

APPLICATION FOR SITE PLAN APPROVAL

Owner of record: Lemon Properties LLC

Address of owner: 241 Salisbury Road, Canaan 06018

Property Location: Tax Map ⁸ 2762 Lot ²⁸⁻¹³ 160 Land Records: Vol. 273 Page 769

Acreage: 2.28 Zone: RR1 #160 DUGWAY RD

Site Plan Requirements:

Soil Erosion and Sediment Control Measures: Colby Engineering

Conservation Commission Approval, if applicable: N/A

Historic District Commission Approval, if applicable: N/A

Approval From TAHD: WPCA: n/a BHC: n/a

If applicable, boundaries of flood plain, aquifer protection zone, Housatonic River District, or Historic District should be on Site Plan.

Additional Remarks: Build 1,845 sq ft single family Cape with a two car attached garage.
HRC ✓

Owner's Signature: [Signature] Date: 2/24/25

Applicant's Signature and Title: [Signature] (owner)

Applicant's address and phone number: PO Box 351
Canaan, CT 06018

Filed at Planning and Zoning Commission Office: 2/25/2025, 2001
Date of next regular Commission meeting: 3/3/2025
Date of approval or denial of plan: _____
OK# 2010
\$360

A decision on a site plan submitted as part of a zoning permit application shall be rendered within 65 days after receipt of the plan at a regular meeting of the Commission. The applicant may request extensions of the decision period, not to exceed two further 65-day periods.

**Torrington Area Health District
350 Main St. - Suite A; Torrington, Ct 06790**

Permit #

17906

**T A H D Is A Equal Opportunity Provider
Design Review For
Subsurface Sewage Disposal System**

160	Dugway Rd	Salisbury		Subdivision
Lot #	Street # Street Name	Town		
Jason Lemon	Not Given		Ct.	
Owner	Owner Address	Town	State	Zip
860-480-4756				
Owner Telephone		Agent's Name		
Colby Engineering And				
Engineer	Engineer Address	Town	State	Zip

This Approval Indicates That The Proposal Has Been Reviewed By The Health District And Is In Compliance With Applicable Regulations As Contained In The Public Health Code For This Project.

Plan Date: December 17, 2024 Plan prepared by William Colby

Plan Approval Date: December 19, 2024 # Of Bedrooms: 4

12" Geomatrix 6212
Septic System Type

1250
Tank Size

600
Field Sq Ft.

60'
Length Of Septic System

Approved

Plan Revision Required

Required Not Required
(2) Perk Tests In Fill By Engineer

This Is Not A Permit To Construct A Subsurface Sewage Disposal System. The Permit To Construct Will Be Issued To The Licensed Septic System Installer Prior To Actual Construction. This Plan Approval Is Subject To Specific And General Conditions As Shown On This Form And/or The Approved Plan. **Please Read Them Carefully.**

<input checked="" type="checkbox"/> Engineer Design	<input checked="" type="checkbox"/> Select Fill Required	<input checked="" type="checkbox"/> As Below
<input checked="" type="checkbox"/> Percolation Test In Fill	<input type="checkbox"/> Curtain Drain	<input checked="" type="checkbox"/> In Place Sieve Test Required
<input checked="" type="checkbox"/> Engineer As Built Required	<input type="checkbox"/> Engineer Supervision	<input type="checkbox"/> Low Flow Water Treatment
<input checked="" type="checkbox"/> Field Staking By Engineer	<input type="checkbox"/> As-built Installer	

- 1) House, septic system, driveway, and well to be field staked by surveyor. THERE IS NO ROOM FOR ERROR OR MODIFICATIONS.
- 2) Benchmark to be set by surveyor prior to construction.
- 3) No cuts into grade within 50' down gradient of the leach field.
- 4) Design engineer to verify NON -free draining material installed in utility trenches within 25' of the leach field, PRIOR to final cover.
- 5) System to be installed when soil moisture is low.

Approved By: _____

Director Of Health

Sanitarian

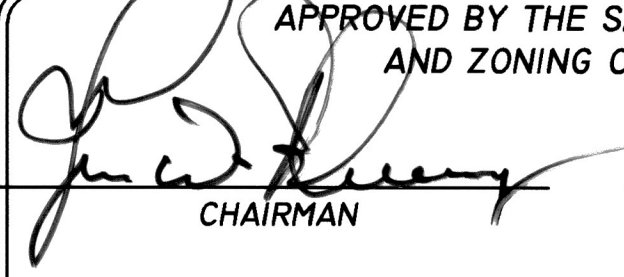
SHEET 1 OF 2
PROPOSED SUBDIVISION
MAP PREPARED FOR
JOHN EDMUND SPRAGUE
ELIZABETH DUNN SPRAGUE
#120 & #126 DUGWAY ROAD
"LIME ROCK"
SALISBURY, CONNECTICUT
SCALE 1" = 100' JULY 11, 2022
TOTAL AREA = 94.172± ACRES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES- "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. IT IS A PROPERTY BOUNDARY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.

PROPOSED DEDICATED OPEN SPACE NOTES

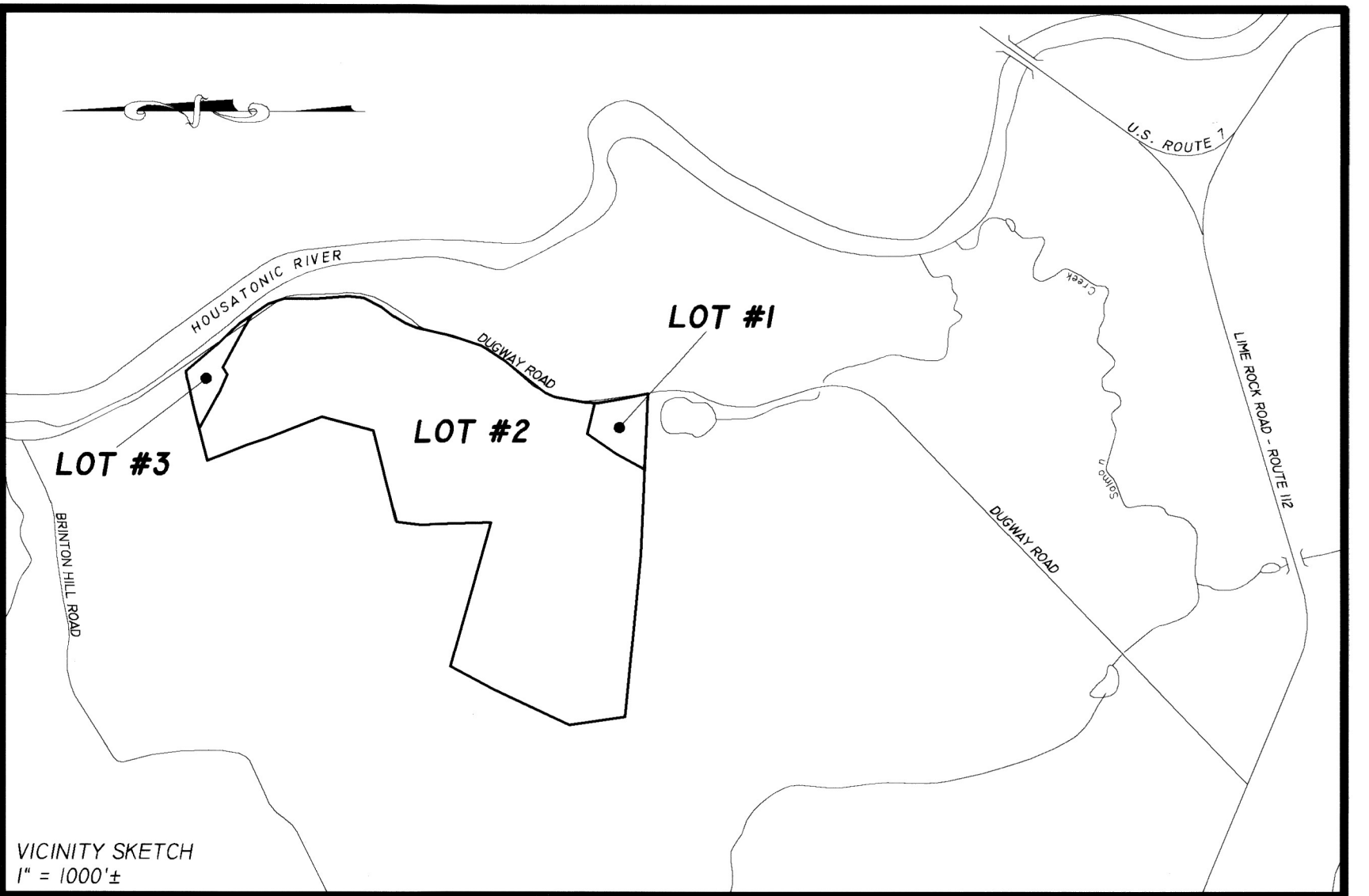
THAT PORTION OF THE PROPERTY SHOWN ON THE MAP REFERENCED AS "PROPOSED DEDICATED OPEN SPACE" SHALL, PURSUANT TO SECTION 5.3.2 E OF THE TOWN OF SALISBURY SUBDIVISION REGULATIONS, NOT BE GRADED, CLEARED OR IMPROVED IN ANY MANNER. THE OPEN SPACE SHALL NOT BE USED AT ANY TIME AS A REPOSITORY FOR BUILDING MATERIALS, STUMPS, BRUSH, EARTH, DEMOLITION MATERIALS OR OTHER DEBRIS. UNDER NO CIRCUMSTANCES ARE STRUCTURES (AS DEFINED IN THE SALISBURY ZONING REGULATIONS) TO BE ERECTED IN THE DEDICATED OPEN SPACE. THIS AREA IS TO BE LEFT IN ITS NATURAL STATE INCLUDING LEAVES, LOGS AND OTHER NATURALLY OCCURRING DETRITUS. IF TREES ARE REMOVED OR DESTROYED BY DISEASE OR STORMS, THE STUMPS SHOULD REMAIN TO STABILIZE THE SOIL, WITH PRIOR PERMISSION FROM THE TOWN SUPPLEMENTAL PLANTING OF NATIVE TREES, SHRUBS, AND HERBACEOUS PLANTS IS PERMITTED TO REPLACE THOSE THAT HAVE DIED OF NATURAL CAUSES. THIS RESTRICTION RUNS WITH THE LAND, IRRESPECTIVE OF OWNERSHIP.

THE TOWN OF SALISBURY RESERVES THE RIGHT, WITH NO LESS THAN ONE WEEK'S NOTICE TO LANDOWNER(S), TO MONITOR COMPLIANCE OF THE RESTRICTIONS ON DEDICATED OPEN SPACE ANNUALLY. IF THE RESTRICTIONS HAVE NOT BEEN ABIDED BY, THE TOWN WILL ISSUE A NOTICE OF POTENTIAL VIOLATION AND REQUEST THAT THE LAND OWNER(S) PRESENT A PLAN TO CORRECT/RESTORE THE VIOLATION(S). THE TOWN RESERVES ALL RIGHTS TO PURSUE THE RESTORATION OF THE DEDICATED OPEN SPACE, INCLUDING BRINGING LEGAL ACTION AGAINST THE LANDOWNER(S).

APPROVED BY THE SALISBURY PLANNING
 AND ZONING COMMISSION:

 CHAIRMAN August 28 2022
 DATE
 SECRETARY DATE

THIS MAP PRODUCED BY ORIGINAL INK DRAWING ON POLY FILM OR LINEN LAMB-KIEFER LAND SURVEYORS

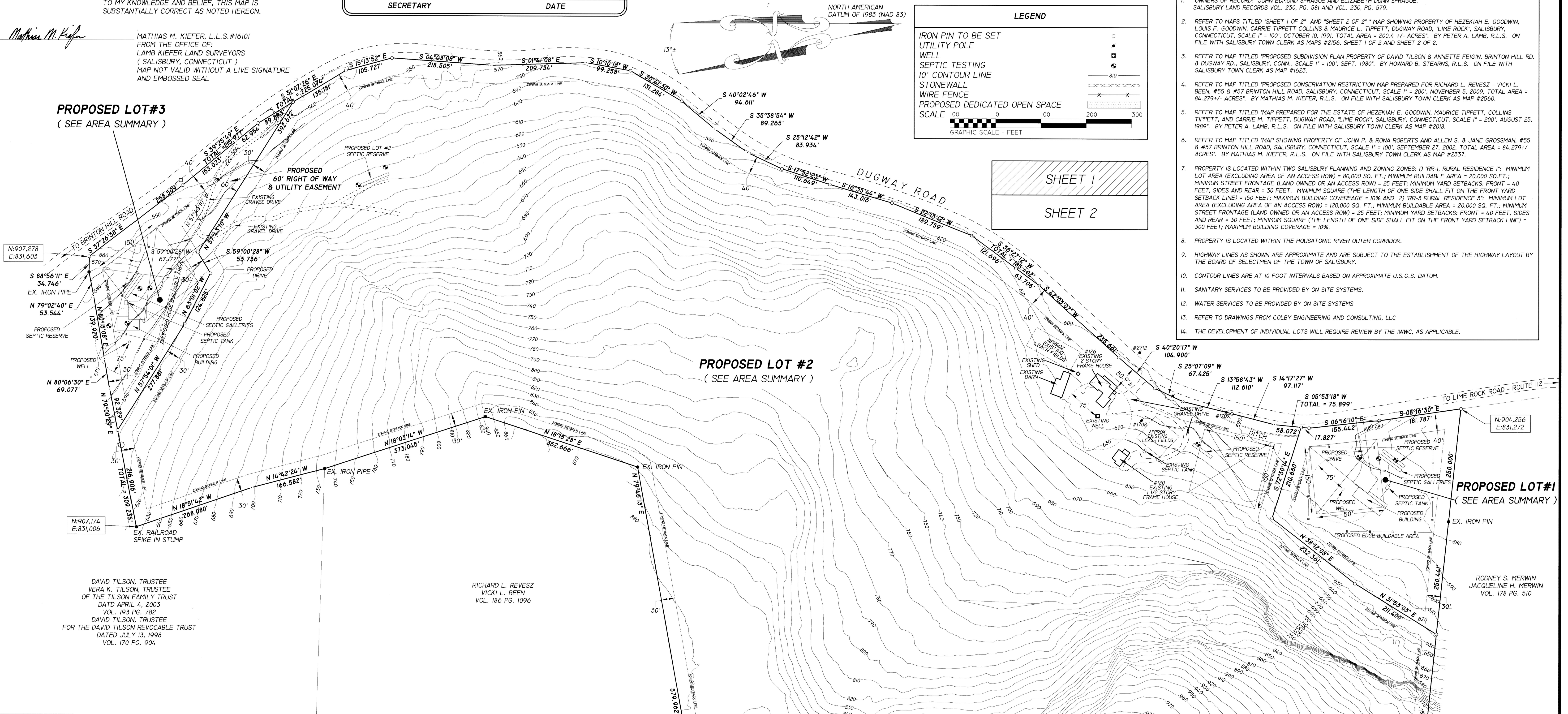
AREA SUMMARY PROPOSED LOT #1		
TOTAL AREA (UNRESTRICTED) =	3.04± ACRES	132,489 S.F
AREA SUMMARY PROPOSED LOT #2		
PROPOSED AREA OF DEDICATED OPEN SPACE =	18.383± ACRES	800,783 S.F
PROPOSED UNRESTRICTED AREA =	70.743± ACRES	3,069,788 S.F
TOTAL AREA =	88.856± ACRES	3,870,571 S.F
AREA SUMMARY PROPOSED LOT #3		
PROPOSED 60' R.O.W. & UTILITY EASEMENT =	0.433± ACRES	18,858 S.F
PROPOSED UNRESTRICTED AREA =	1.842± ACRES	80,226 S.F
TOTAL AREA =	2.275± ACRES	99,084 S.F



