN THE QUANTITIES REQUIRED FOR COMPLETION. FILL TO BE APPROVED BY THE ENGINEER. GLACIAL TILL SHALL CONSIST OF HARD AND DURABLE PARTICLES OR FRAGMENTS AND SHALL BE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIALS. GLACIAL TILL SHALL GENERALLY CONFORM TO THE FOLLOWING GRADATION LIMITS:

U.S. STANDARD SIEVE SIZE	PERCENTAGE PASSING BY WEIGHT
3 INCH	100
NO. 4	60-95
NO. 10	50-95
NO. 40	30-75
NO. 100	20-65
NO. 200	10-40

2. EMBANKMENT FOUNDATION PREPARATION

AREAS WHERE EMBANKMENTS ARE TO BE FORMED SHALL BE CLEARED AND GRUBBED OF ALL TOPSOIL AND OTHER ORGANIC MATERIALS TO A DEPTH OF AT LEAST 24 INCHES, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. FOUNDATION AREAS SHALL BE SCARIFIED TO A DEPTH OF THREE INCHES PRIOR TO PLACEMENT OF FILL MATERIAL.

3. PLACEMENT

NO FILL SHALL BE PLACED UNTIL THE FOUNDATION PREPARATION AND EXCAVATIONS IN THE FOUNDATION HAVE BEEN COMPLETED. NO FILL SHALL BE PLACED ON A FROZEN SURFACE NOR SHALL FROZEN MATERIAL BE INCORPORATED.

A. EMBANKMENT

MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS. THE THICKNESS OF LAYERS SHALL BE SIX INCHES. DURING CONSTRUCTION, THE SURFACE OF THE FILL SHALL HAVE A CROWN OR CROSS-SLOPE OF NOT LESS THAN TWO PERCENT. EACH LAYER OR LIFT SHALL EXTEND OVER THE ENTIRE AREA OF THE FILL.

THE FILL SHALL BE FREE FROM LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFERING SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. THE MORE PERVIOUS MATERIAL SHALL BE PLACED IN THE OUTSIDE PORTION OF THE EMBANKMENT OR AS INDICATED ON THE DRAWINGS. THE FINISHED FILL SHALL BE SHAPED AND GRADED TO THE LINES AND GRADE SHOWN ON THE DRAWINGS.

B. BACKFILL AT THE PIPE OUTLET

BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED THREE INCHES IN THICKNESS AND SHALL BE BROUGHT UP UNIFORMLY AROUND THE OUTLET PIPE AND FLARED END SECTION

4. MOISTURE CONTROL

THE MOISTURE CONTENT OF MATERIALS IN THE EMBANKMENT SHALL BE CONTROLLED TO MEET THE REQUIREMENTS OF SECTION 5, "COMPACTION OF EMBANKMENT." WHEN NECESSARY, MOISTURE SHALL BE ADDED BY USE OF APPROVED SPRINKLING EQUIPMENT. WATER SHALL BE ADDED UNIFORMLY AND EACH LAYER SHALL BE THOROUGHLY DISKED OR HARROWED TO PROVIDE ROPE MIXING. ANY LAYER FOUND TOO WET FOR PROPER COMPACTION SHALL BE ALLOWED TO DRY BEFORE ROLLING. PLACING OR ROLLING OF MATERIAL ON EARTH FILLS WILL NOT BE PERMITTED DURING OR IMMEDIATELY AFTER RAINFALLS WHICH INCREASE THE MOISTURE CONTENT BEYOND THE LIMIT OF SATISFACTORY COMPACTION. THE EARTH FILL SHALL BE BROUGHT UP UNIFORMLY AND ITS TOP SHALL BE KEPT GRADED AND SLOPED SO THAT A MINIMUM OF RAINWATER WILL BE RETAINED THEREON. COMPACTED EARTH FILL DAMAGED BY WASHING SHALL BE ACCEPTABLY REPLACED BY THE CONTRACTOR.

5. COMPACTION

A. EMBANKMENT

EMBANKMENT MATERIAL SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR DENSITY AT NEAR OPTIMUM MOISTURE CONTENT AND BY THE COMPACTION EQUIPMENT SPECIFIED HEREIN. THE COMPACTION EQUIPMENT SHALL TRAVERSE THE ENTIRE SURFACE OF EACH LAYER OF FILL MATERIAL.

APPROVED TAMPING ROLLERS SHALL BE USED FOR COMPACTING ALL PARTS OF THE EMBANKMENTS WHICH THEY CAN EFFECTIVELY REACH. THE CONTRACTOR SHALL DEMONSTRATE THE EFFECTIVENESS OF THE ROLLER BY ACTUAL SOIL COMPACTION RESULTS OF THE SOIL TO BE USED IN THE EMBANKMENT WITH LABORATORY WORK PERFORMED BY AN APPROVED SOIL TESTING LABORATORY.

B. BACKFILL AT OUTLET CONDUIT

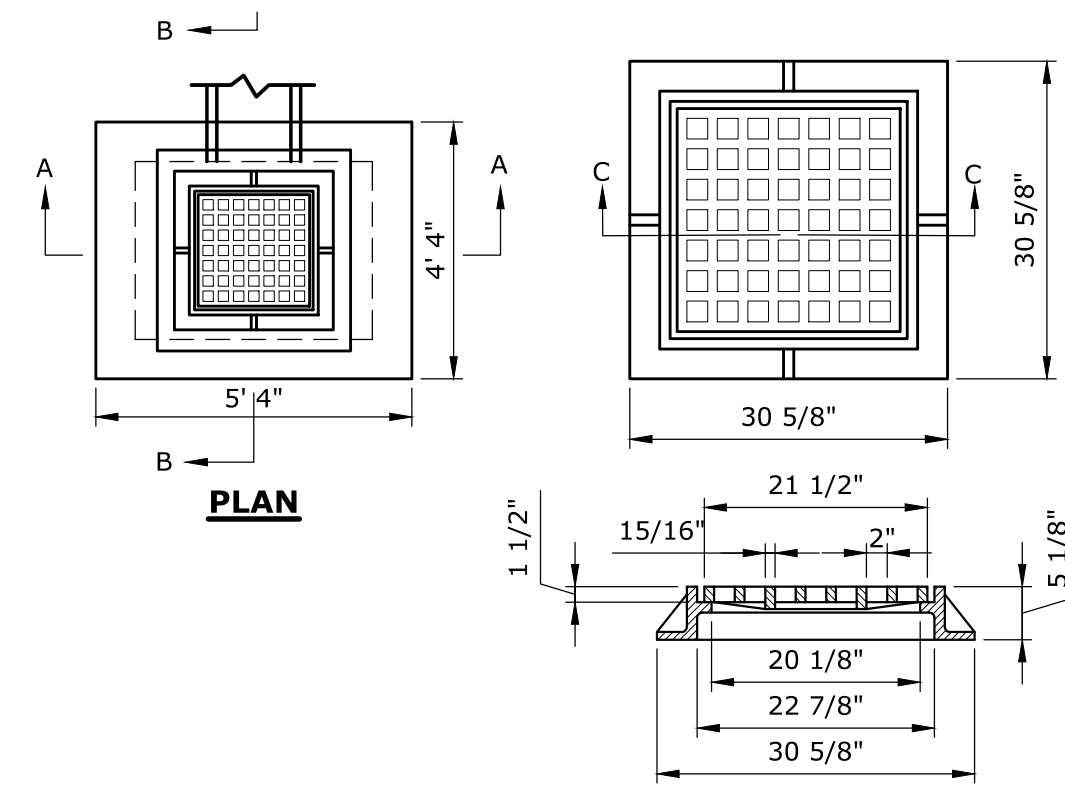
BACKFILL SHALL BE COMPACTED BY HAND TAMPING WITH MECHANICAL TAMPERS. HEAVY EQUIPMENT SHALL NOT BE OPERATED WITHIN TWO FEET OF ANY STRUCTURE. EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE OUTLET CONDUITS UNTIL THERE IS 24 INCHES OF FILL OVER THE PIPE CONDUITS.