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Mathias M. Kiefer
 MATHIAS M. KIEFER, L.L.S.#16101
 FROM THE OFFICE OF:
 LAMB KIEFER LAND SURVEYORS
 (SALISBURY, CONNECTICUT)
 MAP NOT VALID WITHOUT A LIVE SIGNATURE
 AND EMBOSSED SEAL

PROPOSED LOT #3
(SEE AREA SUMMARY)



LEGEND

- IRON PIN TO BE SET ○
- UTILITY POLE ●
- WELL □
- SEPTIC TESTING □
- 10' CONTOUR LINE ———
- STONEWALL ———
- WIRE FENCE ———
- PROPOSED DEDICATED OPEN SPACE [Hatched Box]

SCALE 100 0 100 200 300
GRAPHIC SCALE - FEET

SHEET 1
 SHEET 2

- NOTES**
- OWNERS OF RECORD: JOHN EDMUND SPRAGUE AND ELIZABETH DUNN SPRAGUE. SALISBURY LAND RECORDS VOL. 230, PG. 581 AND VOL. 230, PG. 579.
 - REFER TO MAPS TITLED "SHEET 1 OF 2" AND "SHEET 2 OF 2" MAP SHOWING PROPERTY OF HEZEKIAH E. GOODWIN, LOUIS F. GOODWIN, CARRIE TIPPETT COLLINS & MAURICE L. TIPPETT, DUGWAY ROAD, "LIME ROCK", SALISBURY, CONNECTICUT, SCALE 1" = 100', OCTOBER 10, 1991, TOTAL AREA = 200.4 +/- ACRES. BY PETER A. LAMB, R.L.S. ON FILE WITH SALISBURY TOWN CLERK AS MAP #2156, SHEET 1 OF 2 AND SHEET 2 OF 2.
 - REFER TO MAP TITLED "PROPOSED SUBDIVISION PLAN PROPERTY OF DAVID TILSON & ANNETTE FEIGIN, BRINTON HILL RD. & DUGWAY RD., SALISBURY, CONN., SCALE 1" = 100', SEPT. 1980". BY HOWARD B. STEARNS, R.L.S. ON FILE WITH SALISBURY TOWN CLERK AS MAP #1623.
 - REFER TO MAP TITLED "PROPOSED CONSERVATION RESTRICTION MAP PREPARED FOR RICHARD L. REVESZ - VICKI L. BEEN, #55 & #57 BRINTON HILL ROAD, SALISBURY, CONNECTICUT, SCALE 1" = 200', NOVEMBER 5, 2009, TOTAL AREA = 84.279 +/- ACRES". BY MATHIAS M. KIEFER, R.L.S. ON FILE WITH SALISBURY TOWN CLERK AS MAP #2560.
 - REFER TO MAP TITLED "MAP PREPARED FOR THE ESTATE OF HEZEKIAH E. GOODWIN, MAURICE TIPPETT, COLLINS TIPPETT, AND CARRIE M. TIPPETT, DUGWAY ROAD, "LIME ROCK", SALISBURY, CONNECTICUT, SCALE 1" = 200', AUGUST 25, 1989". BY PETER A. LAMB, R.L.S. ON FILE WITH SALISBURY TOWN CLERK AS MAP #2018.
 - REFER TO MAP TITLED "MAP SHOWING PROPERTY OF JOHN P. & ROMA ROBERTS AND ALLEN S. & JANE GROSSMAN, #55 & #57 BRINTON HILL ROAD, SALISBURY, CONNECTICUT, SCALE 1" = 100', SEPTEMBER 27, 2002, TOTAL AREA = 84.279 +/- ACRES". BY MATHIAS M. KIEFER, R.L.S. ON FILE WITH SALISBURY TOWN CLERK AS MAP #2337.
 - PROPERTY IS LOCATED WITHIN TWO SALISBURY PLANNING AND ZONING ZONES: 1) TR-1, RURAL RESIDENCE 1'; MINIMUM LOT AREA (EXCLUDING AREA OF AN ACCESS ROW) = 80,000 SQ. FT.; MINIMUM BUILDABLE AREA = 20,000 SQ. FT.; MINIMUM STREET FRONTAGE (LAND OWNED OR AN ACCESS ROW) = 25 FEET; MINIMUM YARD SETBACKS: FRONT = 40 FEET, SIDES AND REAR = 30 FEET. MINIMUM SQUARE (THE LENGTH OF ONE SIDE SHALL FIT ON THE FRONT YARD SETBACK LINE) = 150 FEET; MAXIMUM BUILDING COVERAGE = 10% AND 2) TR-3 RURAL RESIDENCE 3'; MINIMUM LOT AREA (EXCLUDING AREA OF AN ACCESS ROW) = 120,000 SQ. FT.; MINIMUM BUILDABLE AREA = 20,000 SQ. FT.; MINIMUM STREET FRONTAGE (LAND OWNED OR AN ACCESS ROW) = 25 FEET; MINIMUM YARD SETBACKS: FRONT = 40 FEET, SIDES AND REAR = 30 FEET; MINIMUM SQUARE (THE LENGTH OF ONE SIDE SHALL FIT ON THE FRONT YARD SETBACK LINE) = 300 FEET; MAXIMUM BUILDING COVERAGE = 10%.
 - PROPERTY IS LOCATED WITHIN THE HOUSATONIC RIVER OUTER CORRIDOR.
 - HIGHWAY LINES AS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO THE ESTABLISHMENT OF THE HIGHWAY LAYOUT BY THE BOARD OF SELECTMEN OF THE TOWN OF SALISBURY.
 - CONTOUR LINES ARE AT 10 FOOT INTERVALS BASED ON APPROXIMATE U.S.G.S. DATUM.
 - SANITARY SERVICES TO BE PROVIDED BY ON SITE SYSTEMS.
 - WATER SERVICES TO BE PROVIDED BY ON SITE SYSTEMS.
 - REFER TO DRAWINGS FROM COLBY ENGINEERING AND CONSULTING, LLC.
 - THE DEVELOPMENT OF INDIVIDUAL LOTS WILL REQUIRE REVIEW BY THE IWVC, AS APPLICABLE.

DAVID TILSON, TRUSTEE
 VERA K. TILSON, TRUSTEE
 OF THE TILSON FAMILY TRUST
 DATED APRIL 4, 2003
 VOL. 193 PG. 782
 DAVID TILSON, TRUSTEE
 FOR THE DAVID TILSON REVOCABLE TRUST
 DATED JULY 13, 1998
 VOL. 170 PG. 904

RICHARD L. REVESZ
 VICKI L. BEEN
 VOL. 186 PG. 1096

RODNEY S. MERWIN
 JACQUELINE H. MERWIN
 VOL. 178 PG. 510

TEST PIT #5

TESTING DATE: 05/26/21
 PIT DEPTH: 76"
 LOCATION: NORTH LOT - NORTH

DEPTH	SOIL DESCRIPTION
0-8"	TOPSOIL
8-36"	ORANGE BROWN SILTY LOAM
36-76"	BROWN SILTY LOAM

NOTES:
 ROOTS = TO 36" MOTTLING = NONE
 LEDGE = NONE WATER = NONE

TEST PIT #6

TESTING DATE: 05/26/21
 PIT DEPTH: 76"
 LOCATION: NORTH LOT - UPHILL AND SOUTH OF T.P.#5

DEPTH	SOIL DESCRIPTION
0-4"	TOPSOIL
4-34"	ORANGE BROWN SILTY LOAM
34-76"	BROWN SILTY LOAM

NOTES:
 ROOTS = NONE MOTTLING = NONE
 LEDGE = NONE WATER = NONE

TEST PIT #7

TESTING DATE: 05/26/21
 PIT DEPTH: 76"
 LOCATION: NORTH LOT - UPHILL AND SOUTH OF T.P.#6

DEPTH	SOIL DESCRIPTION
0-5"	TOPSOIL
5-39"	ORANGE BROWN SILTY LOAM
39-75"	BROWN SILTY LOAM

NOTES:
 ROOTS = NONE MOTTLING = AT 39"
 LEDGE = NONE WATER = NONE

TEST PIT #8

TESTING DATE: 05/26/21
 PIT DEPTH: 71"
 LOCATION: NORTH LOT - UPHILL OF T.P.#5

DEPTH	SOIL DESCRIPTION
0-7"	TOPSOIL
7-36"	ORANGE BROWN SILTY LOAM
36-71"	BROWN SILTY LOAM

NOTES:
 ROOTS = TO 36" MOTTLING = AT 36"
 LEDGE = NONE WATER = NONE

PERCOLATION TEST #3 PROPOSED LOT #3

TESTING DATE: 05/28/21
 PIT DEPTH: 30"
 PRESOAK: 30 MINUTES DRY

TIME	DEPTH	RATE/MINUTE
0	6.75"	-
10	9"	4.4
20	11"	5
30	13"	5
40	14.5"	6.7
50	15.875"	7.3
60	17"	8.9
REFILL		
0	7"	-
10	8.5"	6.7
20	10.375"	5.3
30	11.875"	6.7

USE 0-10.1 MIN/INCH

ENGINEERING NOTES

- BOUNDARY & TOPOGRAPHIC INFORMATION BASED ON SITE SURVEY PLAN COMPLETED BY LAMB KIEFER LAND SURVEYORS. A FIELD BENCHMARK MUST BE PROVIDED PRIOR TO CONSTRUCTION. ELEVATIONS TO BE FIELD VERIFIED PRIOR TO INITIATING CONSTRUCTION.
- THE INSTALLATION CONTRACTOR MUST HAVE A VALID SUBSURFACE SEWAGE INSTALLERS LICENSE ISSUED BY THE STATE OF CONNECTICUT.
- LEACHING TRENCH MUST BE STAKED BY A LICENSED SURVEYOR PRIOR TO INITIATING CONSTRUCTION.
- LEACHING TRENCHES MUST REMAIN 18" ABOVE THE RESTRICTIVE LAYER, WHICH WAS DETERMINED TO BE APPROXIMATELY 36" BELOW GRADE. SELECT SAND SHOULD BE UTILIZED AS NECESSARY TO ENSURE AFOREMENTIONED 18" SEPARATION DISTANCE.
- AREA OF PROPOSED SEPTIC SHOULD REMAIN UNDISTURBED PRIOR TO INITIATING CONSTRUCTION OF LEACHING FIELDS.
- SELECT SAND FILL MUST MEET T&H APPROVAL.
- SCARIFY SUBSOIL PRIOR TO PLACEMENT OF SELECT SAND. DO NOT OPERATE WHEELED EQUIPMENT ON SCARIFIED SOIL. THE LOCAL HEALTH DISTRICT SHALL INSPECT SCARIFICATION PRIOR TO PLACEMENT OF SELECT SAND FILL.
- ALL SELECT SAND SHOULD BE PUT IN PLACE BY A TRACKED MACHINE & COMPACTED EVERY FOOT.
- ENGINEER TO OBTAIN ON-SITE SAMPLE OF SEPTIC SAND AND COMPLETE A SIEVE ANALYSIS TO DEMONSTRATE COMPLIANCE WITH HEALTH DEPARTMENT REQUIREMENTS. ENGINEER TO COMPLETE PERCOLATION TEST IN SAND PAD AND COMPLETE AN AS-BUILT OF SEPTIC SYSTEM.
- COVER LEACHING SYSTEM WITH 6" TOPSOIL & GRADE TO PROMOTE DRAINAGE.
- TO THE BEST OF THE ENGINEER'S KNOWLEDGE, NO KNOWN WELLS EXIST WITHIN 75' OF PROPOSED LEACHING SYSTEM. BUILDING WILL BE SERVED BY A PRIVATE WELL GREATER THAN 75' FROM THE PROPOSED SEPTIC TANK & LEACHFIELD.
- UTILIZE SILT FENCE/HAYBALES AS NEEDED TO PREVENT SEDIMENT RUNOFF DURING ALL PHASES OF CONSTRUCTION.
- NOTIFY THE LOCAL HEALTH DISTRICT PRIOR TO INITIATING CONSTRUCTION.
- NOTIFY ENGINEER (860-601-1839) OF ANY CHANGES OR CONDITIONS WHICH AFFECT THE INSTALLATION AS SHOWN ON THIS PLAN.