6. FINISHING EMBANKMENTS

THE EMBANKMENTS SHALL BE CONSTRUCTED TO THE ELEVATIONS, LINES, GRADES AND CROSS-SECTIONS AS SHOWN ON THE DRAWINGS. THE EMBANKMENTS SHALL BE MAINTAINED IN A MANNER SATISFACTORY TO THE ENGINEER AND SURFACES SHALL BE COMPACT AND ACCURATELY GRADED BEFORE TOPSOIL IS PLACED ON THEM. THE CONTRACTOR SHALL CHECK THE EMBANKMENT SLOPES WITH STRING LINES TO INSURE THAT THEY CONFORM TO THE SLOPES GIVEN ON THE PLANS AND ARE UNIFORM FOR THE ENTIRE LENGTH OF THE SLOPE.

7. CONTROL OF WATER

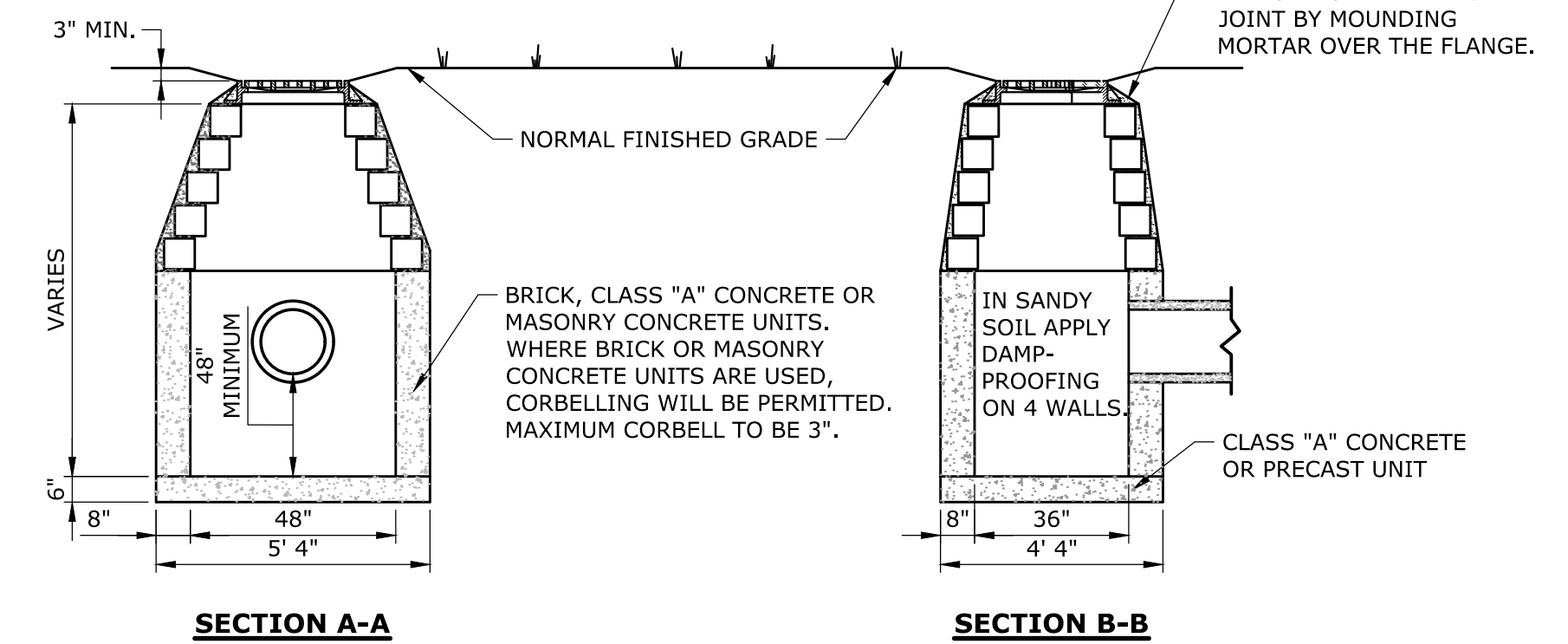
THE PROJECT SITE IS SUBJECT TO HIGH WATER TABLE. THE CONTRACTOR SHALL USE TEMPORARY PIPES OR PUMPS TO ASSURE PLACEMENT OF SELECT FILL IN DRY CONDITIONS.



NOTES:

- YARD DRAIN FRAMES & GRATES SHALL BE PATTERN #R-3404 AS MANUFACTURED BY THE "NEENAH FOUNDRY COMPANY" OF NEENAH, WISCONSIN, OR APPROVED EQUAL.

YARD DRAIN FRAME & GRATE
NOT TO SCALE



NOTES:

- WHERE PRECAST CONCRETE UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.