DESIGN CALCULATIONS PROPOSED LOT #3

DESIGN BASIS	4 BEDROOM
FLOW FACTOR	1.75
PERCOLATION RATE	0-10 MIN/INCH
PERCOLATION FACTOR	1
DEPTH TO RESTRICTIVE LAYER	36"
SLOPE	1/2% = 1.36%
HYDRAULIC FACTOR	20
MLSS REQUIRED	1.75 x 1.0 x 20 = 36'
MLSS PROVIDED	60'
LEACHING AREA REQUIRED	495 SF + 82.5 SF = 577.5 SF
LEACHING AREA PROVIDED	600 SF
USE	60' GEOMATRIX 6212

SELECT SAND FILL REQUIREMENTS

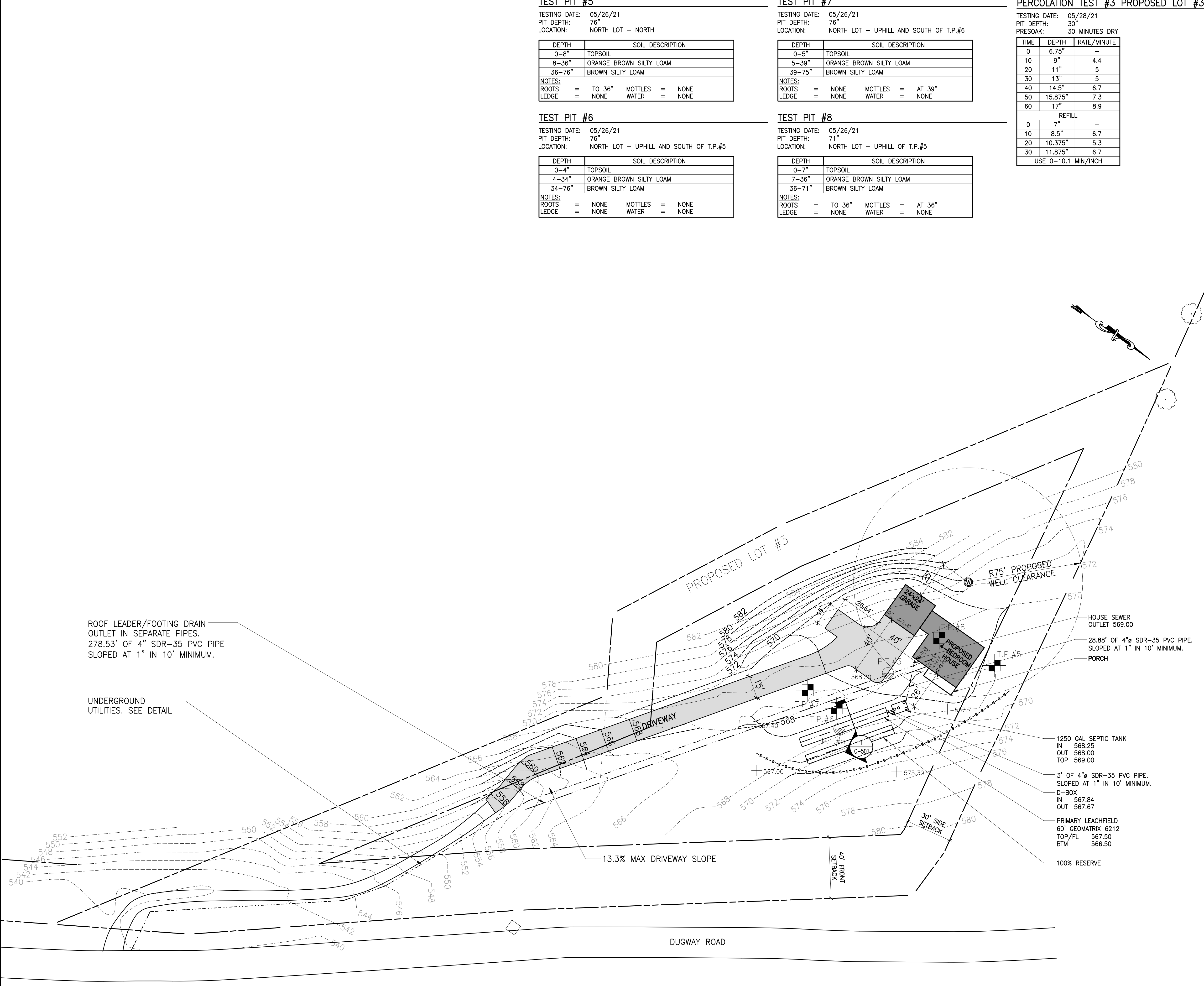
SIEVE	% PASSING
#4	100%
#10	70-100%
#40	10-50%
#100	0-20%
#200	0-5%

ASTM C33 REQUIREMENTS

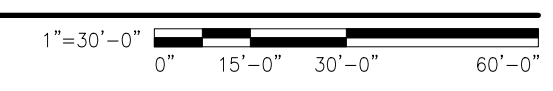
SIEVE	% PASSING
3/8"	100%
#4	95-100%
#8	80-100%
#16	50-85%
#30	25-60%
#50	5-30%
#100	0-10%
#200	0-3%

SYMBOLS LEGEND

- BOUNDARY LINE
- SETBACK LINE
- WETLAND LINE
- EASEMENT LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- - - - - SILT FENCE
- UTILITY LINE
- SEWER LINE
- STORMWATER LINE
- TREELINE
- FENCE
- ROCKWALL
- ⊙ WELL
- ⊙ PERCOLATION TEST
- ⊙ TEST PIT
- FF FINISHED FLOOR
- TOF TOP OF FOUNDATION
- BF BASEMENT FLOOR



7 SITE PLAN FOR PROPOSED LOT #3 & EXISTING HOUSE RESERVE



**Colby Engineering
 And Consulting, LLC**

CEC

4 BRYNMOOR COURT
 GOSHEN, CONNECTICUT 06756

(860) 491-9664

DES'D BY : WGC
 APP'D BY : WGC
 DRAWN BY : JMM
 SCALE : AS-NOTED
 DATE : 10-10-24
 REVISION DATE :

SEAL

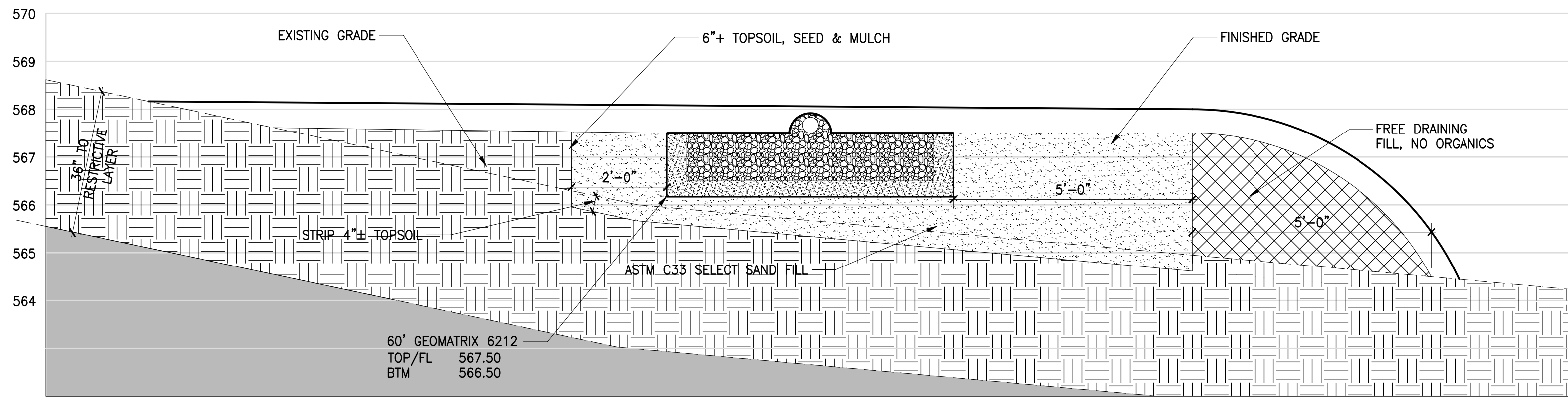
VALID WITH RED SEAL ONLY

WILLIAM G. COLBY

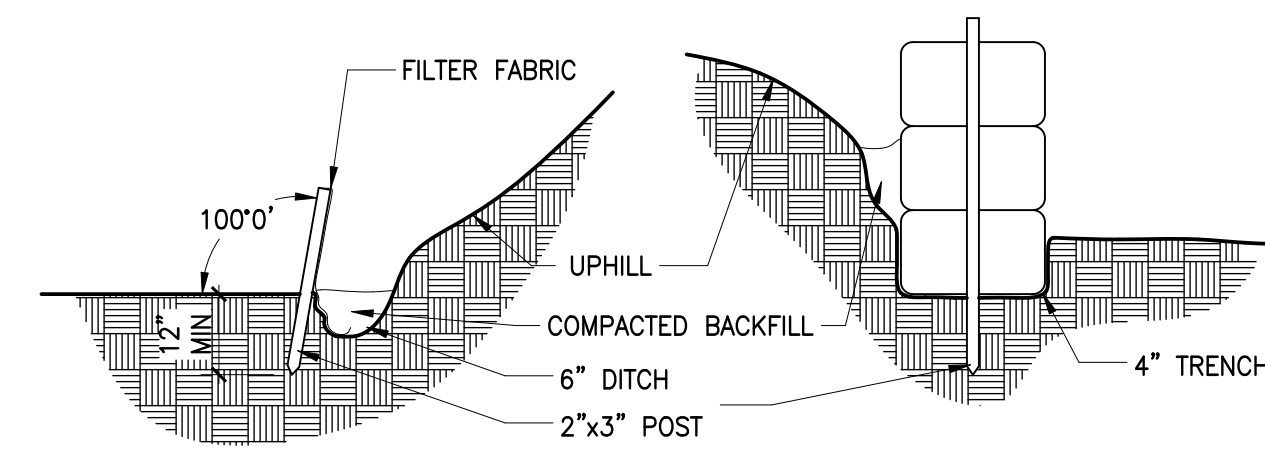
**SITE DEVELOPMENT/SEPTIC PLAN
 PROPERTY OF JASON LEMON
 160 DUGWAY ROAD
 SALISBURY, CONNECTICUT**

24069

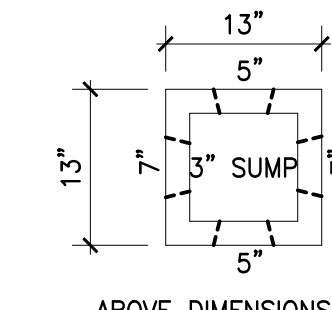
CS-101



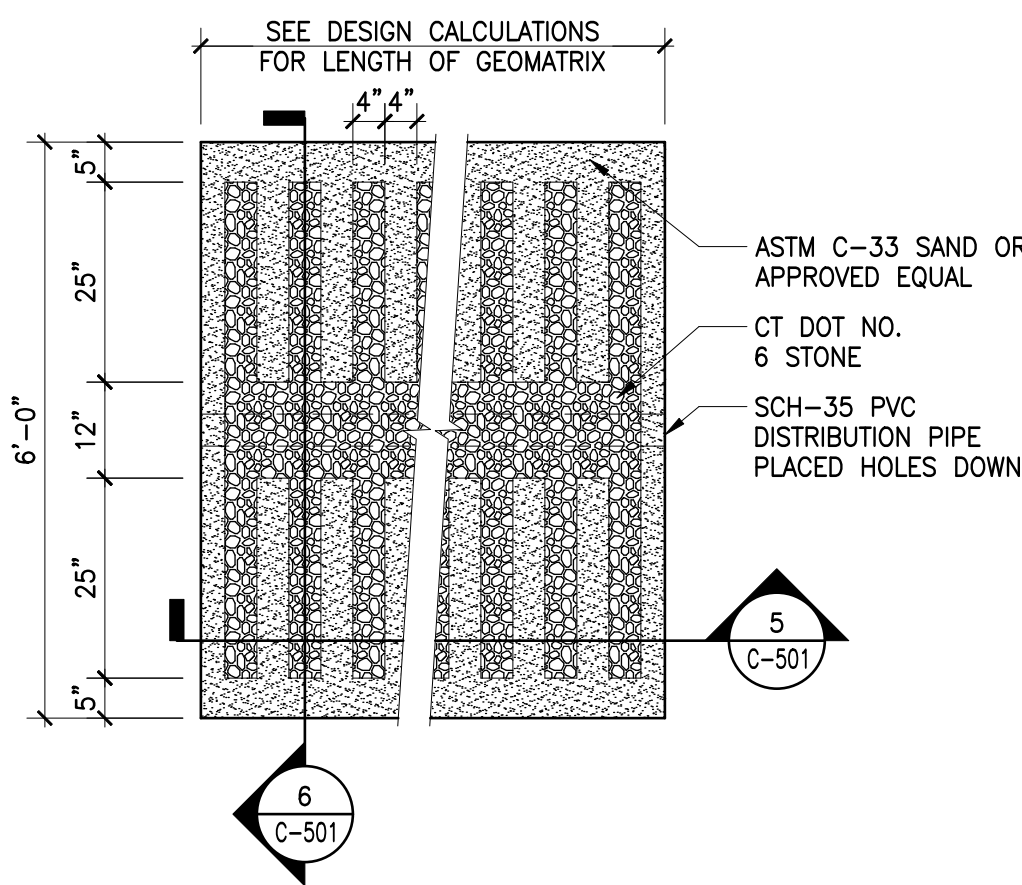
1 SYSTEM PROFILE SECTION



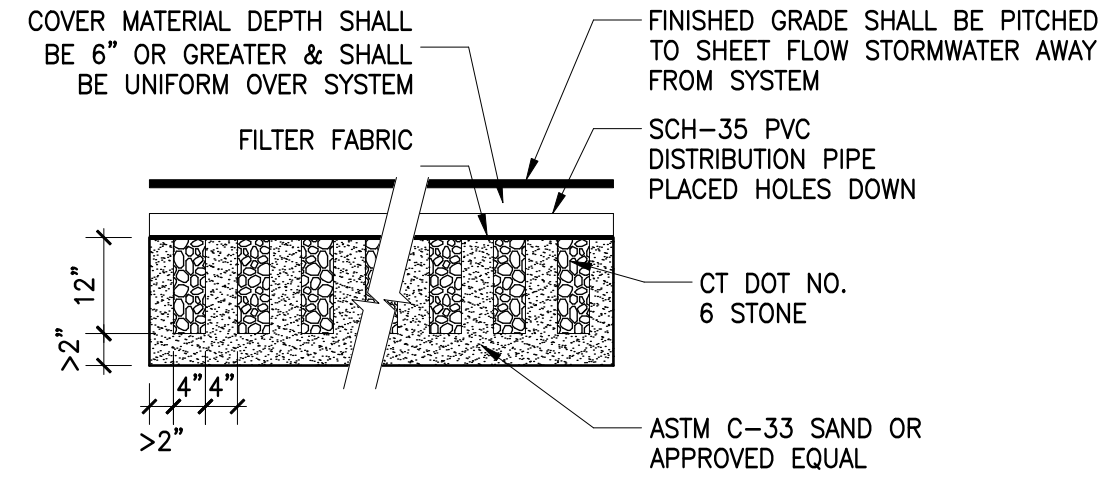
2 SOIL EROSION CONTROL PROVISIONS



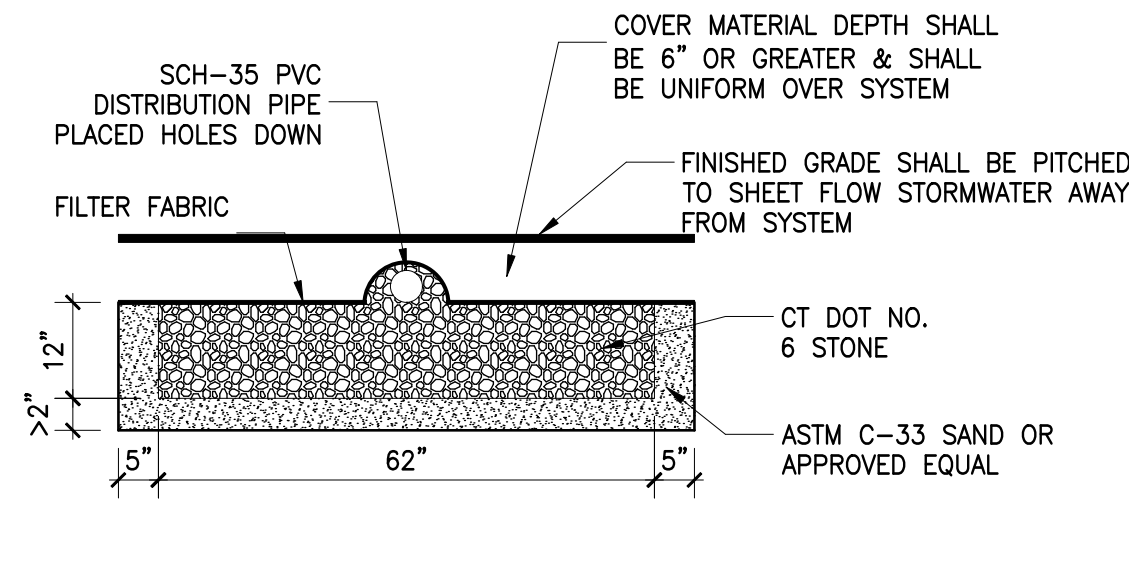
3 HIGH OVERFLOW D-BOX DETAIL



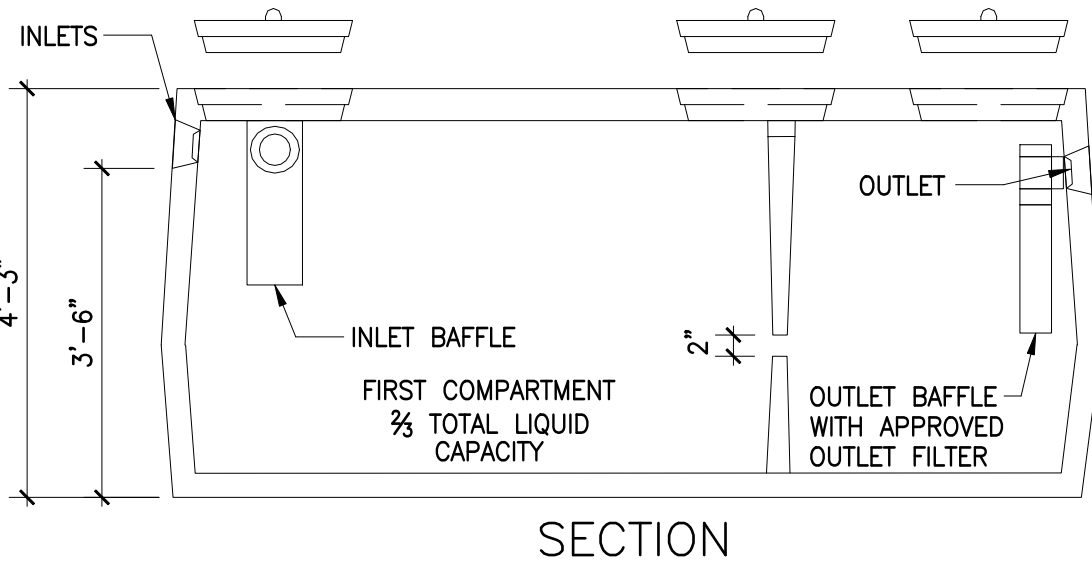
4 GEOMATRIX 6212 PLAN DETAIL



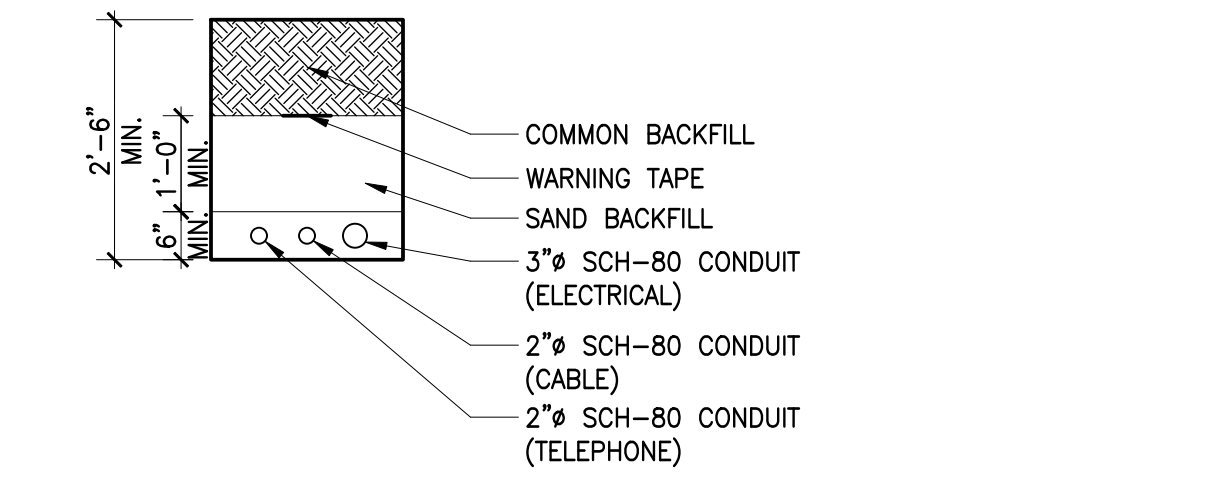
5 GEOMATRIX 6212 CROSS SECTION DETAIL



6 GEOMATRIX 6212 SECTION DETAIL



7 RICHARDS 1250 GAL LO-BOY SEPTIC TANK DETAIL



8 TELEPHONE, CABLE & ELECTRIC TRENCH DETAIL

Colby Engineering
And Consulting, LLC
4 BRYNMOOR COURT
GOSHEN, CONNECTICUT 06756
CEC
(860) 491-9664

DES'D BY : WGC	SEAL
APP'D BY : WGC	
DRAWN BY : JMM	
SCALE : AS-NOTED	
DATE : 10-10-24	
REVISION DATE :	

SITE TESTING & DETAILS IN SUPPORT OF
SUBDIVISION APPROVAL
PROPERTY OF JOHN & BETSY SPRAGUE
126 DUGWAY ROAD
SALISBURY, CONNECTICUT

PROJECT #
24069
SHEET #
C-501

Proposed Residence & Garage For 160 DUGWAY ROAD

Salisbury, CT 06068

by



KIRBY A. JUDSON
Drafting and Design

Sherman, CT 06784
845-233-8935

LEMON
BUILDING COMPANY

860.480.4756

NOTES

1. EVERY EFFORT HAS BEEN MADE TO PROVIDE A DESIGN THAT FACILITATES BUILDING PROCESS AND CONSTRUCTION METHODS. HOWEVER, MEANS AND METHODS REMAIN THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING CONSTRUCTION SEQUENCING, SHORING, AND TEMPORARY CONDITIONS.
2. ALL NEW CONSTRUCTION, CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION NOT SPECIFICALLY ADDRESSED IN THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH ALL PERTINENT STATE AND LOCAL CODES.
3. THE BUILDER IS REQUIRED TO NOTIFY AND APPLY TO VARIOUS REGULATORY AGENCIES FOR THE ISSUANCE OF ALL PERMITS REQUIRED FOR CONSTRUCTION. THE BUILDER SHALL ARRANGE FOR ALL INSPECTIONS OF WORK IN PROGRESS AS REQUIRED AND PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY.

AREA SUMMARY

RESIDENCE FOOTPRINT: 1,078 Sq.Ft.
GARAGE FOOTPRINT: 576 Sq.Ft.
COVERED PORCH: 154 Sq.Ft.
(From Outside F.O. Framing)

UNFINISHED BASEMENT: 975 Sq.Ft.

LIVING AREA:
FIRST FLOOR: 1,020 Sq.Ft.
SECOND FLOOR: 825 Sq.Ft.
TOTAL: 1,845 Sq.Ft.
(From Inside F.O. Framing)



PROPERTY INFORMATION

Parcel ID	103084
Total Acres	2.28
Land Use	EXCESS AC MDL-00
Use Code	1-2
Zoning	RR1
Neighborhood	8

Drawing Index		Date
A	Title Sheet	20 February 2025
A-1.0	Foundation Plan	20 February 2025
A-1.1	First Floor Plan	20 February 2025
A-1.2	Second Floor Plan	20 February 2025
A-2.0	Elevations	20 February 2025
A-3.0	Sections	20 February 2025
A-3.1	Sections	20 February 2025

FOUNDATION NOTES AND SPECIFICATIONS:

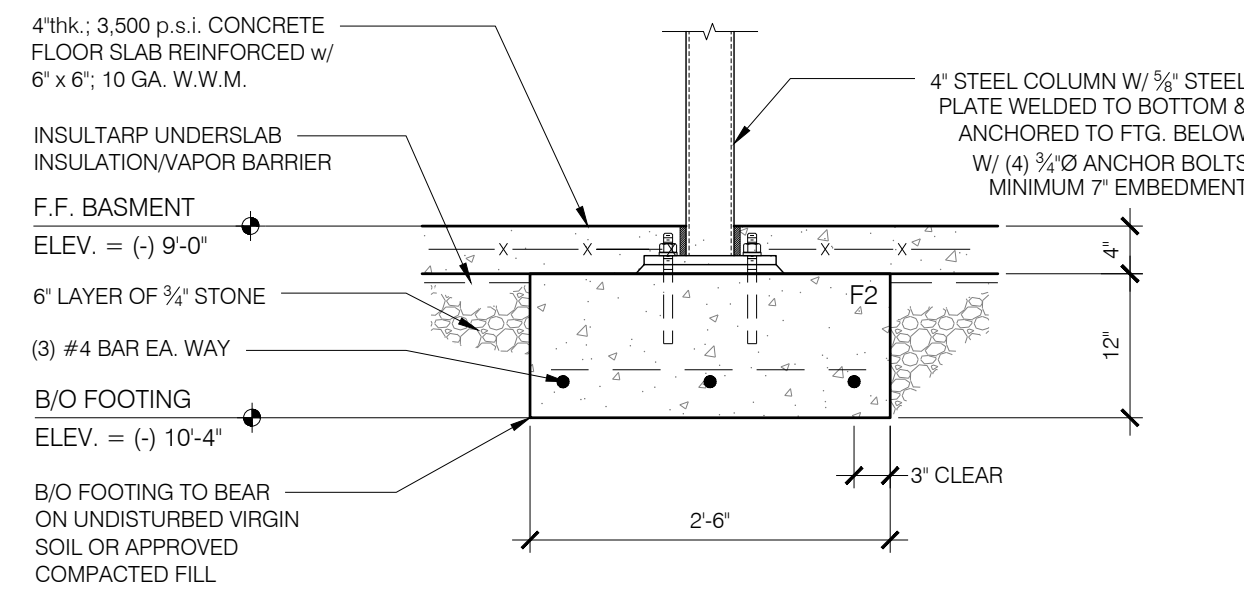
1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOILS OR APPROVED COMPACTED FILL. AT A MINIMUM OF 4'-0" BELOW FINISHED GRADE.
2. PLACE REINFORCING BARS AT CORNERS AND INTERSECTIONS FOR FOUNDATIONS. BARS AT CORNERS AND INTERSECTIONS SHALL BE EQUAL IN SIZE, NUMBER AND SPACING TO HORIZONTAL REINFORCING.
3. SUB-GRADE REQUIREMENTS, UNDERSLAB VAPOR BARRIER AND PERIMETER FOUNDATION DRAINAGE SHALL BE PROVIDED. WATERPROOF MEMBRANE AND RIGID FOAM INSULATION APPLIED TO PERIMETER FOUNDATION WALLS AND FOOTINGS.
4. CONTRACTOR TO LAYOUT & PROVIDE SLAB CONTROL JOINTS TO MINIMIZE CRACKING IN ALL C.I.P. CONCRETE SLABS.
5. CONTRACTOR TO LAYOUT & PROVIDE SLEEVES IN FOUNDATION WALLS FOR ALL NECESSARY UTILITIES.