YARD DRAIN
NOT TO SCALE



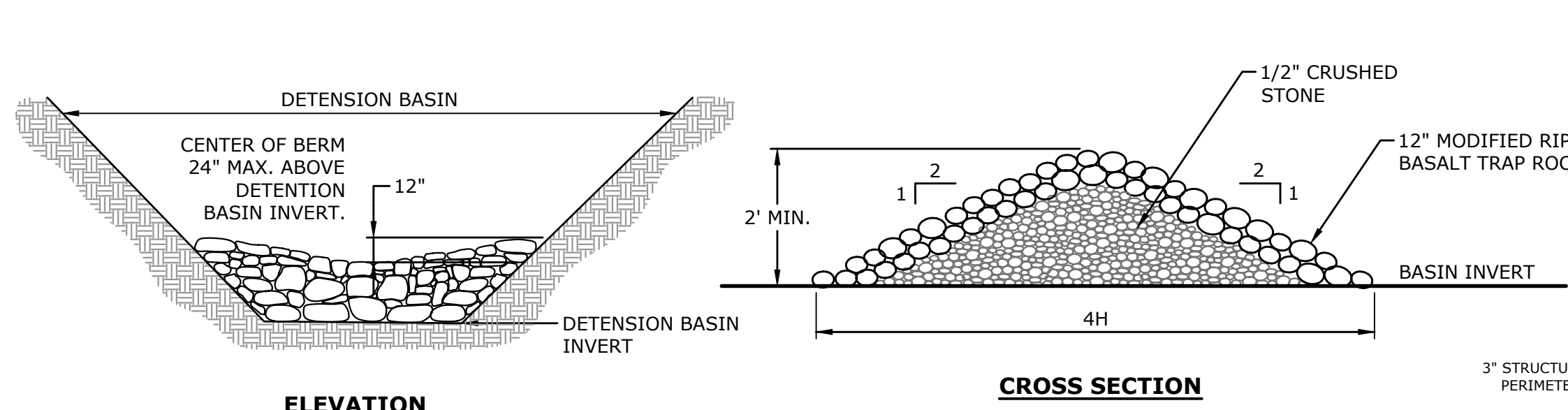
DESCRIPTION	DATE	BY
TOWN COMMENTS	11/16/2024	MCB

SITE DETAILS
WAKE ROBIN INN REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