FLOOR AREA CALCULATIONS:

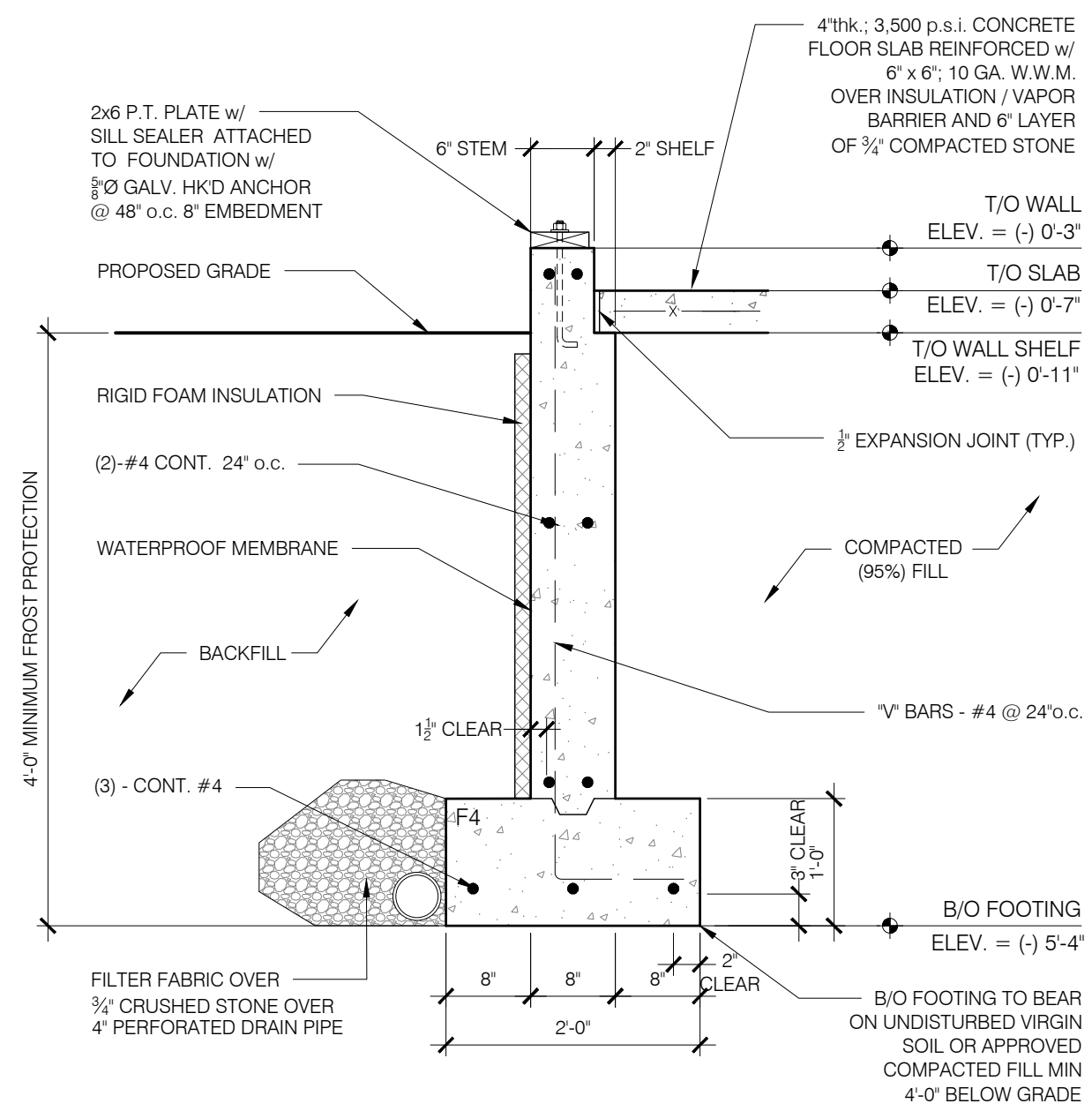
UNFINISHED BASMENT: 975 SqFt

FOOTING SCHEDULE

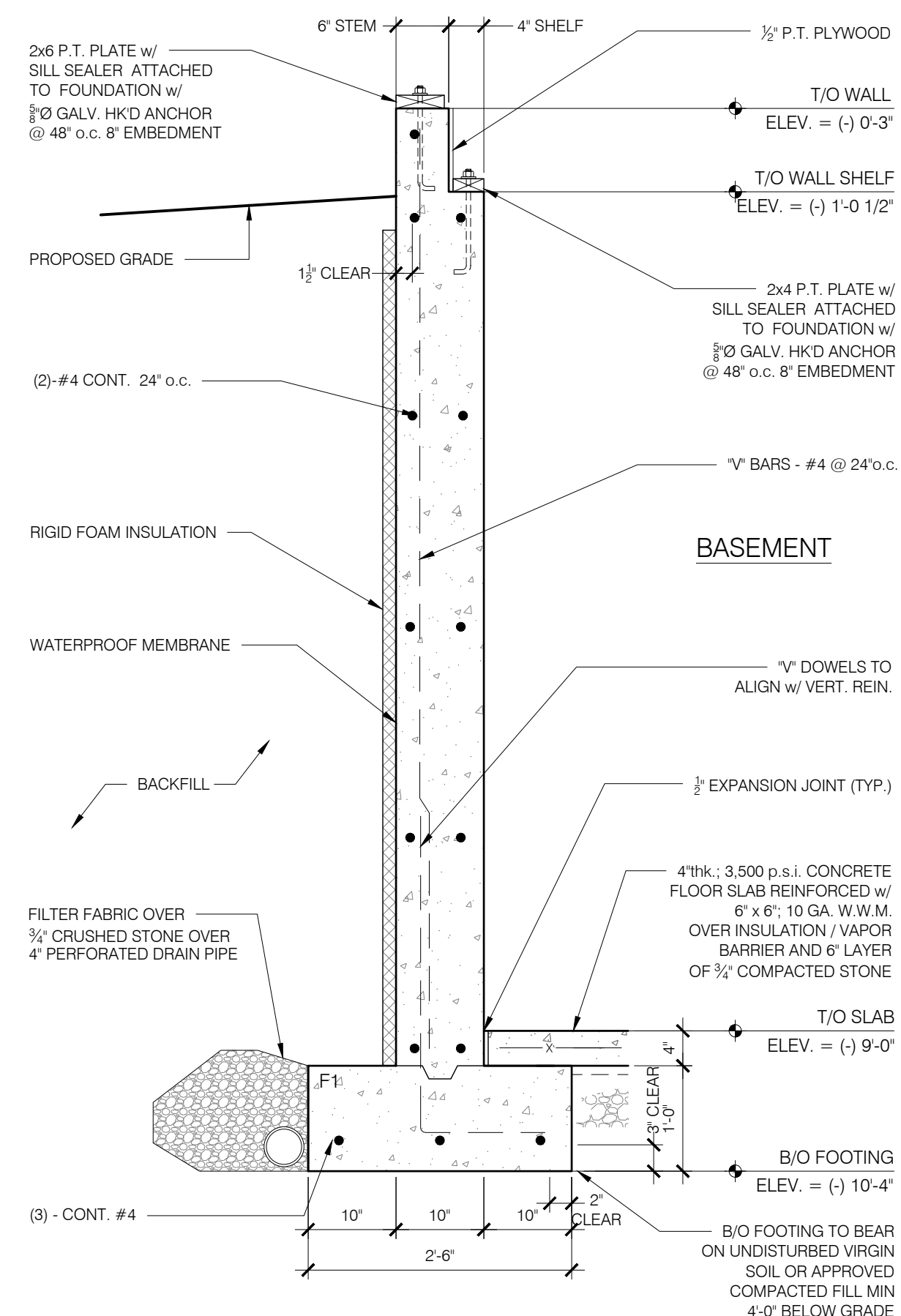
NO.	REMARKS
F1	2'-6" WIDE, 12" THK; CONTINUOUS C.I.P. CONCRETE FOOTING REINFORCED W/ (3) CONTINUOUS #4 HORIZ. BAR AND #4 VERT. BARS SET AT 24" o.c.
F2	2'-6" x 2'-6", 12" THK; C.I.P. CONCRETE FOOTING REINFORCED W/ (4) #4 HORIZONTAL BAR EACH WAY
F3	12"Ø SONOTUBE PIER OR SIMILAR C.I.P. CONCRETE FOOTING
F4	2'-0" WIDE, 12" THK; CONTINUOUS C.I.P. CONCRETE FOOTING REINFORCED W/ (3) CONTINUOUS #4 HORIZ. BAR AND #4 VERT. BARS SET AT 24" o.c.



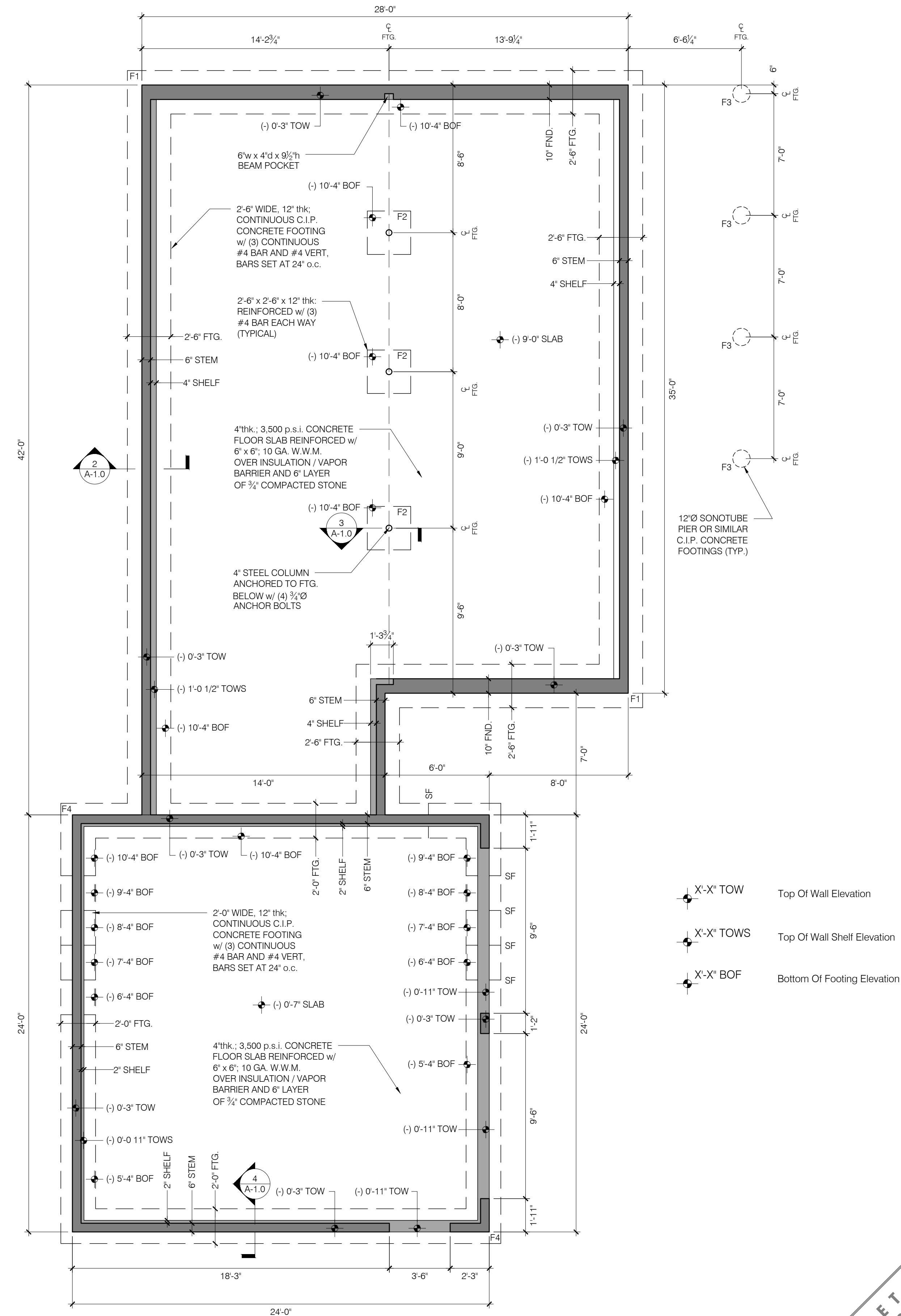
3 SECTION AT FOOTING 2
SCALE: 3/4" = 1'-0"



4 FOUNDATION WALL SECTION
SCALE: 3/4" = 1'-0"



2 FOUNDATION WALL SECTION
SCALE: 3/4" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PERMIT SET
NOT FOR CONSTRUCTION