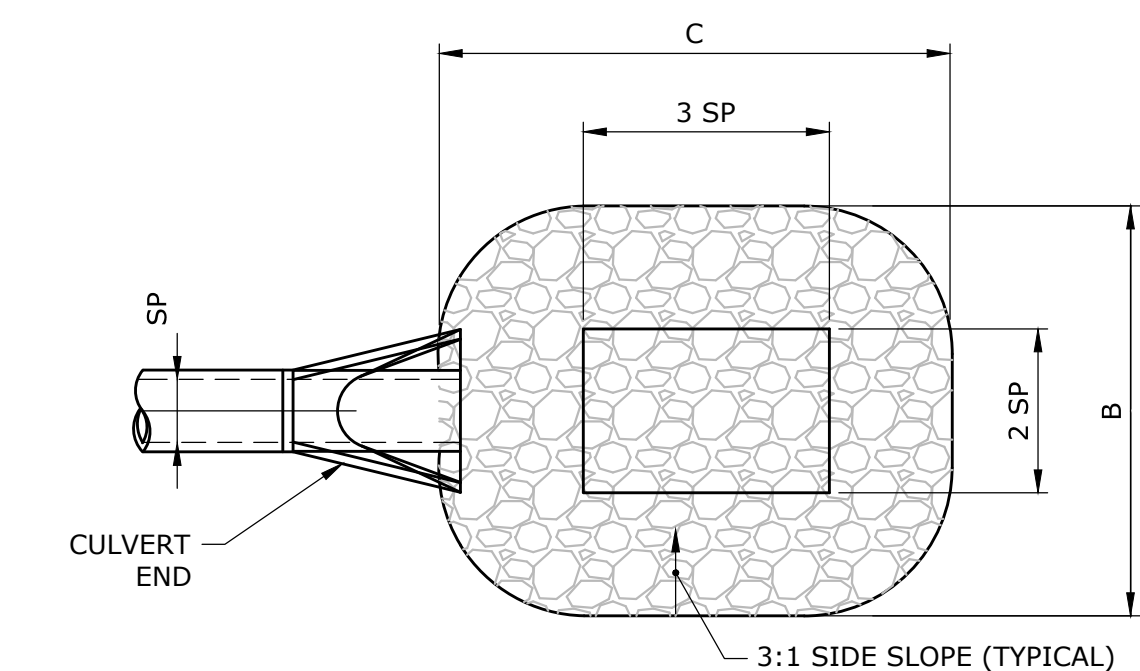
SM	SM	TR
DESIGNED	DRAWN	CHECKED

SCALE: AS NOTED
 DATE: JULY 29, 2024
 PROJECT NO.: 22100.00001
 SHEET NO.: 16 OF 19

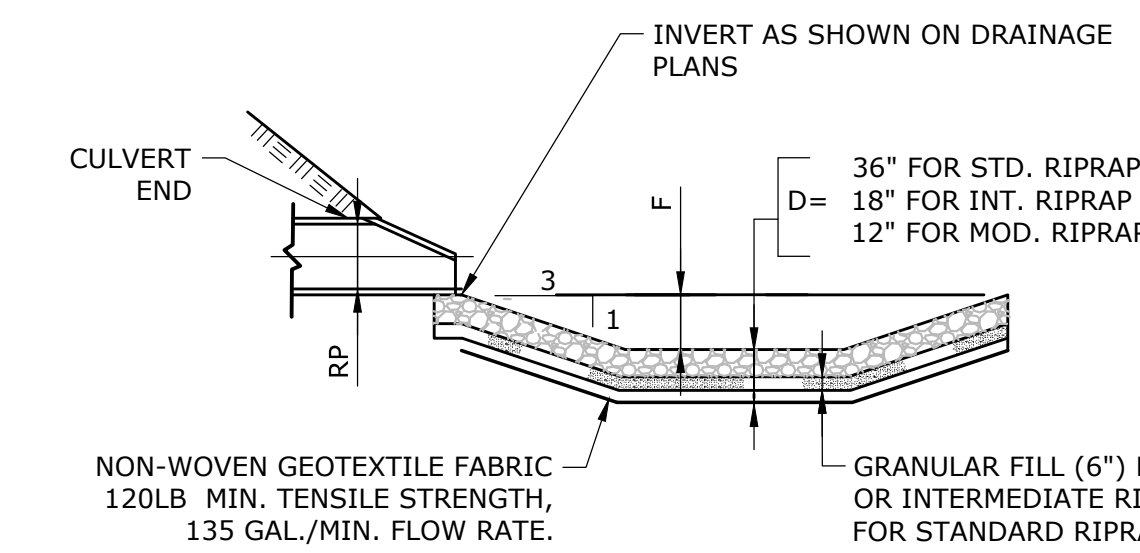
SD-5



RIPRAP FILTER BERM
NOT TO SCALE

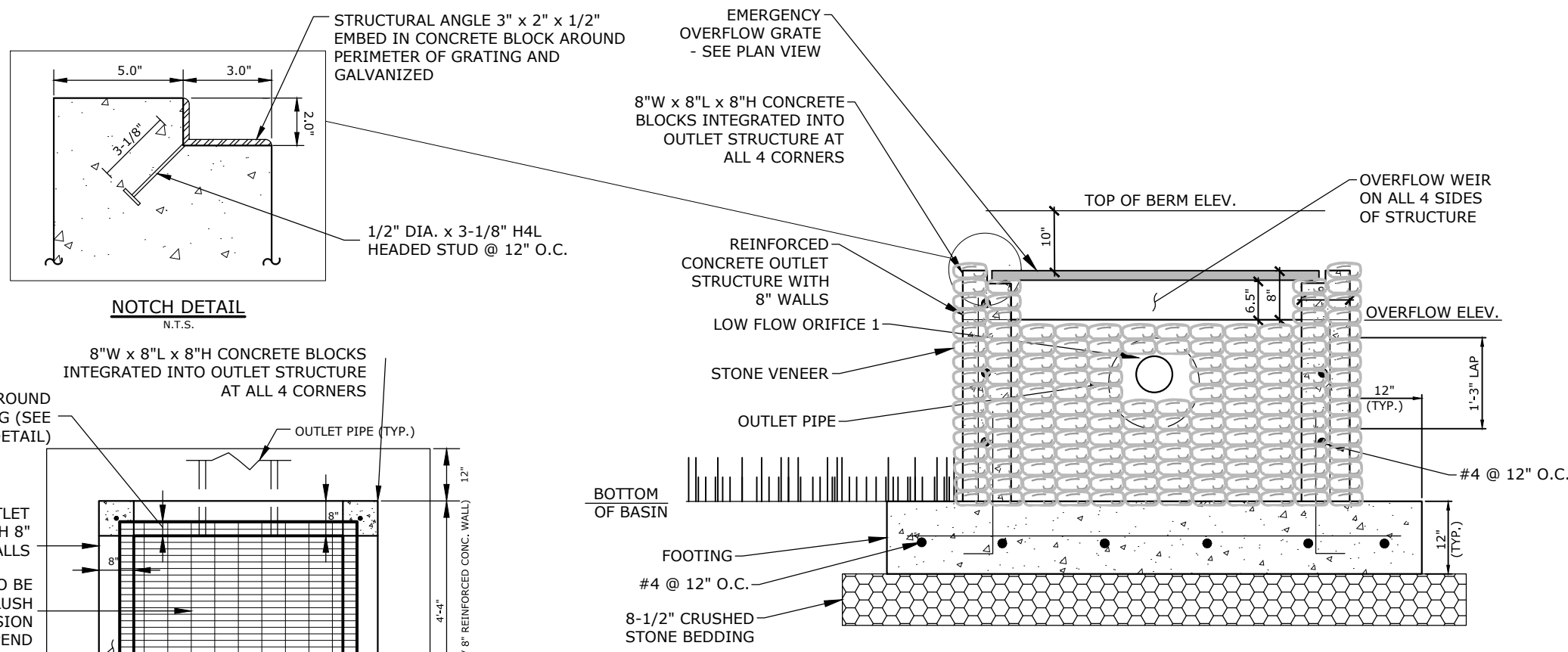


PLAN



RIPRAP PREFORMED SCOUR HOLE
NOT TO SCALE

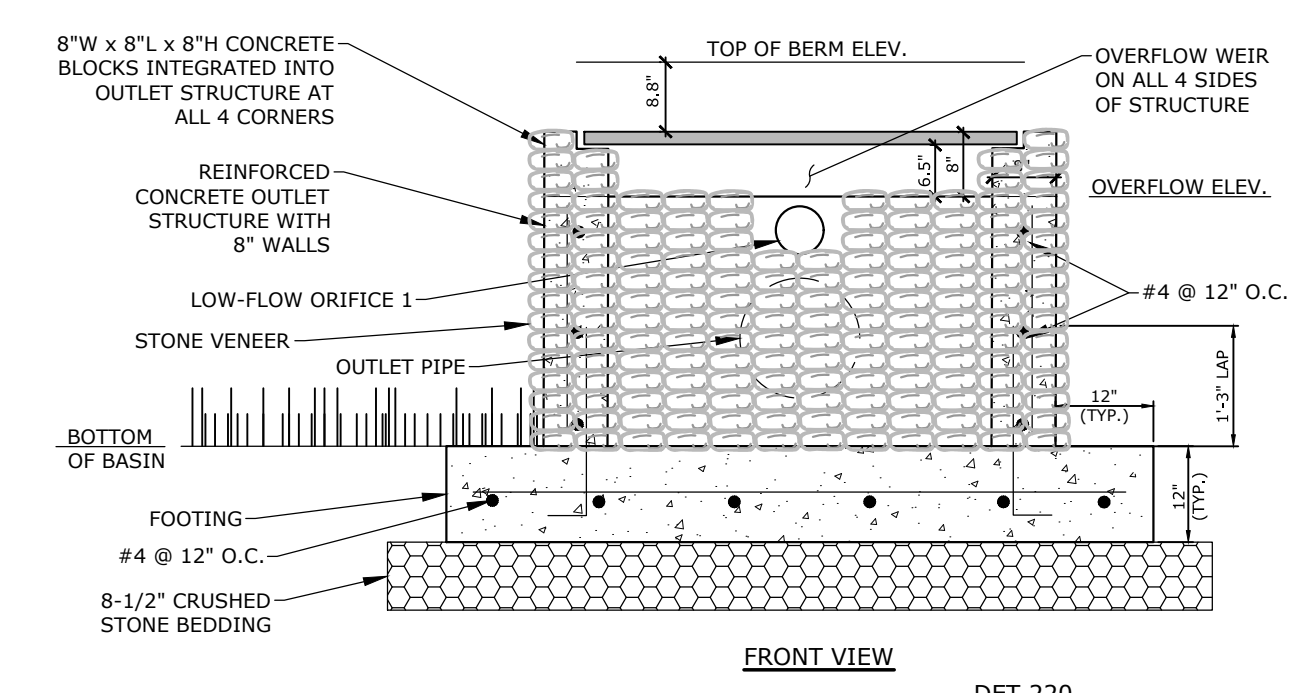
OUTLET PROTECTION ID	TYPE	SP (FT)	RP (FT)	C (FT)	B (FT)	F (FT)	D (IN)
FES 12	MODIFIED TYPE 1	1.25	1.25	6.25	7.5	0.63	12



DET 210

TOP OF BERM ELEVATION	818.0
OVERFLOW ELEVATION	816.5
100-YEAR WATER SURFACE ELEV.	817.0
LOW FLOW ORIFICE 1 DIAMETER	6"
LOW FLOW ORIFICE 1 INVERT	815.5
OUTLET PIPE DIAMETER	15"
OUTLET PIPE INVERT	815.0
BASIN BOTTOM ELEVATION	814.0

DETENTION BASIN OUTLET CONTROL STRUCTURES
SCALE: 1"=2'



DET 220

TOP OF BERM ELEVATION	804.0
OVERFLOW ELEVATION	802.6
100-YEAR WATER SURFACE ELEV.	802.9
LOW FLOW ORIFICE 1 DIAMETER	6"
LOW FLOW ORIFICE 1 INVERT	802.0
OUTLET PIPE DIAMETER	15"
OUTLET PIPE INVERT	800.5
BASIN BOTTOM ELEVATION	800.0

CDS2015-4-C DESIGN NOTES

THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	REQUIRED TREATMENT FLOW RATE = 1.39 CFS
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
FLUSH INLET ONLY (NO INLET PIPE)	
FLUSH INLET WITH INLET PIPE OR PIPES	
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	
SEDIMENT WEIR FOR ULDEF/NUCAT CONFORMING UNITS	

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY FLOW RATE (CFS OR L/S)	PEAK FLOW RATE (CFS OR L/S)	RETURN PERIOD OF PEAK FLOW (YRS)	SCREEN APERTURE (2400 OR 4700)

GENERAL NOTES:

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH 1 ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEER.
- CDS WATER QUALITY STRUCTURES SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND REQUIREMENTS, INCLUDING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES:

- ANY AIR-LINE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE ALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, NOT ALL, AND CHECK FOR MATCH WITH EXISTING MANHOLE INVERT WITH THE EXISTING MANHOLE.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
1000 Green Plains Dr., Suite 100, West Chester, OH 45380
937-633-1122, 937-633-1100, 937-633-1101

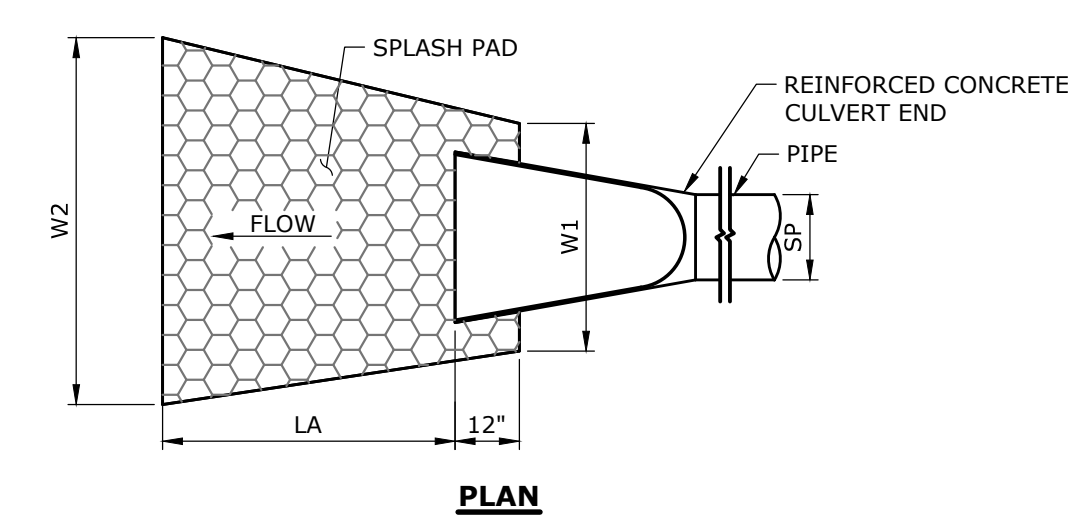
CDS2015-4-C IN-LINE CDS STANDARD DETAIL

CONTECH CDS 2015-4-C
NOT TO SCALE

TEST PIT LOGS

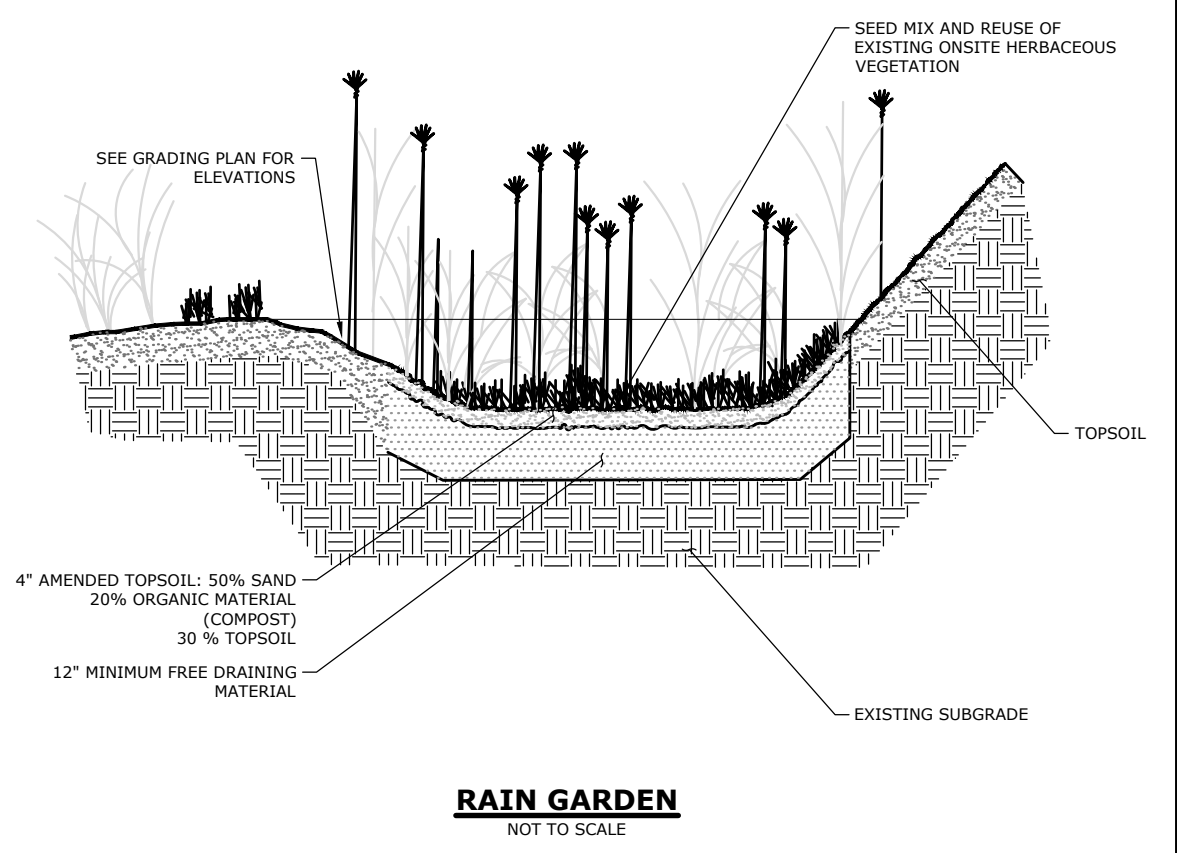
OBSERVED & DOCUMENTED BY: TODD RITCHIE, P.E.