GENERAL NOTES AND SPECIFICATIONS:

- ALL IDEAS FOR IMPROVING THIS PROJECT ARE WELCOME DISCUSSION. BUILDER MUST CONTACT OWNER AND DESIGNERS OFFICE AND OBTAIN WRITTEN AGREEMENT PRIOR TO IMPLEMENTING OR PURCHASING FOR ANY CHANGE TO THE PLAN.
- ALL NEW CONSTRUCTION, CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION NOT SPECIFICALLY ADDRESSED IN THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH ALL PERTINENT STATE AND LOCAL CODES.
- THE BUILDER IS REQUIRED TO NOTIFY AND APPLY TO VARIOUS REGULATORY AGENCIES FOR THE ISSUANCE OF ALL PERMITS REQUIRED FOR CONSTRUCTION. THE BUILDER SHALL ARRANGE FOR ALL INSPECTIONS OF WORK IN PROGRESS AS REQUIRED AND PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY.
- THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY AND SAFE CONDITION BY THE CONTRACTOR.
- BUILDER AND ALL SUBCONTRACTORS MUST BE FULLY INSURED, INCLUDING WORKMEN'S COMPENSATION.
- ALL EQUIPMENT SHALL BE AS WARRANTED BY THE MANUFACTURER. COPIES OF THESE WARRANTIES SHALL BE PROVIDED TO THE OWNER.
- NOTE: USE NOTES AND DIMENSIONS SPECIFIED ON PLANS, SECTIONS, AND ELEVATIONS FOR CONSTRUCTION INFORMATION WHERE PROVIDED. DISCREPANCIES, OMISSIONS OR UNFORESEEN PROBLEMS DISCOVERED AT SITE SHALL BE REPORTED TO THE DESIGNER FOR IMMEDIATE CONSULTATION AND AMENDMENT.
- APPROVED EQUAL AS USED IN THESE DRAWINGS SHALL MEAN BY THE OWNER AND BUILDING INSPECTOR.
- CONTRACTOR TO BE RESPONSIBLE FOR THE USE OF SAFE WORKING PROCEDURES ON THE SITE, INCLUDING: EYE PROTECTION, ELECTRICAL GROUNDING, TEMPORARY STAIR AND RAILINGS, SAFETY ROPES FOR ROOF CONSTRUCTION, ETC.

HEADER SCHEDULE:

AS PER 2021 INTERNATIONAL RESIDENTIAL CODE TABLES:
EXTERIOR BEARING WALLS TABLE R602.7(1)

FLOOR AREA CALCULATIONS:

FIRST FLOOR : 1,078 SqFt
GARAGE: 576 SqFt
COVERED PORCH: 154 SqFt

WINDOW SCHEDULE - FIRST FLOOR

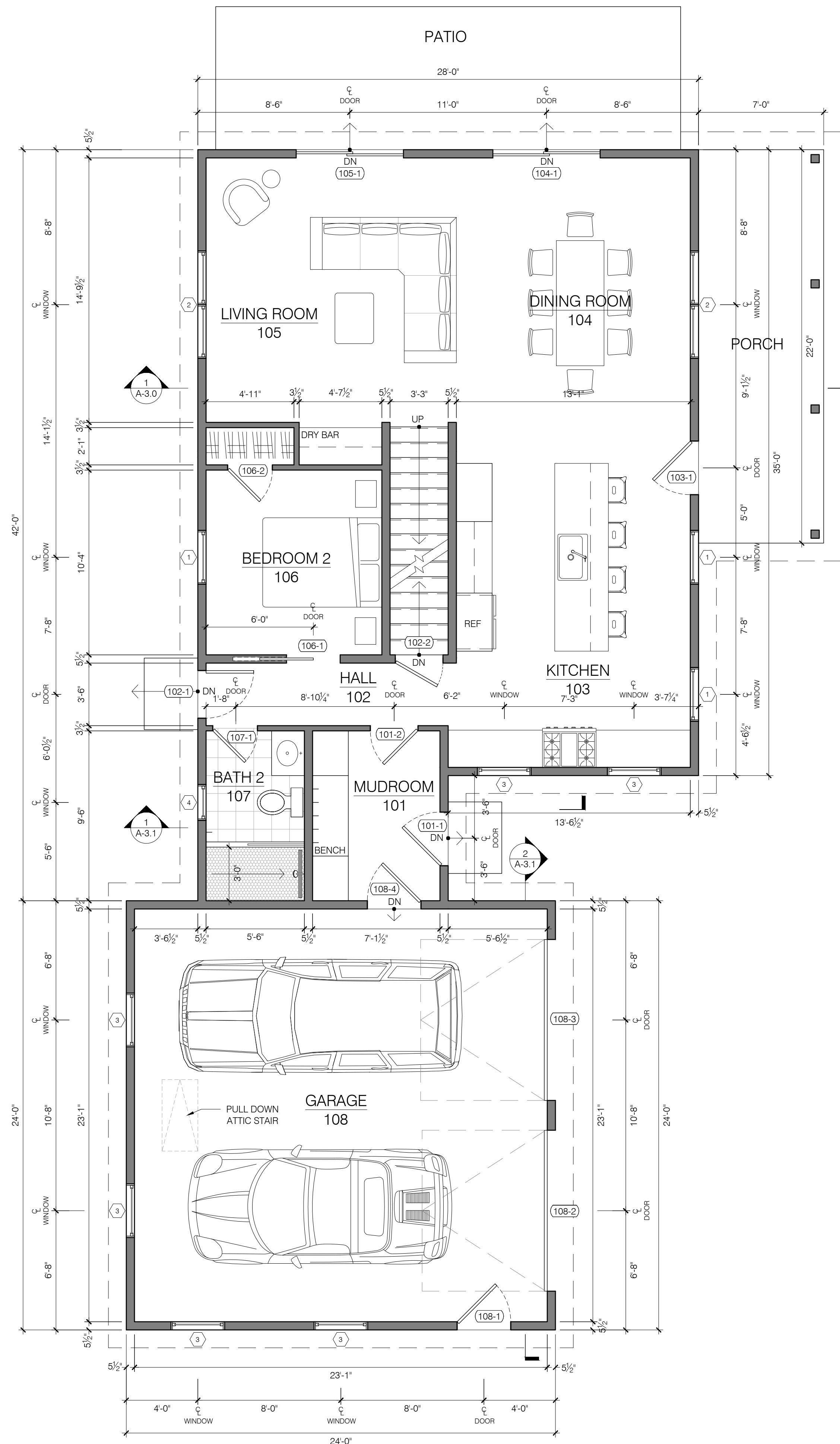
NO.	QTY.	TYPE	HEAD HGT.	LOCATION	APPROX SIZE	MODEL #	REMARKS
1	3	DH	7'-0"	KITCHEN / BED 2	3'-0" x 5'-0"	ELDH3660 E	PROVIDE SCREENS & GRILLES
2	2	CSMNT	7'-0"	DINING / LIVING	6'-0" x 5'-0"	ELDH3660 2W E	MULLED UNIT (2) WIDE - PROVIDE SCREENS & GRILLES
3	6	CSMNT	7'-0"	KITCH / GARAGE	3'-0" x 4'-0"	ELCA3747 E	PROVIDE SCREENS & GRILLES
5	1	AWN	7'-0"	BATH 2	2'-0" x 2'-4"	ELAWN2527	PROVIDE SCREENS & GRILLES

DOOR SCHEDULE - FIRST FLOOR

NO.	TYPE	LOCATION	SWING	APPROX SIZE	HARDWARE	REMARKS
101-1	EXTERIOR	MUDROOM	LH-IN	3'-0" x 7'-0"	KEYED	FULL LITE PRE-HUNG w/ ADJUSTABLE ALU. SILL
101-2	INTERIOR	MUDROOM	LH-IN	3'-0" x 7'-0"	PASSAGE	SOLID CORE - PROFILE CHOICE BY OWNER
102-1	EXTERIOR	HALL	LH-IN	3'-0" x 7'-0"	KEYED	FULL LITE PRE-HUNG w/ ADJUSTABLE ALU. SILL
102-2	INTERIOR	HALL	RH-IN	2'-8" x 7'-0"	PASSAGE	SOLID CORE - PROFILE CHOICE BY OWNER
103-1	EXTERIOR	KITCHEN	LH-IN	3'-0" x 7'-0"	KEYED	FULL LITE PRE-HUNG w/ ADJUSTABLE ALU. SILL
104-1	EXTERIOR	DINING RM.	RH	6'-0" x 7'-0"	LOCKING	FULL LITE SLIDING PATIO DOOR
105-1	EXTERIOR	LIVING RM.	LH	6'-0" x 7'-0"	LOCKING	FULL LITE SLIDING PATIO DOOR
106-1	POCKET	BEDROOM 2	LH	3'-0" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER
106-2	INTERIOR	BEDROOM 2	RH-IN	2'-6" x 7'-0"	PASSAGE	SOLID CORE - PROFILE CHOICE BY OWNER
107-1	INTERIOR	BATH 2	RH-IN	2'-6" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER
108-1	EXTERIOR	GARAGE	LH-IN	3'-0" x 7'-0"	KEYED	FULL LITE OVER 1 PANEL PRE-HUNG w/ ADJUSTABLE ALU. SILL
108-2	OVERHEAD	GARAGE	OH	9'-0" x 8'-0"	SLIDING LOCK	INSULATED POLYSYRENE - PROFILE CHOICE BY OWNER
108-3	OVERHEAD	GARAGE	OH	9'-0" x 8'-0"	SLIDING LOCK	INSULATED POLYSYRENE - PROFILE CHOICE BY OWNER
108-2	RATED	GARAGE	RH-IN	3'-0" x 7'-0"	PRIVACY	FIRE RATED DOOR - PROFILE CHOICE BY OWNER

INTERIOR FINISH SCHEDULE - FIRST FLOOR

ROOM	FLOOR	WALLS	CEILING	TRIM
MUDROOM 101	TILE	1/2" SHEETROCK / MILLWORK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
HALL 102	HARDWOOD	1/2" SHEETROCK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
KITCHEN 103	HARDWOOD	1/2" SHEETROCK / TILE	1/2" SHEETROCK	1x4 CASING 1x6 BASE
DINING ROOM 104	HARDWOOD	1/2" SHEETROCK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
LIVING ROOM 105	HARDWOOD	1/2" SHEETROCK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
BERDROOM 2 106	HARDWOOD	1/2" SHEETROCK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
BATH 2 107	TILE	1/2" SHEETROCK / TILE	1/2" SHEETROCK	1x4 CASING 1x6 BASE
GARAGE 108	CONCRETE	5/8" TYPE X SHEETROCK	5/8" TYPE X SHEETROCK	1x4 CASING 1x6 BASE



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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Drafting and Design
Sherman, CT 06784
845-233-8935

PROPOSED RESIDENCE & GARAGE FOR
160 DUGWAY ROAD
SALISBURY CONNECTICUT 06068

SUBMISSION
BUILDINGS DEPARTMENT
FORMATTED FOR
24" x 36" SHEETS

DATE
20 FEBRUARY 2025

DRAWING NAME
FIRST FLOOR PLAN

SHEET NO.

A-1.1

FINISH NOTES:

1. ALL SURFACES WILL BE PROPERLY PREPPED, PRIMED (COATS AS REQUIRED) AND THEN STAINED OR PAINTED (2 COATS) AS PER MANUFACTURER'S SPECIFICATIONS. ALL CRACKS, LINES, NAIL HOLES, CHECKS, ETC. WILL BE FILLED WITH APPROPRIATE FILLER AND "DISAPPEARED". ALL INTERIOR TRIM BOARDS WILL BE POWER AND HAND SANDED. PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL, EGGSHELL LATEX FOR WALL AND CEILINGS, SEMI-GLOSS FOR TRIM.

2. INTERIOR TRIM OWNERS CHOICE.

3. SHEET ROCK WORK MUST BE FIRST QUALITY. DESIGNER AND OWNER WILL APPROVE TAPING AFTER PRIME COAT. PRIMER BY BENJAMIN MOORE OR APPROVED EQUAL.

4. TILE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR AFTER CONSULTING OWNER. ALL LATH, BACKER, SET, GROUT, GROUT SEALER, ETC. BY CONTRACTOR. FLOOR TILE SET ON WONDERBOARD WITH GROUTED AND TAPED JOINTS, OR SHCLUTER UNDERLAYMENT SYSTEM. TILE CHOICE BY OWNER, MATERIAL ALLOWANCE IS \$8 PER SQUARE FOOT.

DOOR NOTES :

- EXTERIOR DOORS ARE MARVIN ELEVATE OR APPROVED EQUAL.
- ALL DOORS WILL COME SQUARE AND SNUG AGAINST THEIR STOPS.
- DOOR SILLS MUST BE FLUSH WITH ADJACENT FLOOR. PROVIDE ADDITIONAL (OR REMOVE) FRAMING AS REQUIRED TO ELIMINATE TRIP (1/4" MAXIMUM).
- DOOR STOPS AND ROBE HOOKS WILL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
- EXTERIOR DOORS TO HAVE FACTORY SCREEN DOORS.

WINDOW NOTES:

- ALL UNITS TO BE MARVIN ELEVATE OR APPROVED EQUAL. ALL UNITS TO HAVE E-GLASS, INSECT SCREENS AND FACTORY HARDWARE, FINISHES SELECTED BY OWNERS.
- WINDOW ORDER TO BE VERIFIED BY CONTRACTOR PRIOR TO ORDERING AND INSTALLATION. CONFIRM R.O.'S AT TIME OF ORDER. WINDOWS TO HAVE FACTORY EXTENSION JAMBS WHERE REQUIRED.
- CAVITIES AROUND WINDOW JAMBS WILL HAVE APEX FOAM BETWEEN THE ROUGH OPENINGS AND THE JAMB WHERE REQ. PROVIDE FLEXIBLE LATEX CAULK AT EXTERIOR.