DATE: JUNE 21, 2024

TP-1	TP-4
0-5" TOPSOIL	0-5" TOPSOIL
5-70" BROWN SILT LOAM	5-36" BROWN SANDY LOAM
70-115" ORANGE/BROWN FINE SAND	5-72" GREY SAND/SILT/GRAVEL (COMPACT)
NO LEDGE	LEDGE-72"
NO GROUNDWATER	GROUNDWATER-36"
REDOX-70"	REDOX-36"
TUBE SAMPLE-32"	
TP-2	TP-5
0-42" TOPSOIL/FILL	0-2" ORGANIC/LEAF LITTER
42-44" ORIG. TOPSOIL	2-56" BROWN SANDY LOAM
44-80" BROWN SILT LOAM	LEDGE-80"
NO GROUNDWATER	NO GROUNDWATER
NO REDOX	NO REDOX
TUBE SAMPLE-60"	TUBE SAMPLE-26"
TP-3	TP-6
0-3" GRAVEL	0-2" ORGANIC/LEAF LITTER
3-24" SAND AND GRAVEL	2-12" BROWN SANDY LOAM
24-100" GREY SAND/SILT (COMPACT)	LEDGE-12"
NO LEDGE	NO GROUNDWATER
GROUNDWATER-64"	NO REDOX
REDOX-24"	
TUBE SAMPLE-32"	
TP-7	
0-2" ORGANIC/LEAF LITTER	
2-36" BROWN SANDY LOAM	
36-52" TAN SAND	
LEDGE-52"	
NO GROUNDWATER	
NO REDOX	
TUBE SAMPLE-18"	



FLARED END WITH RIP RAP SPLASH PAD
NOT TO SCALE

OUTLET PROTECTION ID	TYPE	SP (FT)	RP (FT)	LA (FT)	W1 (FT)	W2 (FT)	D (IN)
FES 23	MODIFIED TYPE B	0.67	0.67	10.0	2.0	6.0	12



RAIN GARDEN
NOT TO SCALE



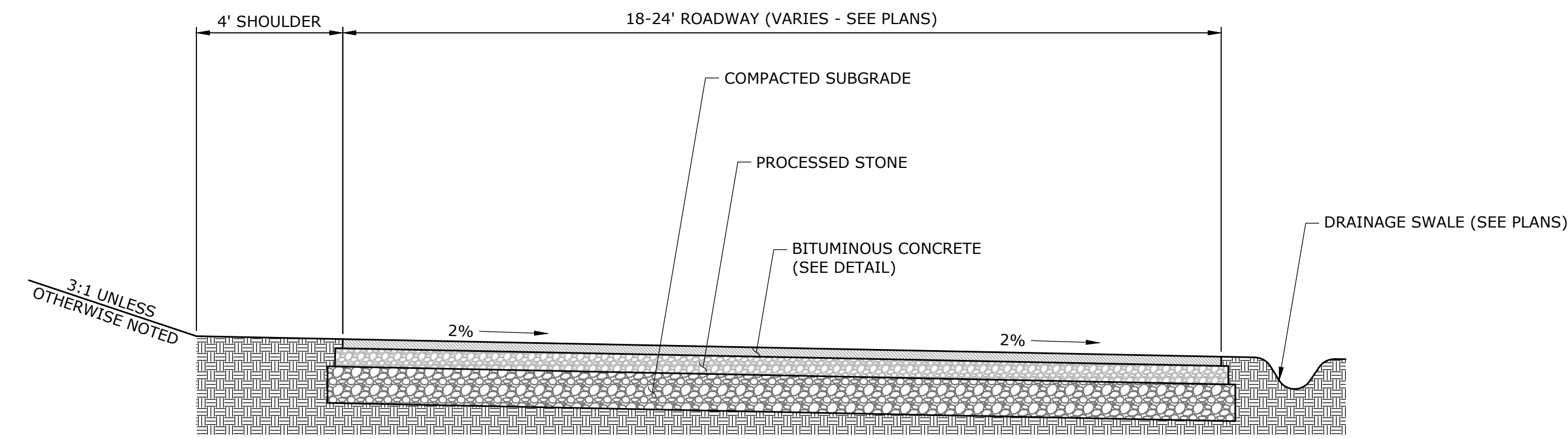
DESCRIPTION	DATE	BY
PKZ SUBMISSION	8/1/2024	SM
PEER REVIEW COMMENTS	9/11/2024	MCB
TOWN COMMENTS	11/8/2024	MCB

SITE DETAILS
WAKE ROBIN INN REDEVELOPMENT
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT

MB	MB	TR
DESIGNED	DRAWN	CHECKED

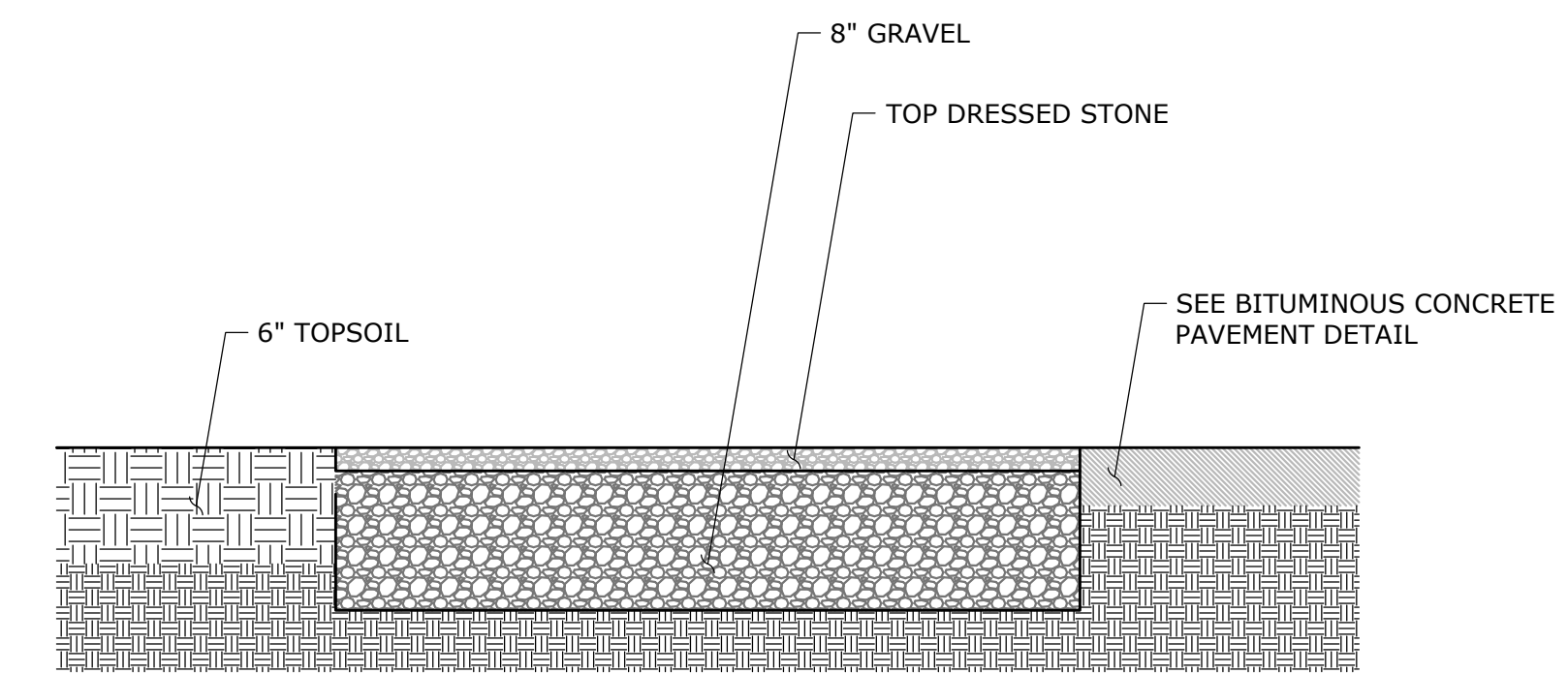
SCALE: AS NOTED
DATE: JULY 29, 2024
PROJECT NO.: 22100.00001
SHEET NO.: 17 OF 19