FLOOR AREA CALCULATIONS:

SECOND FLOOR : 825 SqFt

WINDOW SCHEDULE - SECOND FLOOR

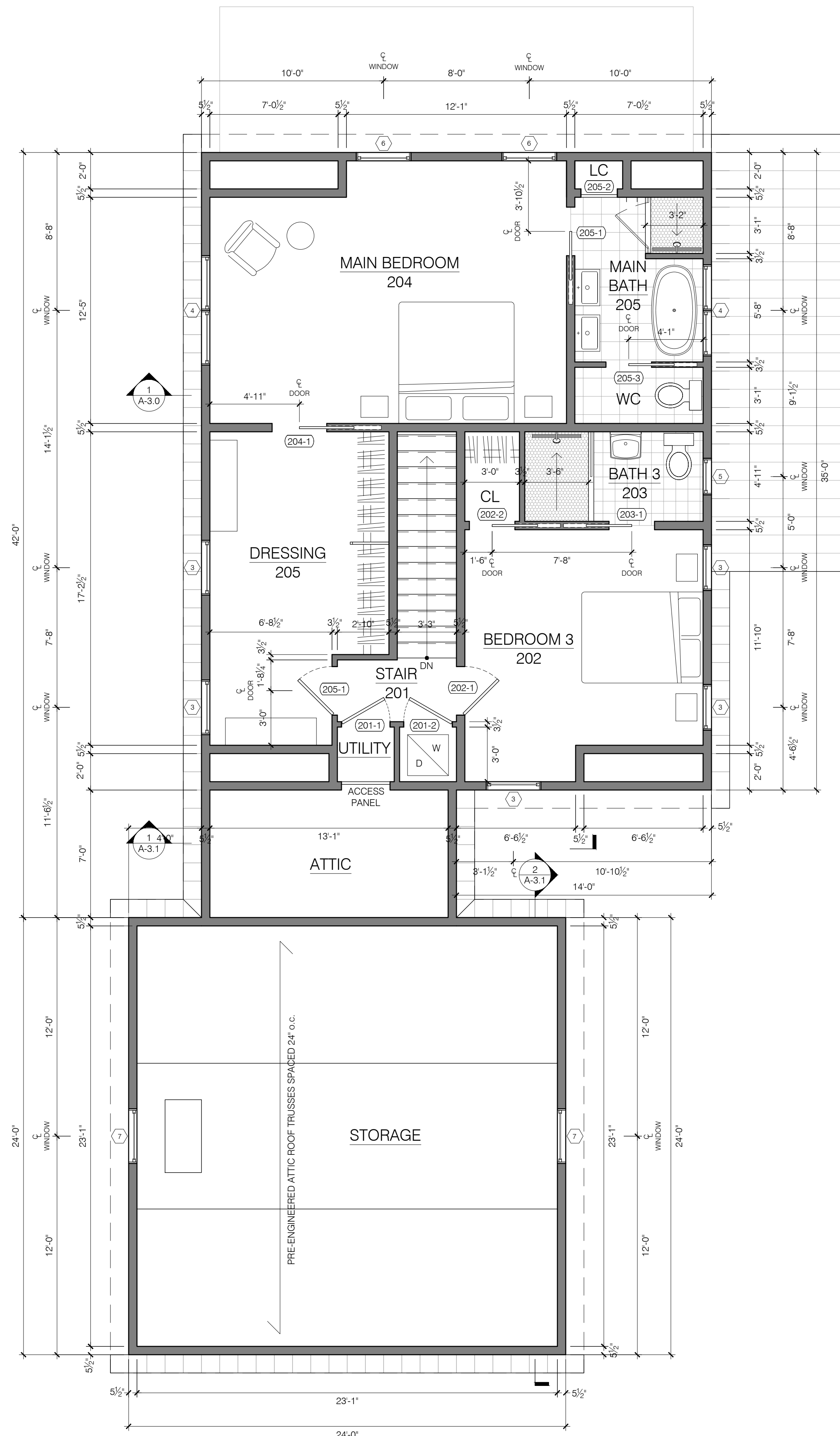
NO.	QTY.	TYPE	HEAD HGT.	LOCATION	APPROX SIZE	MODEL #	REMARKS
3	5	CSMNT	16'-0"	BED 3 / DRESS	3'-0" x 4'-0"	ELCA3747 E	PROVIDE SCREENS & GRILLES
4	2	CSMNT	16'-0"	MAIN BED / BATH	6'-0" x 4'-0"	ELCA3747 2W E	MULLED UNIT (2) WIDE - PROVIDE SCREENS & GRILLES
5	1	AWN	16'-0"	BATH 3	2'-0" x 2'-4"	ELAWN2527	PROVIDE SCREENS & GRILLES
6	2	CSMNT	16'-0"	MAIN BEDROOM	3'-0" x 6'-0"	ELCA3771 ET	TEMPERED UNITS - PROVIDE SCREENS & GRILLES
7	2	AWN	15'-0"	STORAGE LOFT	2'-8" x 3'-4"	ELAWN2339	PROVIDE SCREENS & GRILLES

DOOR SCHEDULE - SECOND FLOOR

NO.	TYPE	LOCATION	SWING	APPROX SIZE	HARDWARE	REMARKS
201-1	INTERIOR	STAIR	LH-IN	2'-8" x 7'-0"	PASSAGE	SOLID CORE - PROFILE CHOICE BY OWNER
201-2	INTERIOR	STAIR	RH-IN	2'-8" x 7'-0"	PASSAGE	LOUVERED - PROFILE CHOICE BY OWNER
202-1	INTERIOR	BEDROOM 3	RH-IN	2'-8" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER
202-2	POCKET	BEDROOM 3	RH	2'-6" x 7'-0"	PASSAGE	SOLID CORE - PROFILE CHOICE BY OWNER
103-1	POCKET	BATH 3	LH	2'-6" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER
204-1	POCKET	MAIN BED	RH	3'-0" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER
205-1	POCKET	MAIN BATH	RH	2'-8" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER
205-2	INTERIOR	MAIN BATH	LH	2'-0" x 7'-0"	PASSAGE	CUSTOM ANGLED TOP SOLID DOOR
205-3	POCKET	MAIN BATH	LH	2'-6" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER
206-1	INTERIOR	DRESSING	LH-IN	2'-8" x 7'-0"	PRIVACY	SOLID CORE - PROFILE CHOICE BY OWNER

INTERIOR FINISH SCHEDULE - SECOND FLOOR

ROOM	FLOOR	WALLS	CEILING	TRIM
STAIR 201	TILE	1/2" SHEETROCK / MILLWORK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
BEDROOM 3 202	HARDWOOD	1/2" SHEETROCK / TILE	1/2" SHEETROCK	1x4 CASING 1x6 BASE
BATH 3 203	HARDWOOD	1/2" SHEETROCK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
MAIN BEDRM. 204	HARDWOOD	1/2" SHEETROCK / TILE	1/2" SHEETROCK	1x4 CASING 1x6 BASE
MAIN BATH 205	HARDWOOD	1/2" SHEETROCK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
DRESSING 206	HARDWOOD	1/2" SHEETROCK	1/2" SHEETROCK	1x4 CASING 1x6 BASE
ATTIC	3/4" SUBFLOOR			
STORAGE LOFT	3/4" SUBFLOOR			



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SALISBURY CONNECTICUT 06068

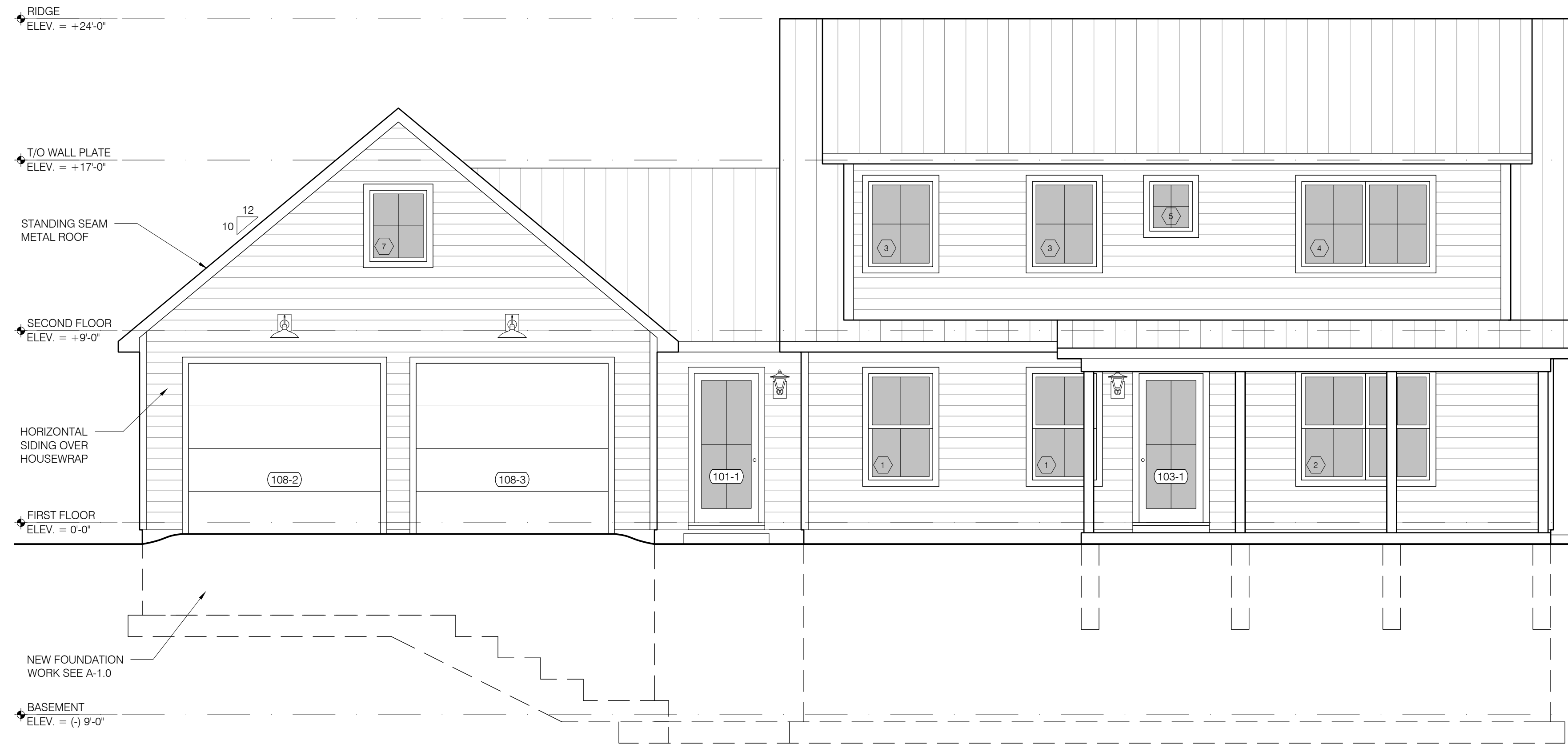
SUBMISSION
BUILDINGS DEPARTMENT
FORMATTED FOR
24" x 36" SHEETS

DATE
20 FEBRUARY 2025

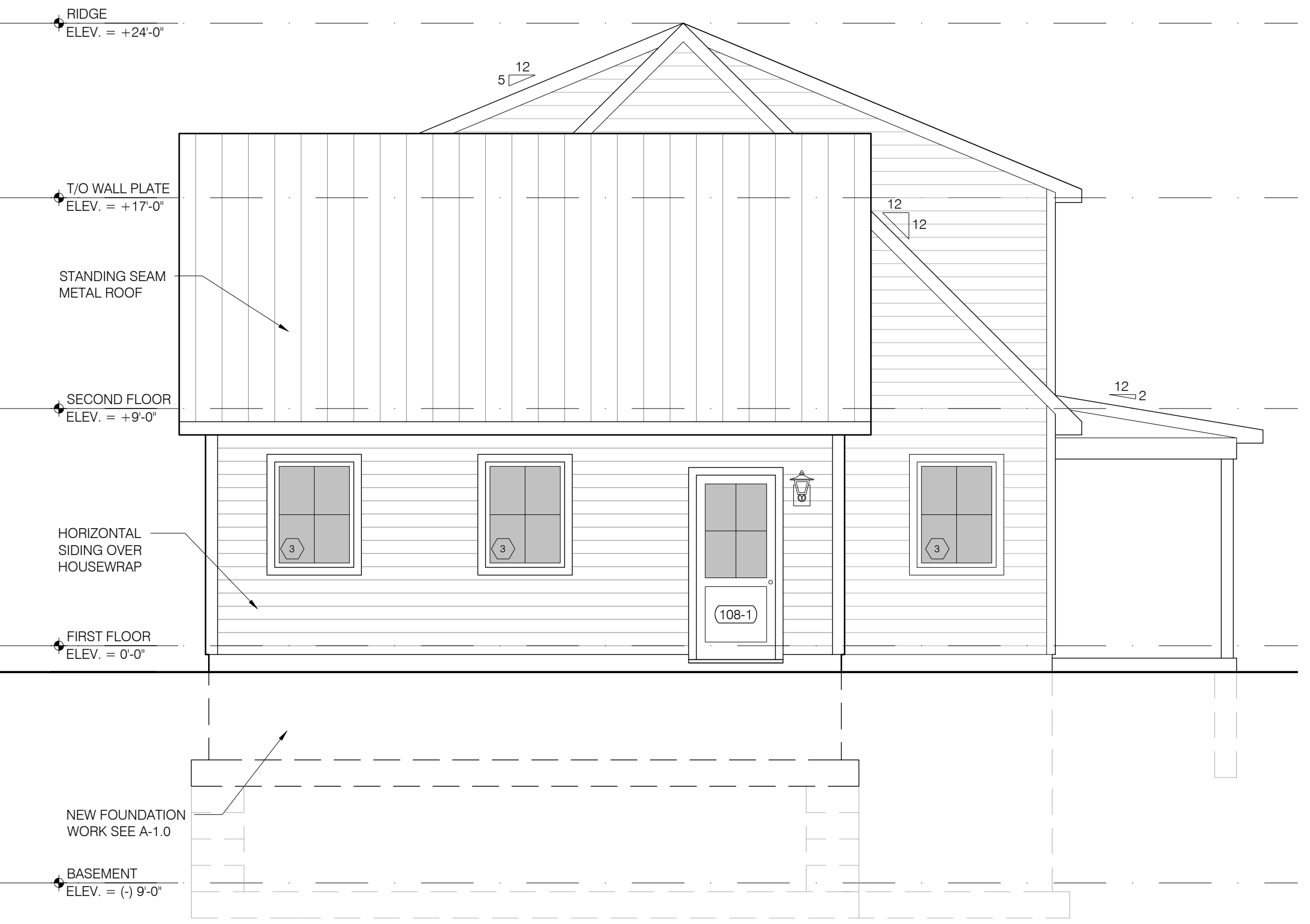
DRAWING NAME
SECOND FLOOR PLAN

SHEET NO.