SD-6



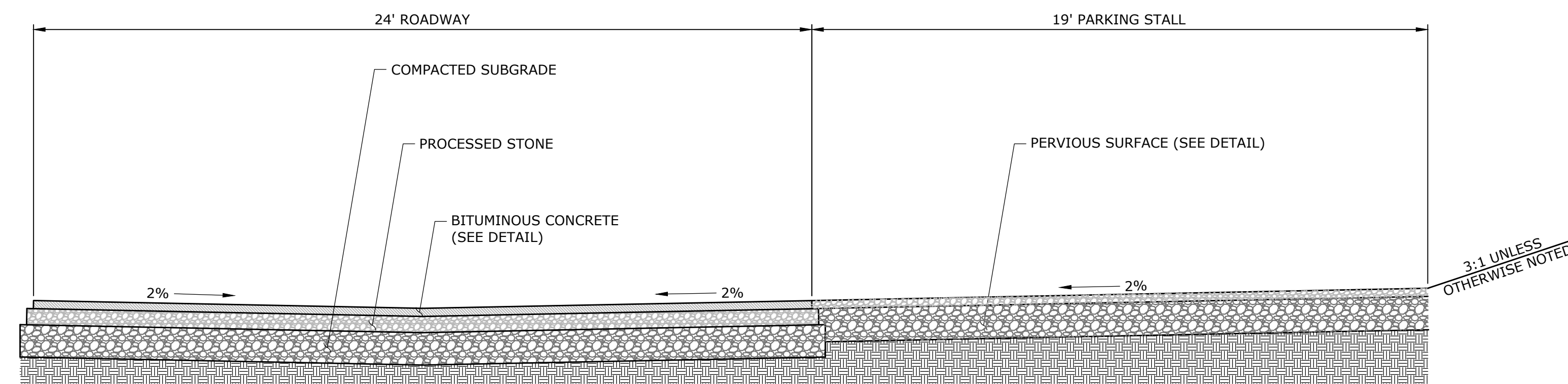
ROADWAY SECTION (SWALE)

SCALE 1:3



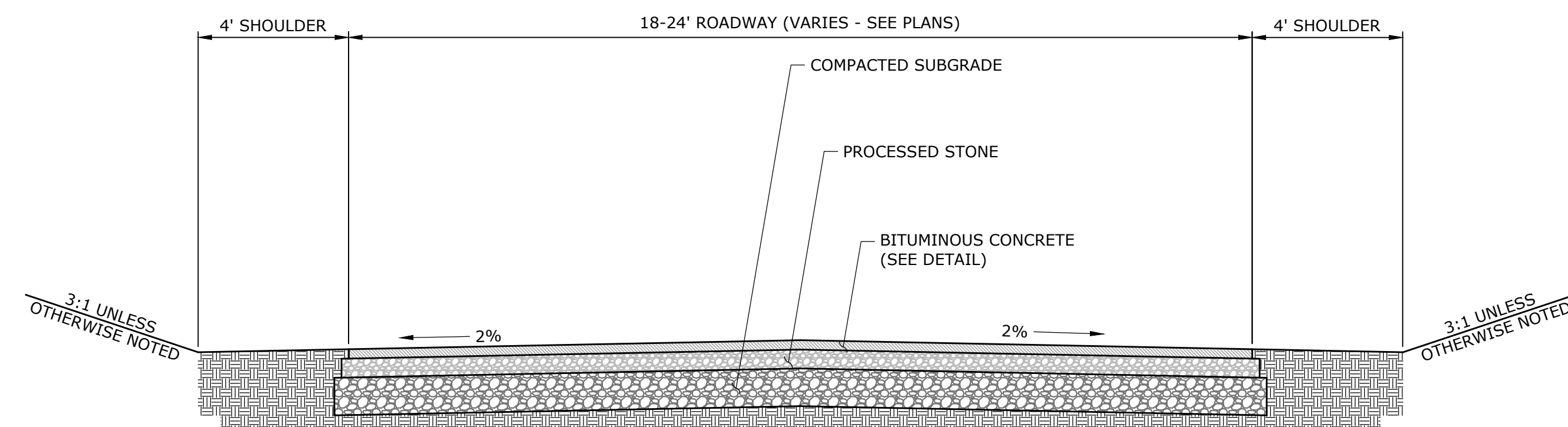
PERVIOUS SURFACE

NOT TO SCALE



ROADWAY SECTION (REVERSE CROWN)

SCALE 1:3



ROADWAY SECTION (CROWN)

SCALE 1:3



99 REALTY DRIVE
SUITE 100
283.271.1773
SLRCONSULTING.COM

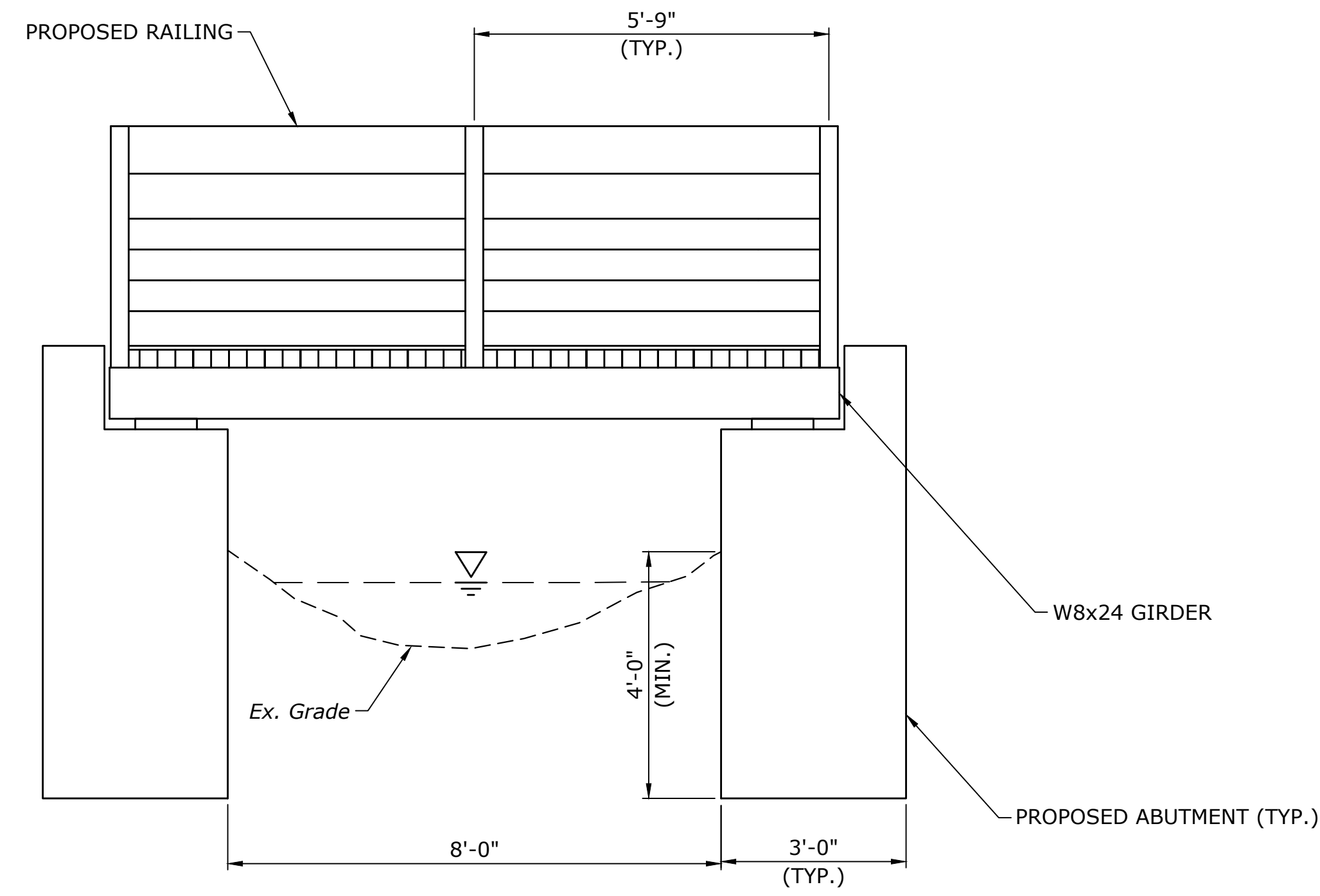
DESCRIPTION	DATE	BY

SITE DETAILS
WAKE ROBIN INN REDEVELOPMENT
 104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
 SALISBURY, CONNECTICUT

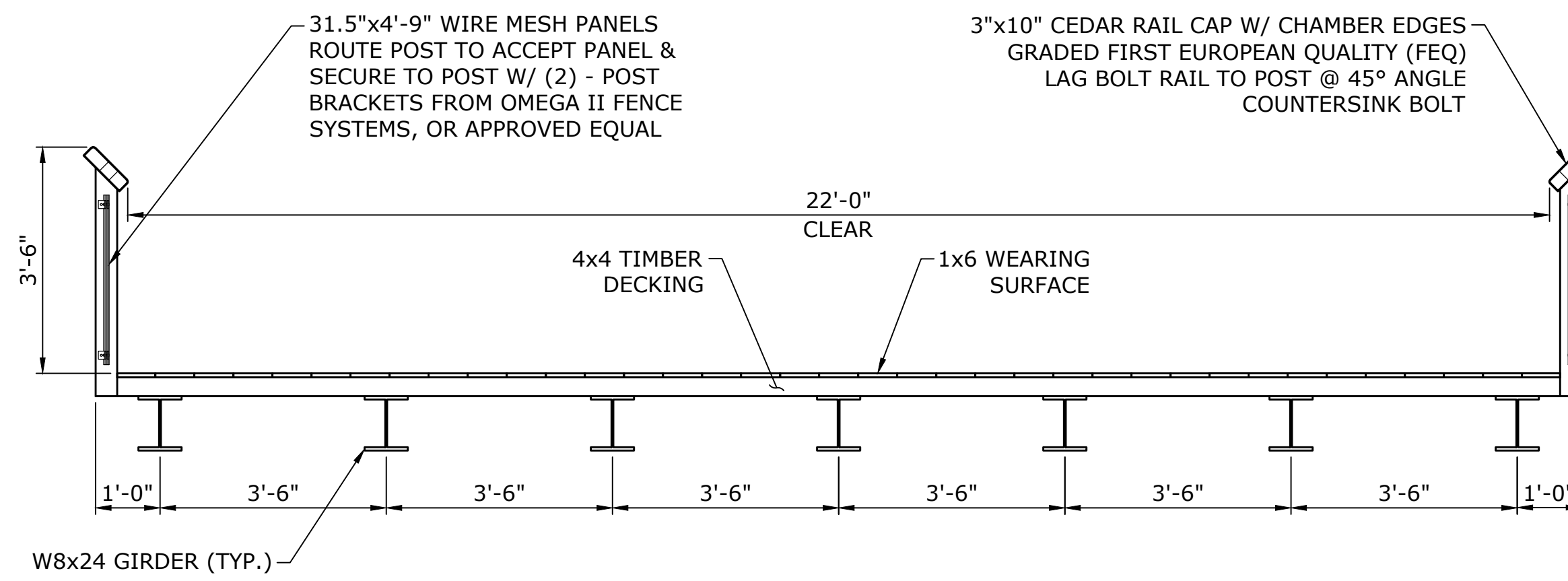
SM	DR	TR
DESIGNED	DRAWN	CHECKED
SCALE		
AS NOTED		
DATE		
SEPTEMBER 6, 2024		
PROJECT NO.		
22100.00001		
SHEET NO.		
18 OF 19		

SD-7

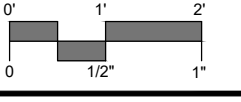
DATE PLOTTED: 09/06/2024 10:58:10 AM
PLOTTER: HP DesignJet 2450
SCALE: 1/2"=1'-0"



PROPOSED ELEVATION
SCALE: 1/2"=1'-0"



**TYPICAL BRIDGE SECTION
(TIMBER)**
SCALE: 1/2"=1'-0"



DESCRIPTION	DATE	BY

STRUCTURAL DETAILS
WAKE ROBIN INN
REDEVELOPMENT
104 & 106 SHARON ROAD & 53 WELLS HILL ROAD
SALISBURY, CONNECTICUT

KP	DR	KP
DESIGNED	DRAWN	CHECKED
SCALE: 1/2"=1'-0"		
DATE: SEPTEMBER 6, 2024		
PROJECT NO.: 22100.00001		
SHEET NO.: 19 OF 19		

STR-1
SHEET NAME