A-1.2



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"
0'-0" 2'-0" 4'-0" 8'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"
0'-0" 2'-0" 4'-0" 8'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"
0'-0" 2'-0" 4'-0" 8'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"
0'-0" 2'-0" 4'-0" 8'-0"

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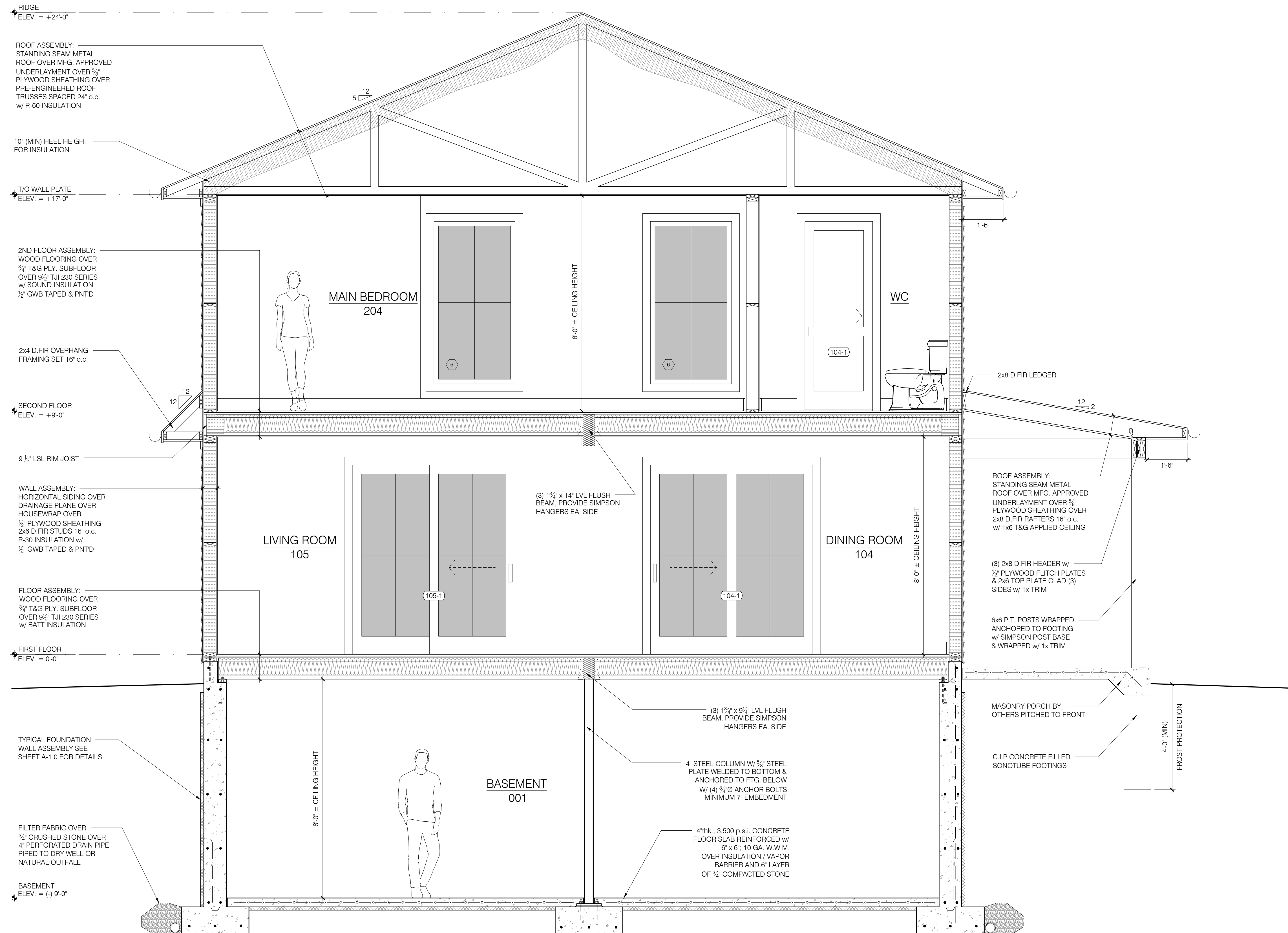
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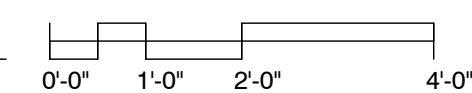
DRAWING NAME
 ELEVATIONS

SHEET NO.

A-2.0



1 BUILDING CROSS SECTION
SCALE: 1/2" = 1'-0"



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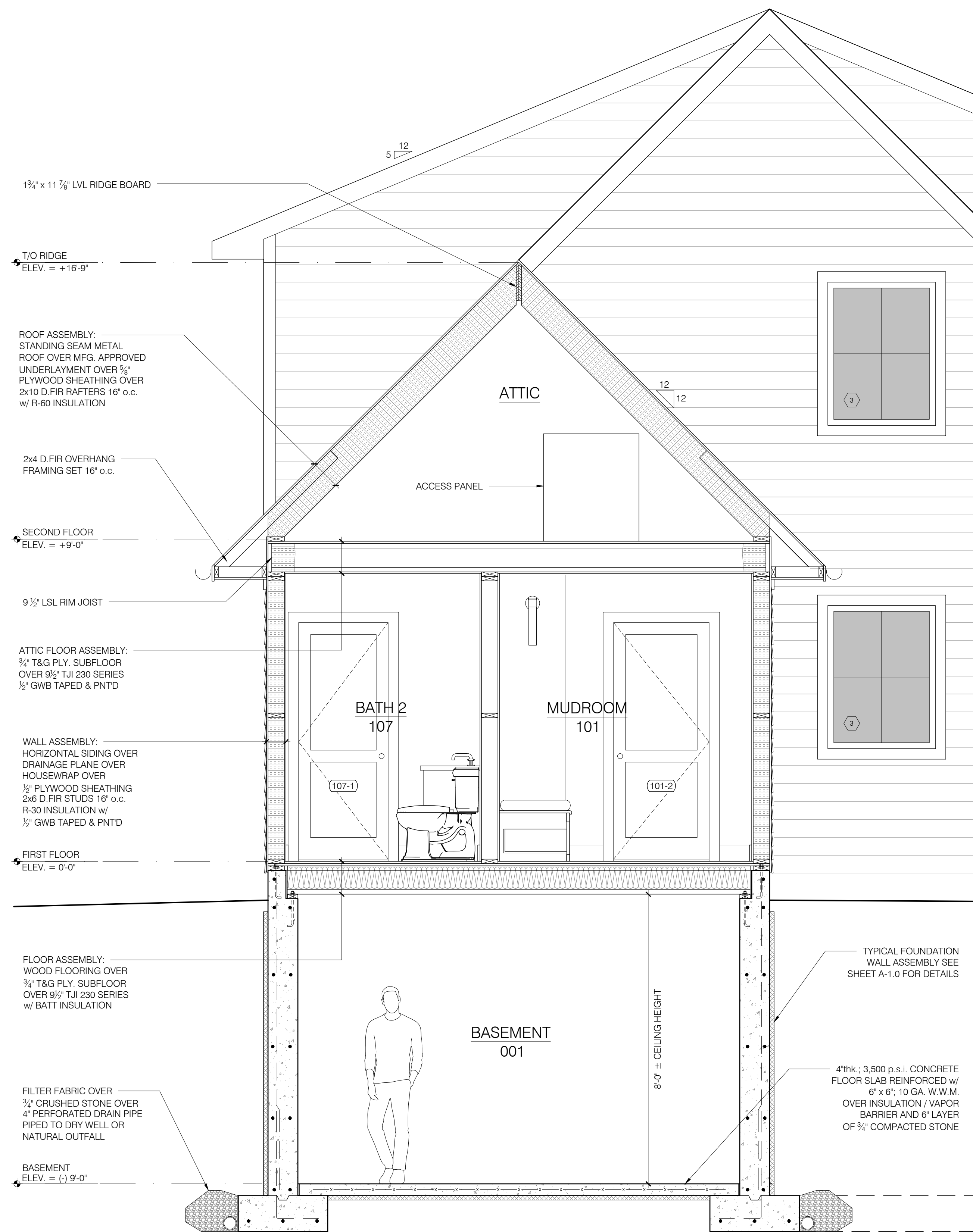
PROPOSED RESIDENCE & GARAGE FOR
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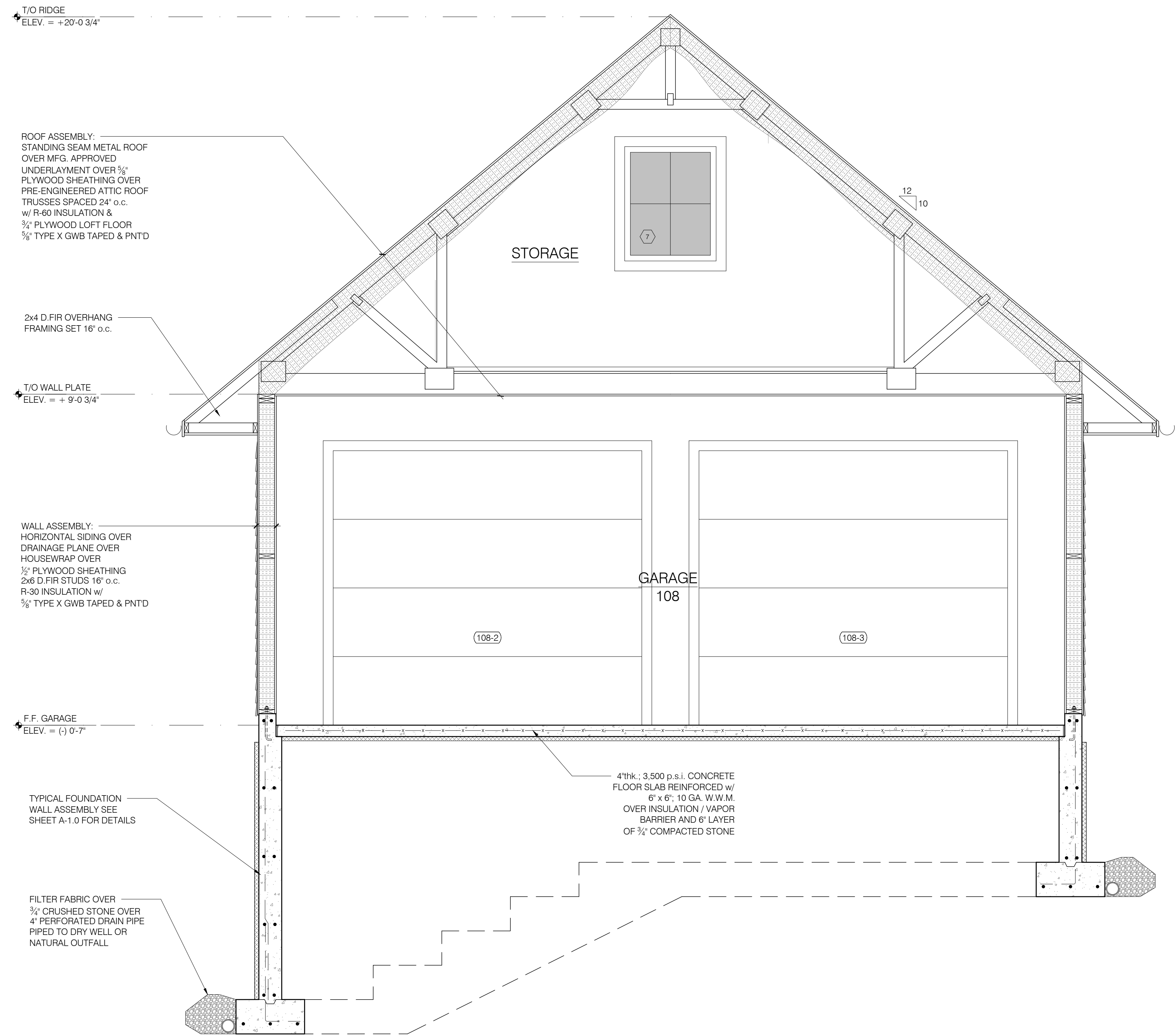
DATE
 20 FEBRUARY 2025

DRAWING NAME
 SECTION

SHEET NO.
A-3.0



1 CROSS SECTION - CONNECTOR
SCALE: 1/2" = 1'-0"



2 CROSS SECTION - GARAGE
SCALE: 1/2" = 1'-0"

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